



**Planning Board**  
**Regular Meeting Agenda**  
**November 21, 2017 - 6:30 PM**

**Town Hall**

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**A. Call to Order/Roll Call**

**B. Approval of Minutes**

1. Consider approval of the October 24, 2017 Regular meeting Minutes.

**C. Public Comments**

**D. Action Agenda**

1. **Sketch Plan:** Request submitted by Meritage Homes to develop 236 single family houses on 62 acres zoned Neighborhood Residential, PIN 01706206 and a portion of 01706205 and 01706201.
2. **Special Use Permit:** SUP17-04 is an application by Communication Tower Group LLC/Nexsen Pruet for a Special Use Permit at 5824 Jim Kidd Rd (Parcel # 01305102). The purpose of the permit is to allow the installation of a commercial communication tower on the property.
3. **Sign District:** S17-01 is a request by the Doug Godly to revise the Bryton Special Sign District for Frankie's Fun Park at 10621 Bryton Corporate Center Dr. Special Purpose-Conditional District (SP-CD).

**E. Other Business**

1. Overview of the Clarke Creek Small Area Plan 3-day Charrette.
2. Approve 2018 Schedule

**F. Adjourn**



**Town of Huntersville  
PLANNING BOARD  
11/21/2017**

**To:** Planning Board Members  
**From:** Michelle Haines  
**Subject:** Approve Minutes

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Consider approval of the October 24, 2017 Regular meeting Minutes.

**ACTION RECOMMENDED:**

**FINANCIAL IMPLICATIONS:**

**ATTACHMENTS:**

Description	Type
 Draft Minutes	Exhibit





**Planning Board  
Regular Meeting Minutes  
October 24, 2017 - 6:30 PM**

**Town Hall**

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**A. Call to Order/Roll Call**

DRAFT MINUTES ARE SUBJECT TO CHANGE UPON APPROVAL  
The Chairman determined quorum and called the meeting to order.

**B. Approval of Minutes**

1. Consider approval of the September 26, 2017 Regular Meeting Minutes

A Motion to Approve the September 26, 2017 Regular Meeting Minutes was made by Joe Sailers and seconded by Susan Thomas. The Motion Carried by a vote of 9 Ayes and 0 Nays. Board Members voting Ayes: Bankirer, Davis, Graffy, McClelland, Miller, Smith, Sailers, Swanick, Thomas

**C. Public Comments**

**D. Action Agenda**

1. **Sketch Plan:** Request submitted by Meritage Homes to develop 236 single family houses on 62 acres zoned Neighborhood Residential, PIN 01706206 and a portion of 01706205 and 01706201.

A Motion to Defer was made by Stephen Swanick and seconded by Ron Smith. The Motion Carried by a vote of 9 Ayes and 0 Nays. Board Members voting Ayes: Bankirer, Davis, Graffy, McClelland, Miller, Smith, Sailers, Swanick, Thomas

Alison Adams, Senior Planner, gave an overview of the Sketch Plan for the Hambright Road subdivision, and entered the Staff Report into the record, a copy of which is attached hereto as Exhibit A, and incorporated herein by reference. Staff described the adjoining properties and zoning, impervious allowance, tree canopy and save, and indicated there was a block length waiver request to which staff supports. The buffer requirements are being met with an exception of a certain area on the western side of the site that is adjacent to an existing gas line easement and adjoining land that is being dedicated to Mecklenburg County for preservation of species and greenway installation, to which staff supports. There are outstanding comments on the plan to be addressed including minor plan corrections, removal of the curb and gutter along NC 115, the addition of two (2) mini-circles to help slow traffic through the neighborhood, and adding on-street parking for the 34' lots on both sides of the streets. Comments were submitted on the proposed Traffic Impact Analysis ("TIA"), and it has not yet been revised and submitted. The Chairman suggested that since a (final) TIA has



not yet been submitted, and in the interest of time, that staff should move beyond the TIA and finish the presentation. Staff commented that the four (4) intersections are along or near the site and US21 and Hambright was to be studied as required by the Town.

It was inquired about the species being saved by the dedication to Mecklenburg County, and staff informed the members there are several varieties of flies located there with a thriving habitat, and the County will want to protect the land and species. The CMS school report was discussed with a 140% over capacity reported. Jack Simoneau, Planning Director stated that schools are not under the control of the Town, but the Mecklenburg County School Board. The Town does not have an Ordinance or any criteria to turn down a by right development when schools are overcrowded. The request is not a rezoning, but a by right development.

It was asked if the developer agreed to the recommended traffic circles, and staff noted they have not had a chance to respond back to staff. The removal of the curb and gutter was questioned and staff noted that the cross section will change with future road improvements, and there was no need to install curb and gutter that will ultimately be removed. The timing of the installation of future road improvements are not known for NC115. Drew Bowman (10116 Roosevelt Drive, Huntersville), stated that NC115 is currently a four lane median divided road, and becomes a two lane divided road along the northern portion of the site on NC115. The project will not widen NC115.

The Staff Report indicated access to the greenway and bikeway, and there is an accommodation for students and parents to walk to Alexander Middle School by crossing Hambright Road. Staff indicated the reference to the school is the old school site adjoining the project, but there is another path to the (new) Middle School. The gas line easement was located for the members, and it was noted that it does not affect the site or lots. There is additional space between the gas line easement and the back of the lots due to the dedication to the County, all of which is not within the site plan.

The Chairman called the developer, and Nate Bowman (205 S. Church Street, Huntersville), who appeared on behalf of Meritage Homes, and indicated he would respond to any questions. The Chairman asked if he agreed to the mini traffic circles, to which Mr. Bowman stated that Meritage Homes would prefer one traffic circle (the one closer to the center of the site), as one (1) circle is adequate. Jack Simoneau, Planning Director, agreed to eliminate the suggested mini-circle on the bottom near Hambright Road. As for the parking on 34' lots, we can accommodate the request on the lower road closer to Hambright as it is feasible, and will look at the second road above it. The current number of parking spaces was asked, and Mr. Bowman did not have the number. The applicant will follow the engineer's recommendation concerning the curb and gutter on NC115. Mr. Bowman noted that one delay with the TIA was with Alexander Middle School opening this year and the traffic counts being recounted. The improvements will be two (2) left hand turns into the major entrances (NC115 and Hambright), and a right hand storage lane, and a right turn lane going north on US21. Don Spence with Progressive Design Group restated the recommended improvements as being a right turn lane eastbound on Hambright at NC115 with 300' of storage, US21 and Hambright with a westbound right turn lane with 125' storage. The Chairman suspended the discussion on the TIA until the final results were submitted. There were no other questions.

Staff recommend a conditional approval of the Sketch plan as follows: the application is complete, it is in keeping with the future land use and intent, the TIA will be revised and accepted prior to going to Town Board, the landscape buffer waiver is supported, the block



length waiver is support, and the minor plan comments are to be corrected. Staff recommends removal of the curb and gutter along NC 115; the addition of one (1) mini traffic circle; and recommends additional on-street parking, which the developer has agreed to look at Road H.

The discussion after the Motion to Defer was concerning no final or accepted TIA. The Chairman noted the deferral will give staff and the applicant to continue work together. It was asked of Mr. Bowman if there were any hard contractual requirements that would not be met due to the deferral, and Mr. Bowman stated, no, that he assumed the Board would defer the matter.

2. **Sketch Plan:** A proposed Sketch Plan for 35.95-acres to create 5 new lots zoned SP-CD. The parcels would be for light industrial uses and located abutting Bryton Corporate Center Drive, Hambright Road, and Savoy Lane. Property is vacant.

A Motion to Approve as being in accordance with the 2030 Community plan; that the application is complete, and that approval is subject to the conditions outlined by staff, as well as compliance with LUESA regarding a storm water plan was made by Ron Smith and seconded by Jennifer Davis. The Motion Carried by a vote of 9 Ayes and 0 Nays. Board Members voting Ayes: Bankirer, Davis, Graffy, McClelland, Miller, Smith, Sailors, Swanick, Thomas

David Peete, Principal Planner, gave an overview of the Sketch Plan, and entered the Staff Report into the record, a copy of which is attached hereto as Exhibit B, and incorporated herein by reference. Staff described the site within the Bryton project, the adjoining properties and zoning, and included there are 41 specimen trees on the site and 5 are proposed to be saved. The water quality concept plan is being reviewed by Mecklenburg County, and the Willingness to Serve letter from Charlotte Water has not yet been provided. For Urban Open Space (“UOS”), there are two (2) plazas and the applicant is looking to build a section of Carolina Thread Trail greenway, which will run along the railroad right-of-way on the southern boundary of Lot 1, to be built to Mecklenburg County standards and dedicated for its maintenance. A buffer is required along both Hambright Road and Everette Keith Road, and there is a block length waiver, both of which are supported by staff. Staff noted that the application is complete, and in compliance with applicable requirements with the following exceptions; 1) incorporate Town staff-approved Alternate Buffer Yard Plan; 2) a block-length waiver is required for new road placement, which can be supported by staff; 3) note and graphic depiction of the section of greenway that will be provided; 4) provide “Willingness to Serve” letter from Charlotte Water; and 5) address all remaining redline comments on the subdivision sketch plan.

Ryan McDaniels, 13801 Reese Boulevard, Huntersville, with Lake Norman Economic Development appeared and stated that this product does not exist in Huntersville and has great potential. The company has a great track record. The building renderings have lots of glass, and look great. He stated they (LNEDC) are 100% behind the project. It will help bring jobs, and is a major investment to the area, and hopefully provides Huntersville residents a place to work without having to commute into Charlotte. This project may provide potential companies from overseas to move in and lease space, and in the future bring more growth (incubator sector). The buildings will be multi-tenant, and some could occupy an entire building, or be in sectors. Compared to the Concord area near the airport, which is exploding, and this project is a higher quality product, with no front loading, and quality landscape.



Bill Simerville, Managing Director with Foundry Commercial (“FC”), 121 W. Trade Street, Charlotte, spoke to the Board and commented they are developing the corporate product of Bryton. FC leases and manages around 9 -10 million feet of light industrial product around Charlotte to Rock Hill and Concord. There has been a void for this market for almost 10 years. The zoning permits this use, and is a fantastic opportunity. The waivers are to accommodate the size and density of what it thought the ideal tenant(s) is looking for, and includes 1400-1500 parking spaces. This is a lot of employees and jobs. The reason for the subdivision is in anticipation of requests from single users, and headquarter operations that want to own an entire building. Three (3) Request for Proposals have already been received for tenants between 40,000 -70,000 feet. This is a significant demand today for the large block users. There was 1.1 million feet approved, and this site will use about 700,000 feet. Phasing was asked, and Mr. Simerville noted they will close on the land (once approval is received) on December 15, 2017, clear land in February and develop lots 1, 2 and 3 to be Phase 1. The buildings on lots 1-3 would be built simultaneously, and be completely roughly at the same time. Once at least 50% is obtained on leasing, Phase 2 would begin with the intent of being done in mid-2019.

Mr. Simerville explained that the (new) road within the site will be in Phase 2 when underground detention and storm water are also being installed. Lots 4, 5 and 6 will be naturally planted and stabilized during Phase 1. Staff noted that UOS must be there at Phase 1. Staff further noted that Bryton Corporate Drive and Savoy are dedicated roads that have not yet been accepted by the Town, and the developer currently maintains control; however, the roads will need to be public and opened before the buildings can be opened. Everett Keith Road is the only road that is 100% public. There is an older TIA for the entire Bryton Development, and staff commented that all roads have been built handle to the numbers approved under the TIA (1 million in commercial, over 1 million in light industrial, single family, etc.).

Mr. Simerville was asked to comment on the tree save since only 5 trees were being saved, to which he stated that there are 35 acres subject to the subdivision, 16 of which have been cleared by Frankie’s. There are 5-7 major hardwood trees and the balance are a variety of underbrush and scrubs. A large portion of the site will be clear-cut, and the buffers will be disturbed as minimally as possible. Replanting will be per the Town requirements with the agreement to augment as needed, and will be cognizant of the neighbors on Everett Keith Road and the visual buffer requirements. In addition to large maturing, with wide canopies, there will be shoulder height fast growing trees. Staff was asked about tracking the entire Bryton tree save requirement, and staff explained the original tree save survey and how the trees are accounted and cataloged. The Chairman noted, on behalf of the Board, that a balanced approach is desired as Bryton is fully developed ,and a large sum of money in the tree fund account will not make up for all the specimen trees lost.

The through traffic, as noted in the Staff Report, was discussed, including the statement that “none of this traffic is intended to use Everett Keith Road”. The industrial traffic will be using Bryton Corporate, as will traffic for Frankie’s Fun Park, and future development. Staff explained there are no curb cuts along Everett Keith Road, and there is a substantial buffer required, which is staff approved and recommended. Until it is a thoroughfare, there will be no real need to use that road. Bryton Corporate Center Drive and Hambright were built to handle that level of traffic. The Chairman expressed his concerns about the mix of traffic for Frankie’s and the proposed industries within the development; especially young drivers and during hours of darkness in the winter months. He pointed out the traffic for Frankie’s is not light industrial traffic. Mr. Simerville commented that light industrial will be step vans, light



delivery trucks, and thought the bulk of traffic would use Bryton Corporate Center Drive. There may be right-out circulation traffic around Everette Keith back to Savoy to reach Alexanderana. Traffic for this site will typically be 8-5:00 p.m. There may be home furnishing suppliers (granite fabricators, lighting stores, some retail furniture), that stay open later to 7:00 p.m., but there should be no truck traffic to overlap with Frankie's evening traffic. Mr. Bankirer commented that granite is not delivered in step vans, and the mix of traffic was a concern.

The discussion after the Motion was to support the request due to the economic value. The tree save and aesthetics are important to maintain. The concerns about traffic were mentioned. It was encouraged for the developer to work with staff to consider what can be done about the traffic concerns.

## **E. Other Business**

### **1. TIA Template**

Stephen Swanick reported to the Board concerning his discussion (email) with the Engineering Department about the template. Engineering staff committed to providing a summary table in the Planning Board's Staff Reports when the surplus capacity option is utilized to mitigate intersection capacity deficiencies. It was agreed that Stephen Swanick is to clarify with Stephen Trott that when the table is provided that it will be the entire template, as opposed to just the one section where the adjustment is made. Upon such time, the matter can be considered closed. Concerns were expressed about which intersections are studied, and how chosen. The template is a good tool to use by staff and both the Planning and Town Board.

## **F. Adjourn**

Approved this \_\_\_\_\_ day of \_\_\_\_\_, 2017.

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Chairman or Vice Chairman

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Michelle V. Haines, Board Secretary



**Town of Huntersville  
PLANNING BOARD  
11/21/2017**

**To:** Planning Board Members  
**From:** Alison Adams, Senior Planner  
**Subject:** Hambright Road Subdivision Sketch Plan

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**Sketch Plan:** Request submitted by Meritage Homes to develop 236 single family houses on 62 acres zoned Neighborhood Residential, PIN 01706206 and a portion of 01706205 and 01706201.

**ACTION RECOMMENDED:**

Recommendation to Town Board

**FINANCIAL IMPLICATIONS:**

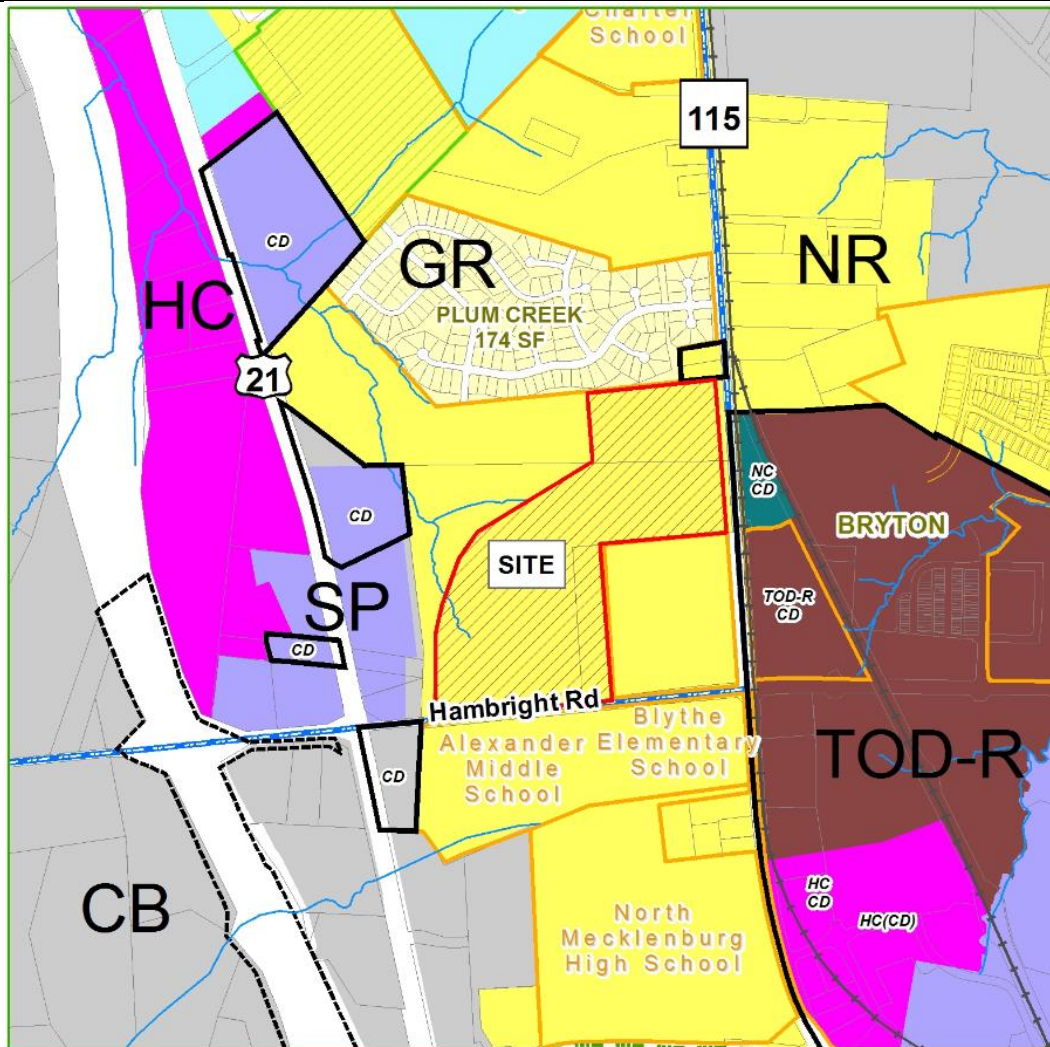
**ATTACHMENTS:**

Description	Type
☐ Hambright Road Staff Report	Staff Report
☐ Attachment A Application	Exhibit
☐ Attachment B Site Plan Hambright Rd	Exhibit
☐ Attachment C Neighborhood Meeting Report	Exhibit
☐ Attachment D APF Letter of Determination	Exhibit
☐ Attachment E: CMS Report	Exhibit
☐ Attachment F: TIA Review Comments	Exhibit



## Hambright Road Residential Subdivision Sketch Plan

### PART 1: PROJECT SUMMARY



**Applicant:** Meritage Homes of the Carolinas, Inc.

**Project Size:** +/- 62 acres

**Parcel Number:** portion of 01706205, 01706206, and a portion of 01706201

**Current Zoning:** Neighborhood Residential (NR)

**Current Land Use:** vacant

**Proposed Land Use:** 236 Single Family Residential lots.

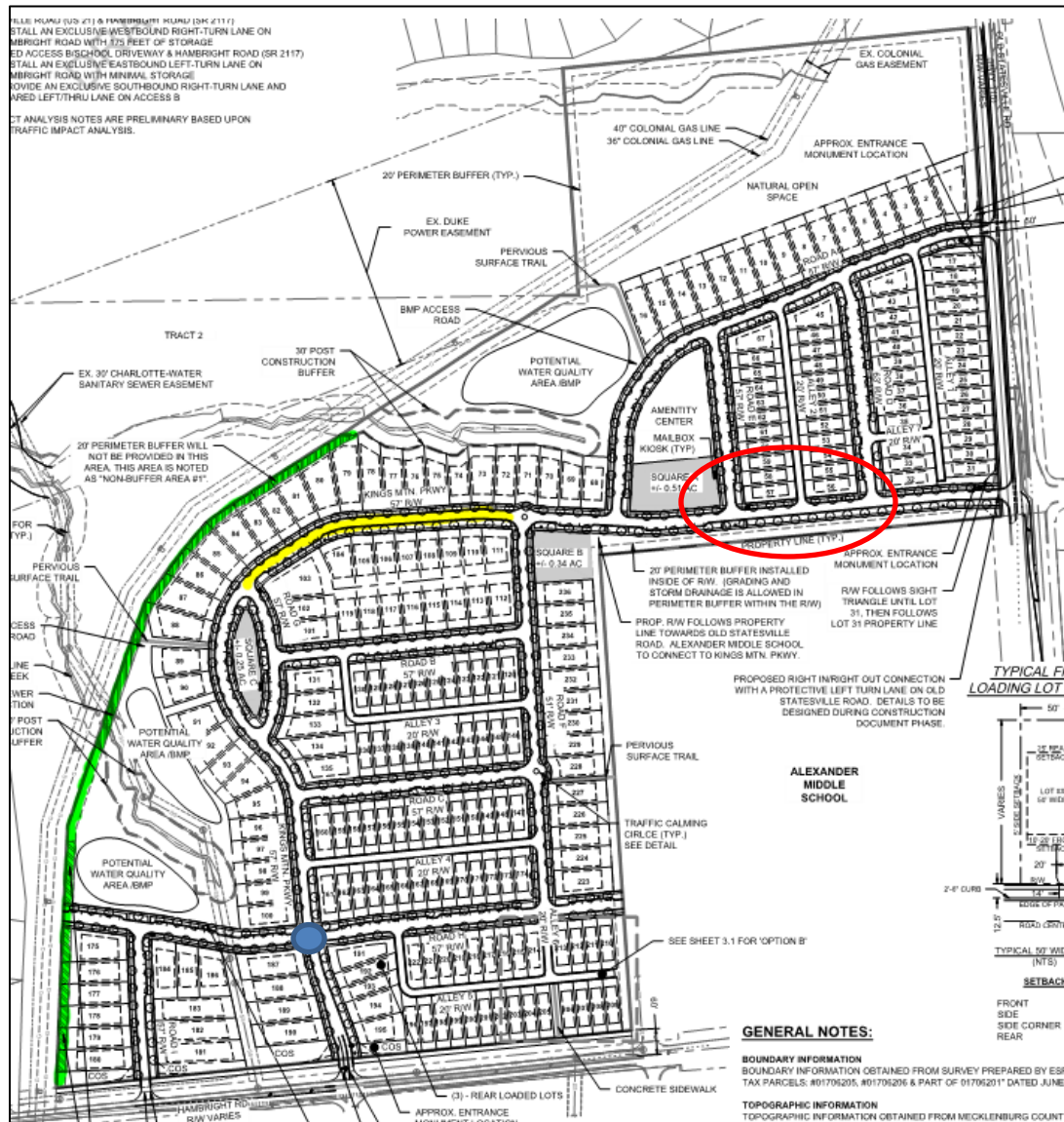
The application is Attachment A. The site plan is Attachment B.

### PART 2: SITE PLAN DESCRIPTION AND ISSUES

- Adjacent Properties:**  
North: Neighborhood Residential (GR) – single-family, Plum Creek Subdivision.  
South: Neighborhood Residential (NR) – Blythe Legett Elementary School.  
East: Neighborhood Residential (NR) – Vacant School and (TOD-R CD) Bryton LLC.  
West: Neighborhood Residential (CB) – Hambright Road Animal Hospital and (SP) Bradford Brothers Inc.
- A neighborhood meeting was held on September 20, 2017, see Attachment C, Neighborhood Meeting Summary. There were no concerns voiced at the meeting.
- The proposed project is located in the Mountain Island Lake – PA2 watershed. 70% of impervious is allowed; 60% impervious is proposed.
- The applicant is required to save 10% of the existing tree canopy and 10% of the existing specimen trees. 15.7% of the existing tree canopy and 31.6% of the existing specimen trees onsite are proposed to be saved.
- Street standards, connectivity and setbacks are all compliant with the zoning and subdivision ordinance, except the one street outlined in yellow (681'). The applicant is requesting a block length waiver. Within Article 5 states, "Where longer blocks will result in an arrangement of street connections, lots and public space more



consistent with this Article and Article 7 of these regulations, the Town Board may authorize greater block lengths at the time of subdivision sketch plan review and approval". Planning Staff is in favor of the block length waiver request. To slow traffic on Kings Mountain Parkway staff is recommending the installation of two mini-circles. The circle in blue indicates the mini-circle the developer committed to installing. Staff is recommending installation of a second mini circle along the straightway adjacent NC115 (red circle).



6. Buffer requirements are being met per Article 7.5, except in the location shown in green. This area of the property is adjacent to an existing gas line and is being dedicated to Mecklenburg County for preservation and greenway installation; therefore the developer is requesting to not install the buffer. Staff supports the request since the adjoining property is being reserved in perpetuity.
7. Planning Board had concerns about the following items at the October meeting. List beside each item is the current status:
  - Completed TIA: See Attachment F: TIA Review Comments
  - Additional parking along Road H: Parking has been added. Please note that each lot (236) is proposed to have a total of 4 parking spaces (2 garage spaces and 2 driveway spaces), which would provide a total of 944 spaces on private property. The applicant has also proposed a total of 165 on-street parking spaces.



Planning staff feels this is an adequate amount of parking to serve this subdivision. In construction drawings total amount of on-street parking could change due to sight distance for safe movement.

- Mini circle installation: Staff recommended two. One has been provided.
- Cross-section of NC115: Staff recommended a ditch section, the applicant has complied.

8. The updated plan submitted on October 24, 2017 has the following outstanding comments, which can be addressed through the stamping process by staff.

**Planning comments:**

- All comments have been addressed

**Engineering comments:**

- Note: Revise the list of TIA improvements recommended once the TIA is finalized (if needed)
- Note: Clarify that the stop lines indicated on the stub streets indicate that the pavement would end at that location to comply with the fire code until a potential future development extends the street.
- Recommend adding one mini traffic circle along the Kings Mountain Parkway adjacent NC115.

### PART 3: TRANSPORTATION ISSUES

#### Traffic Impact Analysis

A revised draft TIA was submitted to the Town on 10/30. Reference Attachment F – TIA Review Comments.

### PART 4: PLANNING STAFF ANALYSIS

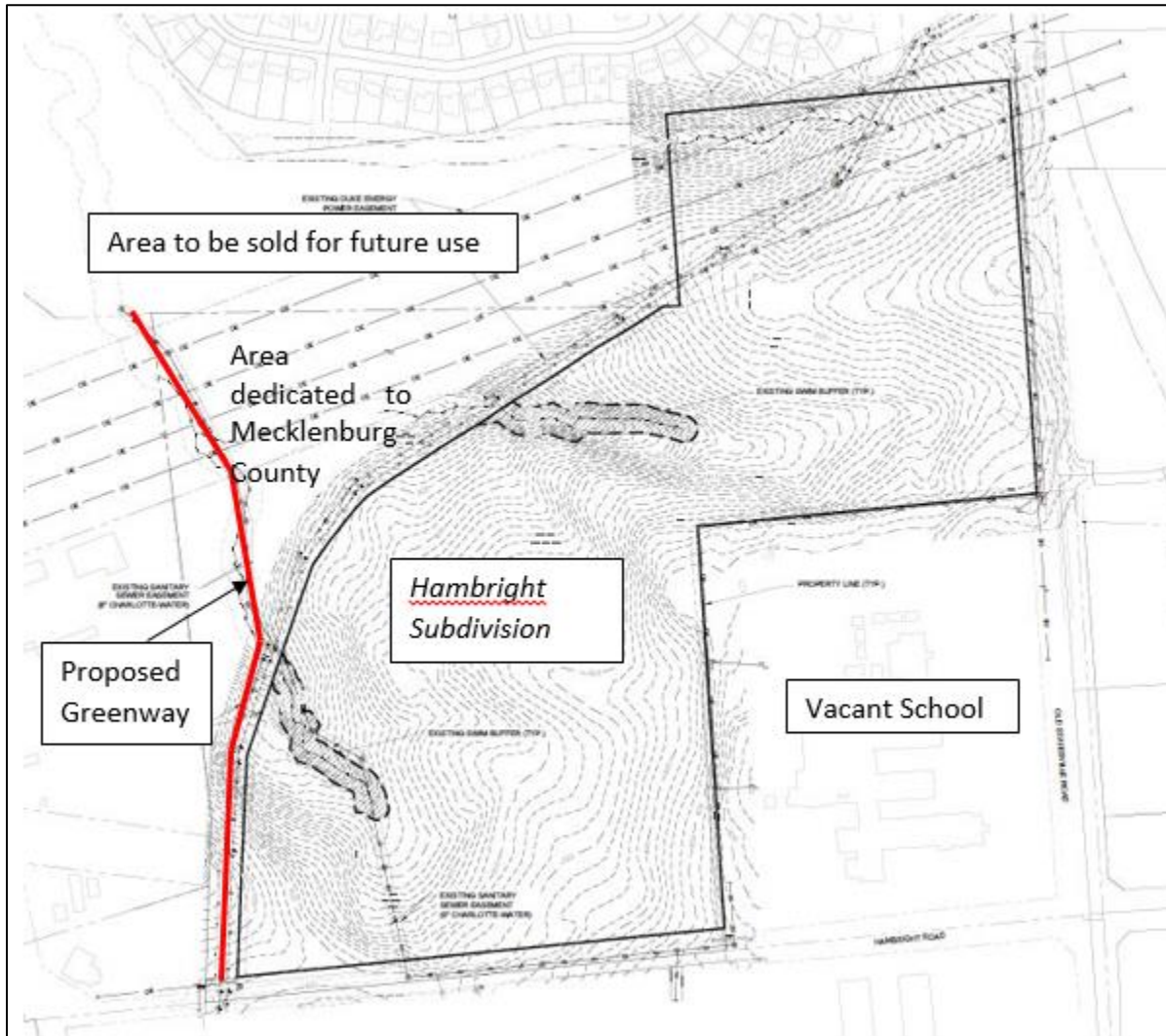
Section 6.200 of the Subdivision Ordinance outlines the “general requirements and policies to be used in the design, review, and approval” of subdivisions in the Town of Huntersville. The following staff findings are provided for the Board’s consideration of the Subdivision Sketch Plan.

**1. Consistency with adopted public plans and policies.**

The following sections of the 2030 Huntersville Community Plan apply to this request:

- **Policy H-1 & H-9: Development Pattern.** Continue to follow existing residential development pattern as reflected in “Map of Zoning Districts,” focusing higher intensity development generally within two miles of the I-77/NC 115 corridor.  
Comment: The site is located within less than a mile of I-77. Neighborhood Residential (NR), allows for increased density and smaller lot sizes. The proposed Hambright Road Residential Subdivision is in keeping with the surrounding development by incorporating 34 and 50.01’ wide lots.
- **Policy E-2: Location of New Development.** Avoid locating new development in areas of significant environmental, scenic or cultural resources.  
Comment: Mecklenburg County has voiced concern to Staff that any development on this parcel will impact a species of white fly that live in the creek tributary. The developer is in the process of dedicating a majority of the open space associated with the parent parcel to Mecklenburg County for preservation. Staff has no indication that the request will adversely affect known cultural or scenic resources.
- **Policy E-3: Environmental Regulations.** Support and enhance environmental regulations pertaining to tree preservation, buffer yards, open space, water quality, wetland and stream protection.  
Comment: The Neighborhood Residential (NR) zoning district requires 10% of the existing tree canopy to be preserved; the developer is saving 15.7%. As required 10% of all specimen trees are required to be saved. The applicant is saving 31.6% of the specimen trees. The storm water buffers located on the property are not being encroached upon. The applicant has met the requirements of the low impact development and storm water ordinances through containment and treatment of storm water on-site.
- **Policy E-5: Vehicle Miles Travelled (VMT)** Support reduction in vehicle miles travelled (VMT), through capital investments in sidewalks, greenways, enhanced connectivity and mass transit (bus & rail).  
Comment: Sidewalks are being installed on all proposed State and Town Streets and along all internal streets. The land gifted to Mecklenburg County is slated to have a greenway connection. A bike lane is being installed on Hambright Road to aid multi-modal transportation.





- **Policy T-5: Context-sensitive Design of Streets.** Continue to support “context-sensitive” design of streets and the selection of appropriate street section designs for residential, commercial and industrial developments applications.  
Comment: The internal streets are appropriately sized and block lengths comply with the ordinance, except for one street in which the applicant is requesting a block length waiver (as mentioned above – 681’). Block breaks help to slow traffic and encourage pedestrian activity. The applicant has installed mini circles to help slow traffic. In the most recent review staff has requested one more to be installed.
- **Policy T-6: Pedestrian Connections.** Support the installation of sidewalks, bikeways and greenway trails connecting residential, commercial, employment, recreational and institutional uses.  
Comment: Reference T-5 staff response.
- **Policy T-7: Traffic Impact Analysis Ordinance:** Continue to apply requirements of “Traffic Impact Analysis” Ordinance, including Level of Service and mitigation of impacts generated by new development.  
Comment: A TIA was required and the required transportation enhancements are outlined in Part 3 of this staff analysis.
- **Policy T-8: Street Connectivity.** Promote and require street connectivity in the Town of Huntersville among residential, commercial, employment, recreational and institutional uses.



Comment: The proposed development is providing four points of ingress/egress, one onto Old Statesville Road and three on Hambright Road. One stub into the Old Alexander Middle School property is being provided and right of way is abutting the north school property line to accommodate a connection to the Old Alexander Middle School site.

- **Policy CD-5: Street Infrastructure:** Continue to require that adequate public infrastructure (roads, utilities, etc.) either exist or will be made available to support all new development.

Comment: The proposed development is providing upgrades as spelled out in part 3 of the staff analysis, 4 connections to existing roads and two other connections for future development. The proposed development will connect to public water and sewer.

- **Policy PF-2: Adequate Public Facilities Ordinance (APFO).** Continue use of “Adequate Public Facilities Ordinance (APFO)” to ensure that demand generated by existing and future growth and development for police, fire and parks & recreation capital facilities can be met by available supply of facilities.

Comment: Reference below number 19.

## **2. Conformity.**

The proposed development is in keeping with the density in other major subdivisions in this area.

## **3. Access between Adjoining Properties.**

The proposed development is providing six points of access (4 points of ingress/egress, stub to the school and right of way abutting the northern property line of the school).

## **4. Relation to topography.**

The topography on the site is relatively flat. The streets are layout in a grid pattern avoiding avoid sensitive streams and existing foliage.

## **5. Mature trees and natural vegetation.**

The proposed project is required to save ten (10%) percent of the tree canopy, ten (10%) percent of the specimen trees and one hundred (100%) percent of the heritage trees and these requirements are being met. 15.7 % of the tree canopy is being saved; 31.6% of the specimen trees are being saved; and there are no heritage trees on site. There are existing storm water buffers that permanently protect a significant portion of natural vegetation and tree save area.

## **6. Access to parks, schools, etc.**

The developer has dedicated the land abutting the subdivision to Mecklenburg County for preservation and greenway installation, as called for in the Town of Huntersville Greenway and Bikeway Master Plan. Multiple access points will be accommodated to the proposed greenway trail and a path will be constructed so students and parents can walk to Alexander Middle School.

## **7. Discourage through traffic.**

All streets are appropriately sized for traffic and the layout (block breaks and mini circles) deters cut through traffic from Old Statesville road to Hambright road and vice versa.

## **8. Relationship to railroad rights-of-way.**

Not Applicable

## **9. Half streets.**

Not Applicable

## **10. Parallel streets along thoroughfares.**



Not Applicable

**11. Public School and Public Park Sites**

The parcels associated with the Hambright Road Residential Subdivision have not been identified for a public school or park site.

**12. Public Facilities**

The parcels associated with Hambright Road Residential Subdivision have not been identified for a public facility.

**13. Proposed street names**

Street names are not required at this review level. They will be reviewed at the preliminary plan stage.

**14. Easements.**

Easements are identified on the survey.

**15. Proposed water and sewerage system.**

A *Willingness to Serve* Letter has been issued by Charlotte Water.

**16. Restrictions on the subdivision of land subject to flooding.**

No flood plain exist on this parcel.

**17. Reserved.**

**18. Open Space**

The applicant is required to provide Urban Open Space within (1/4) one –quarter of a mile to all inhabited structures on site. Three squares are being proposed to meet the urban open space requirements. Designs will be reviewed at the preliminary plan stage.

**19. Impact of Development on Public Facilities**

Under the provisions of the APF Ordinance, all residential development greater than twenty (20) lots are required to receive a “Determination of Adequacy (DOA)” for the following public facilities: fire vehicles, fire station, police station, police vehicles, indoor park and recreation facilities, and parks acreage. A DOA letter has been issued for all of the facilities, see [Attachment D: Determination of Adequacy](#).

Additionally, staff has contacted Charlotte-Mecklenburg Schools (CMS) for an enrollment evaluation of this project, see [Attachment E: CMS Report](#).

**PART 5: STAFF RECOMMENDATION**

In considering Hambright Road Residential Subdivision, staff finds:

- The application is complete.
- The request is in keeping with the spirit and intent of the Town’s future land use plans.
- The Hambright Road Sketch Plan can be supported by staff subject to the following:
  - A complete TIA - accepted and sealed prior to the Town Board meeting
  - The landscape buffer waiver requested is approved by the Town Board.
  - The block length wavier is approved by Town Board.
  - Minor plan comments are to be addressed upon plan stamping.
- Recommendation only: to add mini circle adjacent NC115 on Kings Mountain Parkway.
- 

**PART 6: PLANNING BOARD RECOMMENDATION**

The Planning Board met October 24, 2017 at 6:30pm to discuss the proposal.



Staff recommend a conditional approval of the Sketch plan as follows: the application is complete, it is in keeping with the future land use and intent, the TIA will be revised and accepted prior to going to Town Board, the landscape buffer waiver is supported, the block length waiver is support, and the minor plan comments are to be corrected. Staff recommends removal of the curb and gutter along NC115; the addition of one (1) mini traffic circle; and recommends additional on-street parking, which the developer has agreed to look at Road H.

Planning Board had the following concern; therefore deferred (see below), the agenda item to be placed on the November 21, 2017 meeting for recommendation to the Town Board.

The discussion after the Motion to Defer was concerning no final or accepted TIA. The Chairman noted the deferral will give staff and the applicant time to continue working together. It was asked of Mr. Bowman if there were any hard contractual requirements that would not be met due to the deferral, and Mr. Bowman stated, no, that he assumed the Board would defer the matter.

#### **PART 7: DECISION STATEMENTS**

In considering whether to approve an application for a subdivision sketch plan, the Planning and Town Board must complete the following (a full version can be found in [Section 6.320.5](#) of the Subdivision Ordinance).

- Is the application complete (lacking any particular requirement)? *If no member of the Board moves that the application is incomplete, then this inaction is taken as an affirmative finding that the application is complete.*
- Does the application comply with all the applicable requirements? *A statement must be made that the application complies or does not comply that includes the support documentation of the particular motion.*
- Lastly, the Board must make a motion to approve or deny based on the previous statements.

#### **PART 8: ATTACHMENTS/ENCLOSURES**

##### Attachments

- A – Sketch Application
- B – Site Plan
- C – Neighborhood Meeting Report
- D – APF Letter of Determination
- E – CMS Report
- F – TIA Review Comments





# General Application

TOH  
Corrections  
in RED

**Incomplete submissions will not be accepted. Please check all items carefully.**

## 1. Application Type

Please indicate the type of application you are submitting. If you are applying for two (2) actions, provide a separate application for each action. **In addition to the application, the submission process for each application type can be found at**

<http://www.huntersville.org/Departments/Planning/PermitsProcess.aspx>

- ☐ CHANGE OF USE
- ☐ COMMERCIAL SITE PLAN
- ☐ CONDITIONAL REZONING
- ☐ GENERAL REZONING
- ☐ MASTER SIGNAGE PROGRAM
- ☐ REVISION to \_\_\_\_\_
- ☐ SPECIAL USE PERMIT

SUBDIVISION CATEGORIES: *Per the Huntersville Subdivision Ordinance*

- ☒ SKETCH PLAN
- ☐ PRELIMINARY PLAN
- ☐ FINAL PLAT (includes minor and exempt plats)
- ☐ FINAL PLAT REVISION
- ☐ FARMHOUSE CLUSTER

## 2. Project Data

Date of Application August 1, 2017

Name of Project Hambright Subdivision Phase # (if subdivision) \_\_\_\_\_

Location 12150 Hambright Road Huntersville, NC 28078

Parcel Identification Number(s) (PIN) ~~01706205~~ **01706201**

Current Zoning District NR Proposed District (for rezonings only) \_\_\_\_\_

Property Size (acres) 62.99 (total project area) Street Frontage (feet) 2445 (total project area)

Current Land Use Vacant

Proposed Land Use(s) Single Family

Is the project within Huntersville's corporate limits?

Yes ☒ No ☐ If no, does the applicant intend to voluntarily annex? \_\_\_\_\_

## 3. Description of Request

Briefly explain the nature of this request. If a separate sheet is necessary, please attach to this application.

This submittal is for a Major Subdivision Sketch Plan with a total of 236 single family lots (131-50' wide front load lots and 105-34' wide alley load

lots). The project is located northwest of the Alexander Middle School, close to the Hambright Road and Old Statesville Road (HWY 115) intersection.

## 4. Site Plan Submittals

Consult the particular type of *Review Process* for the application type selected above. These can be found at <http://www.huntersville.org/Departments/Planning/PermitsProcess.aspx>.



## 5. Outside Agency Information

Other agencies may have applications and fees associated with the land development process. The Review Process list includes plan documents needed for most town and county reviewing agencies.

For major subdivisions, commercial site plans, and rezoning petitions please enclose a copy of the Charlotte-Mecklenburg Utility Willingness to Serve letter for the subject property.

## 6. Signatures

\*Applicant's Signature  Printed Name Meritage Homes of the Carolinas, Inc.

Address of Applicant 13925 Ballantyne Corporate Place, Suite 300

Email Brett.Manery@meritagehomes.com

Property Owner's Signature (if different than applicant) 

Printed Name William Reid Monteith & Don Reid Monteith

Property Owner's Address 12001 Old Statesville Road

Email \_\_\_\_\_

\* Applicant hereby grants permission to the Town of Huntersville personnel to enter the subject property for any purpose required in processing this application.

Development Firm	Name of contact	Phone	Email
Meritage Homes of the Carolinas, Inc.	Brett Manery	704.944.8987	Brett.Manery@meritagehomes.com
WK Dickson, Inc	Weston Boles	704.334.5348	wboles@wkdickson.com
Design Firm	Name of contact	Phone	Email

### If Applying for a General Rezoning:

Please provide the name and Address of owner(s) of fee simple title of each parcel that is included in this rezoning petition. If additional space is needed for signatures, attach an addendum to this application.

### If Applying for a Conditional Rezoning:

Every owner of each parcel included in this rezoning petition, or the owner (s) duly authorized agent, must sign this petition. If signed by an agent, this petition MUST be accompanied by a statement signed by the property owner (s) and notarized, specifically authorizing the agent to act on the owner (s) behalf in filing this petition. Failure of each owner, or their duly authorized agent, to sign, or failure to include the authority of the agent signed by the property owner, will result in an INVALID PETITION. If additional space is needed for signatures, attach an addendum to this application.

Signature, name, firm, address, phone number and email of Duly Authorized Agent by owner needed below:

### If Applying for a Subdivision:

By signature below, I hereby acknowledge my understanding that the Major Subdivision Sketch Plan Process is a quasi-judicial procedure and contact with the Board of Commissioners shall only occur under sworn testimony at the public hearing.

## Contact Information

Town of Huntersville	Phone	704-875-7000
Planning Department	Fax	704-992-5528
PO Box 664	Physical Address	105 Gilead Road, Third Floor
Huntersville, NC 28070	Website	<a href="http://www.huntersville.org/Departments/Planning.aspx">http://www.huntersville.org/Departments/Planning.aspx</a>





# General Application

TOH  
Corrections  
in RED

***Incomplete submissions will not be accepted. Please check all items carefully.***

## 1. Application Type

Please indicate the type of application you are submitting. If you are applying for two (2) actions, provide a separate application for each action. **In addition to the application, the submission process for each application type can be found at**

<http://www.huntersville.org/Departments/Planning/PermitsProcess.aspx>

- ☐ CHANGE OF USE
- ☐ COMMERCIAL SITE PLAN
- ☐ CONDITIONAL REZONING
- ☐ GENERAL REZONING
- ☐ MASTER SIGNAGE PROGRAM
- ☐ REVISION to \_\_\_\_\_
- ☐ SPECIAL USE PERMIT

SUBDIVISION CATEGORIES: *Per the Huntersville Subdivision Ordinance*

- ☒ SKETCH PLAN
- ☐ PRELIMINARY PLAN
- ☐ FINAL PLAT (includes minor and exempt plats)
- ☐ FINAL PLAT REVISION
- ☐ FARMHOUSE CLUSTER

## 2. Project Data

Date of Application August 1, 2017

Name of Project Hambricht Subdivision Phase # (if subdivision) \_\_\_\_\_

Location 12150 Hambricht Road Huntersville, NC 28078

Parcel Identification Number(s) (PIN) 01706205 & 01706206

Current Zoning District NR Proposed District (for rezonings only) \_\_\_\_\_

Property Size (acres) 62.99 (total project area) Street Frontage (feet) 2445 (total project area)

Current Land Use Vacant

Proposed Land Use(s) Single Family

Is the project within Huntersville's corporate limits?

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For major subdivisions, commercial site plans, and rezoning petitions please enclose a copy of the Charlotte-Mecklenburg Utility *Willingness to Serve* letter for the subject property.

## 6. Signatures

\*Applicant's Signature  Printed Name Meritage Homes of the Carolinas, Inc.

Address of Applicant 13925 Ballantyne Corporate Place, Suite 300

Email Brett.Manery@meritagehomes.com

Property Owner's Signature (if different than applicant)  Commissioner

Printed Name R. Michael Allen, Court Appointed Commissioner of Sale in 14SP716 (Dellinger Family who are Party to 14 SP 716 Attached)

Property Owner's Address 7257 Pineville-Matthews Rd., Suite 2100 Charlotte, NC 28226 Email rmallen@southcharlottelawfirm.com

\* Applicant hereby grants permission to the Town of Huntersville personnel to enter the subject property for any purpose required in processing this application.

Meritage Homes of the Carolinas, Inc.	<b>Brett Manery</b>	704.944.8987	Brett.Manery@meritagehomes.com
Development Firm	Name of contact	Phone	Email
<b>WK Dickson, Inc</b>	<b>Weston Boles</b>	7043345348	wboles@wkdickson.com
Design Firm	Name of contact	Phone	Email

### If Applying for a General Rezoning:

Please provide the name and Address of owner(s) of fee simple title of **each** parcel that is included in this rezoning petition. If additional space is needed for signatures, attach an addendum to this application.

### If Applying for a Conditional Rezoning:

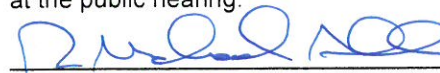
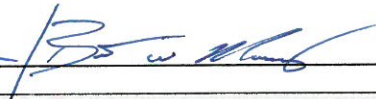
Every owner of each parcel included in this rezoning petition, or the owner (s) duly authorized agent, must sign this petition. If signed by an agent, this petition **MUST** be accompanied by a statement signed by the property owner (s) and notarized, specifically authorizing the agent to act on the owner (s) behalf in filing this petition. Failure of each owner, or their duly authorized agent, to sign, or failure to include the authority of the agent signed by the property owner, will result in an **INVALID PETITION**. **If additional space is needed for signatures, attach an addendum to this application.**

Signature, name, firm, address, phone number and email of Duly Authorized Agent by owner needed below:

\_\_\_\_\_  
\_\_\_\_\_

### If Applying for a Subdivision:

By signature below, I hereby acknowledge my understanding that the Major Subdivision Sketch Plan Process is a quasi-judicial procedure and contact with the Board of Commissioners shall **only** occur under sworn testimony at the public hearing.

 Commissioner 

## Contact Information

<b>Town of Huntersville</b>	Phone:	704-875-7000
<b>Planning Department</b>	Fax:	704-992-5528
PO Box 664	Physical Address:	105 Gilead Road, Third Floor
Huntersville, NC 28070	Website:	<a href="http://www.huntersville.org/Departments/Planning.aspx">http://www.huntersville.org/Departments/Planning.aspx</a>



**Attachment 1 to Contract  
R. Michael Allen, Commissioner  
And  
Meritage Homes of the Carolinas, Inc.**

Members of the Dellinger Family who are parties to Special Proceeding 14 SP 716 pending in the Mecklenburg County Superior Court:

Brenda Dellinger, widow of Robert C. Dellinger

Daisy Lou Dellinger Cobb and husband, Edwin Cobb

Johnny W. Dellinger and wife Teresa Darlene Dellinger

William J. Dellinger and wife Donnie D. Sparks

Theodore C. Dellinger and wife Faye A. Dellinger

Laura Roberta Dellinger, unmarried

William Joseph Dellinger, Jr. and wife Tiffany Hartung

Walter Jason Dellinger, unmarried

Anthony Scott Dellinger, unmarried

Dana Marie Dellinger, Minshew, unmarried



## Weston Boles

---

**From:** Pannell, Matt <Matt.Pannell@meritagehomes.com>  
**Sent:** Monday, April 10, 2017 8:22 AM  
**To:** Owen, Reid  
**Subject:** Fwd: Hambright Road  
**Attachments:** image001.jpg; image004.jpg

Reid,  
See below

Matt Pannell  
Land Acquisition Manager  
Meritage Homes  
(704)380-7062

Begin forwarded message:

**From:** "Michaux, Jr. Roy H." <[Roy.Michaux@klgates.com](mailto:Roy.Michaux@klgates.com)>  
**Date:** April 8, 2017 at 12:52:04 PM EDT  
**To:** Michael Allen <[rmallen@southcharlottelawfirm.com](mailto:rmallen@southcharlottelawfirm.com)>, "Pannell, Matt" <[Matt.Pannell@meritagehomes.com](mailto:Matt.Pannell@meritagehomes.com)>  
**Cc:** "Johnson, Lance" <[Lance.Johnson@meritagehomes.com](mailto:Lance.Johnson@meritagehomes.com)>  
**Subject:** RE: Hambright Road

Mike is correct. All of the members of the family and their spouses have been made parties to the special proceeding and Mike is the only one who needs to sign.

**Roy H. Michaux, Jr.**  
K&L Gates LLP  
214 N. Tryon Street, Suite 4700  
Charlotte, NC 28202  
Phone: +1.704.331.7462  
Fax: +1.704.353.3162  
[roy.michaux@klgates.com](mailto:roy.michaux@klgates.com)  
[www.klgates.com](http://www.klgates.com)

---

**From:** Michael Allen [<mailto:rmallen@southcharlottelawfirm.com>]  
**Sent:** Wednesday, April 05, 2017 5:01 PM  
**To:** Pannell, Matt  
**Cc:** Michaux, Jr. Roy H.  
**Subject:** RE: Hambright Road



I am the one with authority to convey fee simple title, so I don't believe you will need the individual owners' signatures unless there is something in the rezoning laws that I'm not aware of. I'm copying Roy to see if he has an opinion on that.

Mike Allen

---

**From:** Pannell, Matt [<mailto:Matt.Pannell@meritagehomes.com>]  
**Sent:** Wednesday, April 05, 2017 4:56 PM  
**To:** Michael Allen  
**Cc:** Owen, Reid  
**Subject:** RE: Hambright Road

Mike,

Good afternoon, just had a quick question. We will need to get the property owners signatures on the petition to file for the rezoning of the property shortly. As the Court Appointed Commissioner of the Sale, would you be the one to execute that for the Sellers? We just don't want to run into delays trying to get all the signatures on the petition if legally you can execute the petition.

Thanks Mike.

**Matt Pannell**  
Land Acquisition Manager

**Setting the standard for energy-efficient homes™**  
13925 Ballantyne Corporate Place, Suite 300 | Charlotte, NC 28277  
O: 704.944.8947 | C: 704.380.7062 | F: 704.944.8910  
[matt.pannell@meritagehomes.com](mailto:matt.pannell@meritagehomes.com) | [www.meritagehomes.com](http://www.meritagehomes.com)

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---

**From:** Michael Allen [<mailto:rmallen@southcharlottelawfirm.com>]  
**Sent:** Tuesday, March 21, 2017 8:58 AM  
**To:** Pannell, Matt  
**Subject:** RE: Hambright Road

Okay, thanks. Please just copy me on your response.

Mike Allen

---

**From:** Pannell, Matt [<mailto:Matt.Pannell@meritagehomes.com>]  
**Sent:** Tuesday, March 21, 2017 8:58 AM  
**To:** Michael Allen  
**Subject:** RE: Hambright Road

Michael,



Good morning. I received the 2<sup>nd</sup> Amendment yesterday but we may need to request some changes to it. I will be following up with Justin Holofchak and Roy Michaux later today on our comments.

Thanks

**Matt Pannell**  
Land Acquisition Manager

**Setting the standard for energy-efficient homes™**

13925 Ballantyne Corporate Place, Suite 300 | Charlotte, NC 28277

O: 704.944.8947 | C: 704.380.7062 | F: 704.944.8910

[matt.pannell@meritagehomes.com](mailto:matt.pannell@meritagehomes.com) | [www.meritagehomes.com](http://www.meritagehomes.com)

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---

**From:** Michael Allen [<mailto:rmallen@southcharlottelawfirm.com>]  
**Sent:** Monday, March 20, 2017 4:07 PM  
**To:** Pannell, Matt  
**Subject:** RE: Hambright Road

Matt, have you had a chance to look at the 2d amendment that Roy Michaux sent?

Mike Allen

---

**From:** Pannell, Matt [<mailto:Matt.Pannell@meritagehomes.com>]  
**Sent:** Monday, March 20, 2017 9:25 AM  
**To:** Michael Allen  
**Subject:** RE: Hambright Road

Michael,

Good morning. Just wanted to see if we can get that 2<sup>nd</sup> Amendment today from the Dellinger family and Roy Michaux?

Thanks Michael

**Matt Pannell**  
Land Acquisition Manager

**Setting the standard for energy-efficient homes™**

13925 Ballantyne Corporate Place, Suite 300 | Charlotte, NC 28277

O: 704.944.8947 | C: 704.380.7062 | F: 704.944.8910

[matt.pannell@meritagehomes.com](mailto:matt.pannell@meritagehomes.com) | [www.meritagehomes.com](http://www.meritagehomes.com)



---

**From:** Michael Allen [<mailto:rmallen@southcharlottelawfirm.com>]  
**Sent:** Friday, March 17, 2017 11:58 AM  
**To:** Pannell, Matt  
**Cc:** Justin Holofchak ([JHolofchak@mpvre.com](mailto:JHolofchak@mpvre.com)); [roy.michaux@klgates.com](mailto:roy.michaux@klgates.com)  
**Subject:** Hambright Road

Matt,

I just wanted you to know that we are working on revising the second amendment to address the due diligence period and closing. Roy Michaux is out of the office today and we're not sure that we'll be able to send a revised draft today, but we should be able to have something by Monday.

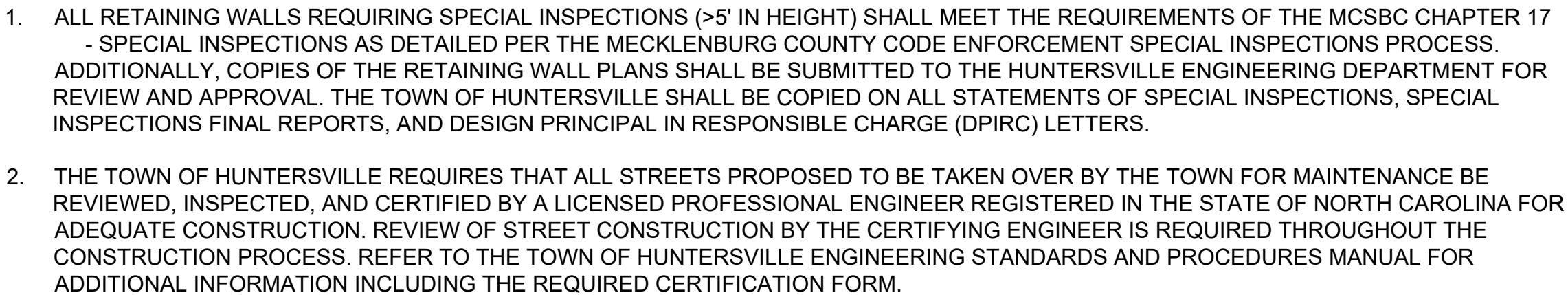
Best regards.

Mike Allen

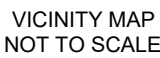
R. Michael Allen  
Cranford, Buckley, Schultze, Tomchin, Allen & Buie, P.A.  
7257 Pineville-Matthews Road, Suite 2100  
Charlotte, NC 28226  
Phone: 704/442-1010  
Fax: 704/442-1020  
[rmallen@southcharlottelawfirm.com](mailto:rmallen@southcharlottelawfirm.com)

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Sheet List Table	
SHEET NUMBER	SHEET TITLE
C1.0	COVER SHEET
C2.0	EXISTING CONDITIONS & DEMO
C2.1	SLOPES & SOILS
C2.2	TREE PRESERVATION PLAN
C3.0	OVERALL SITE PLAN
C3.1	SITE PLAN - SHEET I
C3.2	SITE PLAN - SHEET II
C3.3	SITE PLAN - PHASING PLAN
C3.4	SITE PLAN - DETAILS
C4.0	OVERALL GRADING AND DRAINAGE
C4.1	GRADING AND STORMSEWER - SHEET I
C4.2	GRADING AND STORMSEWER - SHEET II



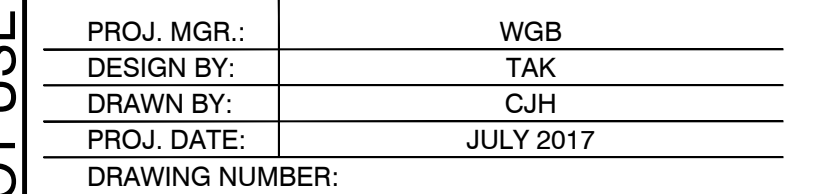
- PLUM CREEK SUBDIVISION
- BRYTON SQUARE SUBDIVISION
- BRYTON TRACE SUBDIVISION

	PID	Owner	Mailing Address	Zoning
1	01911114	ATTN: TAX DEPT - PB05B DUKE POWER CO	422 S CHURCH ST CHARLOTTE NC 28242	NR
2	01911115	TOWN OF HUNTERSVILLE	PO BOX 664 HUNTERSVILLE NC 28070	NR
3	01911108	DEVELOPMENT SOLUTIONS BRY LLC	516 N WEST ST RALEIGH NC 27603	TOD-R(CD)
4	01911137	BRYTON SQUARE HOMEOWNERS ASSOCIATION INC	516 N WEST ST RALEIGH NC 27603	NC(CD)
5	01913143	DD BRYTON LLC AND C/O DAVIS DEVELOPMENT INC	403 CORPORATE CENTER DR STE 201 STOCKBRIDGE GA 30281	TOD-R(CD)
6	01737105	LORAN T JR AND NICOLE L CECIL	10115 BON MEADE LN CORNELIUS NC 28031	GR
7	01737106	CONNELL JR AND BEVERLY R ROBINSON	12203 WICKSON CT HUNTERSVILLE NC 28078	GR
8	01737198	ASSOC INC PLUM CREEK PROPERTY OWNERS	PO BOX 87 HUNTERSVILLE NC 28078	GR
9	01737102	THE FIRST STATE BANK	PO BOX 295 BARBOURSVILLE WV 25504	NR(CD)
10	01737101	THE FIRST STATE BANK	PO BOX 295 BARBOURSVILLE WV 25505	NR(CD)
11	01737114	JEREMY F PUZYCKI	12112 ABUNDANCE CR HUNTERSVILLE NC 28078	GR
12	01737115	MATT AND MELANIE DUNKER	12104 ABUNDANCE CR HUNTERSVILLE NC 28078	GR
13	01737116	THOMAS JARETT ORMSBEE AND TAMMY LEIGH RABUCK	12100 ABUNDANCE CR HUNTERSVILLE NC 28078	GR
14	01737117	CHRISTINE RUSSELL	1278 GLENNEVRE ST LAGUNA BEACH CA 92651	GR
15	01737118	JOSEPH AND AMBER KAROL	12105 ABUNDANCE CR HUNTERSVILLE NC 28078	GR
16	01737119	JOSEPH AND LAURA TASSO	12111 ABUNDANCE CR HUNTERSVILLE NC 28078	GR
17	01737120	TYLER J LADENDORF AND NATASHA SMITH	12115 ABUNDANCE CR HUNTERSVILLE NC 28078	GR
18	01737121	AMH NC PROPERTIES LP	30601 AGOURA RD STE 200 AGOURA HILLS CA 91301	GR
19	01737122	JERIELL M NEAL AND YOLANDA NEAL	12127 ABUNDANCE CR HUNTERSVILLE NC 28078	GR
20	01737430	WALTER L JR AND XIMENA M BLANKENSHIP	12205 HORTULAN CT HUNTERSVILLE NC 28078	GR
21	01737429	SAMUEL BRANDEN AND NICHOLE ASHLEY LEE	12202 SHIRO CT HUNTERSVILLE NC 28078	GR
22	01737140	ASSOC INC PLUM CREEK PROPERTY OWNERS	PO BOX 87 HUNTERSVILLE NC 28078	GR
23	01737139	ASSOC INC PLUM CREEK PROPERTY OWNERS	PO BOX 87 HUNTERSVILLE NC 28079	GR
24	01737123	JOSEPH O AND MARTA COLINDRES BELTRAN	238 ST CATHERINE DR DALY CITY CA 94015	GR
25	01737124	JERRY B AND MALETTE S MORRISON	13530 DAMSON DR HUNTERSVILLE NC 28078	GR
26	01737125	CHARLES B AND CYNTHIA A GARRISON AND JUSTIN ALGERA AND NORLENE CAYETANO	13526 DAMSON DR HUNTERSVILLE NC 28078	GR
27	01737126	SHENITA A CURRIE	13520 DAMSON DR HUNTERSVILLE NC 28078	GR
28	01737127	JOANN W CLONINGER	13516 DAMSON DR HUNTERSVILLE NC 28078	GR
29	01737128	FRANK MILTON AND LINDA REAMES HOPKINS	13510 DAMSON DR HUNTERSVILLE NC 28078	GR
30	0106202	MECKLENBURG HUNTER LLC	2430 GALLOWAY RD CHARLOTTE NC 28262	CB(CD)/SP(CD)
31	0106203	BBJ PROPERTIES LLC AND C/O LEWIS & CONE PLLC	PO BOX 59 MOORESVILLE NC 28115	SP/CB
32	01062028	PHILLIPS DEVELOPMENT GROUP LLC	247 W LACKEY FARM RD STONY POINT NC 28678	CB(CD)/SP
33	01062029	STEVEN L AND PAMELA H JAMES	13801 SIMS RD HUNTERSVILLE NC 28078	CB(CD)/SP
34	01062024	HAMBRIGHT ANIMAL HOSPITAL HOLDINGS LLC	13644 COTESWORTH CT HUNTERSVILLE NC 28078	CB(CD)/SP
35	01705101	A KELLY PHARR AND WENDY C SPECKMAN	207 ASHBY DR DAVIDSON NC 28036	CB(CD)
36	01705112	MECKLENBURG COUNTY	600 E 4TH ST 11TH FLOOR CHARLOTTE NC 28202	NR
37	01706207	BOARD OF EDUCATION CHARLOTTE MECKLENBURG	PO BOX 30035 CHARLOTTE NC 28230	NR
38	01706205 (PART OF)	JOHNNY WATT DELLINGER	9675 PLUM GROVE RD CLEVELAND TX 77327	NR
39	01706201 (PART OF)	WILLIAM AND DON MONTEITH	8908 CARLETO CT CHARLOTTE NC 28214	NR



**MeritageHomes®**

## COVER SHEET

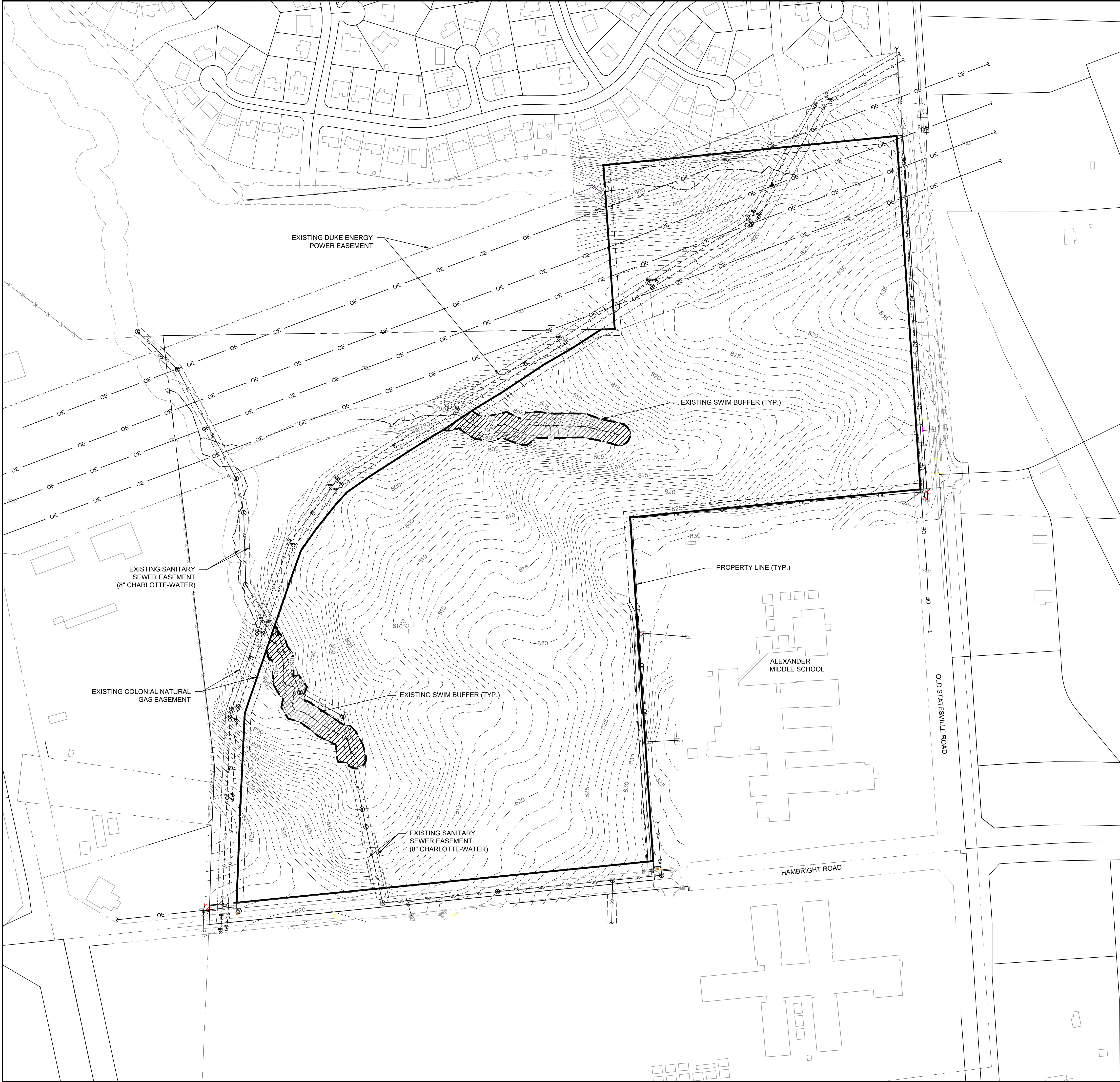


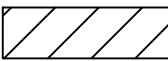
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11/01/2017	COMMENTS FROM HUNTERSVILLE

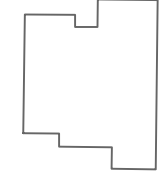
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PRELIMINARY DRAWINGS - DO NOT USE FOR CONSTRUCTION





 STREAM/SWIM BUFFERS

 EXISTING BUILDINGS/ STRUCTURES

- NOTES**
1. BOUNDARY FOR SUBJECT SITE OBTAINED FROM SURVEY PREPARED BY ESP ASSOCIATES P.A., ENTITLED "ALTA/NSPS LAND TITLE SURVEY OF TAX PARCELS: #01706205, #01706206 & PART OF #01706201" DATED 06/22/17.
  2. TOPOGRAPHIC INFORMATION OBTAINED FROM MECKLENBURG COUNTY GIS. TOPOGRAPHIC SURVEY WILL BE COMPLETED DURING CONSTRUCTION DOCUMENTS.
  3. INFORMATION SHOWN ON THE PRELIMINARY EXISTING FEATURES PLAN IS BASED ON SURVEY PREPARED BY ESP ASSOCIATES COMBINED WITH GIS. PLEASE REFER TO ALTA SURVEY TITLED "ALTA/NSPS LAND TITLE SURVEY OF TAX PARCELS: #01706205, #01706206 & PART OF #01706201" DATED 06/22/17 FOR SITE INFORMATION

  
community infrastructure consultants


616 COLONNADE DR  
CHARLOTTE, NC 28205  
(704) 334-0078  
(704) 334-5348  
[WWW.WKDICKSON.COM](http://WWW.WKDICKSON.COM)  
NC LICENSE NO. F-0374

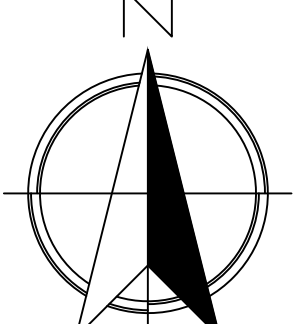


**HAMBRIGHT  
MAJOR  
SUBDIVISION  
SKETCH PLAN  
EPM # 378892**

**EXISTING  
CONDITIONS  
& DEMO**

SEAL

  
11/1/17

  
150 0 150 300  
SCALE: 1" = 150'

PROJ. MGR.:	WGB
DESIGN BY:	TAK
DRAWN BY:	CJH
PROJ. DATE:	JULY 2017
DRAWING NUMBER:	

2.0

WKD PROJ. NO.:  
20170049.00.CL

DATE:	COMMENT:
09/13/2017	COMMENTS FROM HUNTERSVILLE
11/01/2017	COMMENTS FROM HUNTERSVILLE

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**SOILS LEGEND**

CuB: Cecil Urban Land Complex (2-8% Slopes) - 0.6 AC  
HeB: Helena Sandy Loam (2-8% Slopes) - 3.8 AC  
VaB: Vance Sandy Loam (2-8% Slopes) - 41.5 AC  
CeB2: Cecil Sandy Clay Loam (2-8% Slopes) - 12.3 AC  
VaD: Vance Sandy Loam (8-15% Slopes) - 2.0 AC  
WkE: Wilkes Loam (15-25% Slopes) - 4.9 AC

SLOPES LEGEND			
NUMBER	MINIMUM SLOPE	MAXIMUM SLOPE	COLOR
1	0.00%	10.00%	Green
2	10.00%	15.00%	Yellow
3	15.00%	25.00%	Orange
4	25.00%	100.00%	Red

**NOTES**

1. BASE INFORMATION OBTAINED FROM MECKLENBURG COUNTY GIS.
2. SOIL INFORMATION OBTAINED FROM MECKLENBURG COUNTRY GIS.
3. TOPOGRAPHY & SLOPE INFORMATION BASED ON MECKLENBURG COUNTY GIS DATA.
4. BOUNDARY FOR SUBJECT SITE FROM SURVEY TITLED "ALTAINSPS LAND TITLE SURVEY OF TAX PARCELS: #01706205, #01706206 & PART OF #01706201" PREPARED BY ESP ASSOCIATES P.A. DATED 06/22/2017

WK

DICKSON

community infrastructure consultants

616 COLONNADE DR  
CHARLOTTE, NC 28205  
(704) 334-0078  
(704) 334-5348  
WWW.WKDICKSON.COM

NC LICENSE NO. F-0374

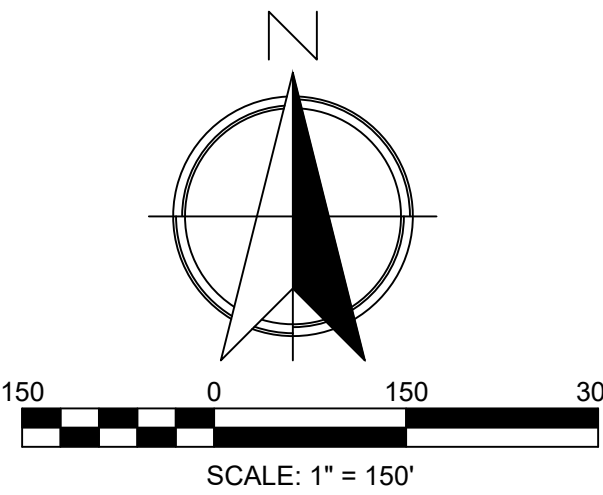
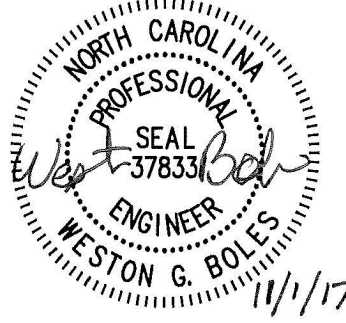
CLIENT:

**HAMBRIGHT  
MAJOR  
SUBDIVISION  
SKETCH PLAN  
EPM # 378892**

SHEET TITLE:

**SLOPE AND  
SOILS PLAN**

SEAL:



PROJ. MGR.:	WGB
DESIGN BY:	TAK
DRAWN BY:	CJH
PROJ. DATE:	JULY 2017
DRAWING NUMBER:	

**2.1**

WKD PROJ. NO.:  
20170049.00.CL

DATE:	COMMENT:
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11/01/2017	COMMENTS FROM HUNTERSVILLE

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**LEGEND**

EXISTING TREE LINE

EXISTING TREES TO REMAIN

SPECIMEN TREE TO BE REMOVED

SPECIMEN TREE TO REMAIN

- NOTES**
1. BOUNDARY FOR SUBJECT SITE OBTAINED FROM SURVEY PREPARED BY ESP ASSOCIATES P.A., ENTITLED "ALTAINSPS LAND TITLE SURVEY OF TAX PARCELS: #01706205, #01706206 & PART OF #01706201" DATED 06/22/17.

2. TOPOGRAPHIC INFORMATION OBTAINED FROM MECKLENBURG COUNTY GIS.

3. INFORMATION SHOWN ON THE PRELIMINARY EXITING FEATURES PLAN IS BASED ON SURVEY PREPARED BY ESP ASSOCIATES COMBINED WITH GIS. PLEASE REFER TO ALTA SURVEY TITLED "ALTAINSPS LAND TITLE SURVEY OF TAX PARCELS: #01706205, #01706206 & PART OF #01706201" DATED 06/22/17 FOR SITE INFORMATION.

4. TREE INFORMATION OBTAINED FROM SURVEY PREPARED BY ESP ASSOCIATES P.A. ENTITLED "FN52.800 SUBDIVISION AND TREE PRELIM BASE.DWG"

**EXISTING TREE SUMMARY**

TOTAL EXISTING HERITAGE TREES:	+/- 0
TOTAL EXISTING SPECIMEN TREES:	+/- 19
SPECIMEN TREES REQUIRED TO SAVE:	10% OF EXISTING
SPECIMEN TREES TO BE REMOVED:	13
SPECIMEN TREES TO BE SAVED:	6 (31.6%)
TREE CANOPY COVERAGE:	6.12 AC
PERCENTAGE REQUIRED TO SAVE:	10% OF EXISTING
TREE CANOPY ACTUALLY SAVED:	0.96 AC (15.7%)

SPECIMEN TREE TABLE	
NUMBER	DESCRIPTION
1	40" ELM
2	34" OAK
3	36" OAK
4	31" OAK
5	30" OAK
6	45" OAK
7	26" OAK
8	30" OAK
9	28" OAK
10	25" OAK
11	29" OAK
12	29" OAK
13	35" OAK
14	29" OAK
15	25" OAK
16	28" OAK
17	41" OAK
18	36" OAK
19	37" OAK

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NC LICENSE NO. F-0374

CLIENT:

PROJECT:

HAMBRIGHT  
MAJOR  
SUBDIVISION  
SKETCH PLAN  
EPM # 378892

SHEET TITLE:

TREE  
PRESERVATION  
PLAN

SEAL:

PROJ. MGR.:	WGB
DESIGN BY:	TAK
DRAWN BY:	CJH
PROJ. DATE:	JULY 2017
DRAWING NUMBER:	2.2

WKD PROJ. NO.: 20170049.00.CL

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DATE: 09/13/2017	COMMENTS FROM HUNTERSVILLE
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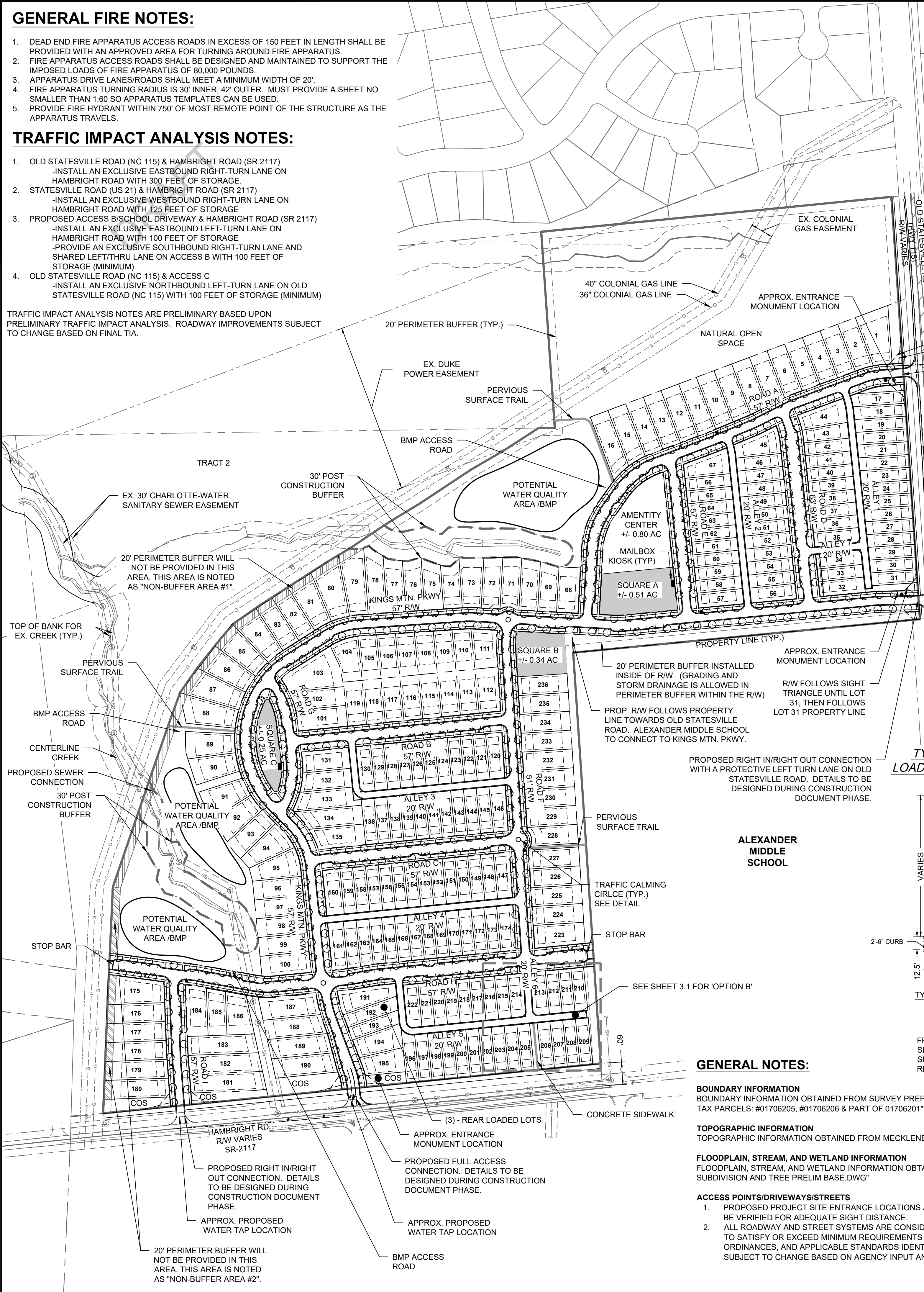
## GENERAL FIRE NOTES:

1. DEAD END FIRE APPARATUS ACCESS ROADS IN EXCESS OF 150 FEET IN LENGTH SHALL BE PROVIDED WITH AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
2. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS OF 80,000 POUNDS.
3. APPARATUS DRIVE LANES/ROADS SHALL MEET A MINIMUM WIDTH OF 20'.
4. FIRE APPARATUS TURNING RADIUS IS 30' INNER, 42' OUTER. MUST PROVIDE A SHEET NO SMALLER THAN 1:60 SO APPARATUS TEMPLATES CAN BE USED.
5. PROVIDE FIRE HYDRANT WITHIN 750' OF MOST REMOTE POINT OF THE STRUCTURE AS THE APPARATUS TRAVELS.

## TRAFFIC IMPACT ANALYSIS NOTES:

1. OLD STATESVILLE ROAD (NC 115) & HAMBRIGHT ROAD (SR 2117)  
-INSTALL AN EXCLUSIVE EASTBOUND RIGHT-TURN LANE ON HAMBRIGHT ROAD WITH 300 FEET OF STORAGE.
2. STATESVILLE ROAD (US 21) & HAMBRIGHT ROAD (SR 2117)  
-INSTALL AN EXCLUSIVE WESTBOUND RIGHT-TURN LANE ON HAMBRIGHT ROAD WITH 125 FEET OF STORAGE.
3. PROPOSED ACCESS B/SCHOOL DRIVEWAY & HAMBRIGHT ROAD (SR 2117)  
-INSTALL AN EXCLUSIVE EASTBOUND LEFT-TURN LANE ON HAMBRIGHT ROAD WITH 100 FEET OF STORAGE  
-PROVIDE AN EXCLUSIVE SOUTHBOUND RIGHT-TURN LANE AND SHARED LEFT/THRU LANE ON ACCESS B WITH 100 FEET OF STORAGE (MINIMUM)
4. OLD STATESVILLE ROAD (NC 115) & ACCESS C  
-INSTALL AN EXCLUSIVE NORTHBOUND LEFT-TURN LANE ON OLD STATESVILLE ROAD (NC 115) WITH 100 FEET OF STORAGE (MINIMUM)

TRAFFIC IMPACT ANALYSIS NOTES ARE PRELIMINARY BASED UPON PRELIMINARY TRAFFIC IMPACT ANALYSIS. ROADWAY IMPROVEMENTS SUBJECT TO CHANGE BASED ON FINAL TIA.



## LEGEND:

- PROJECT BOUNDARY (GIS)
- ADJOINING PROPERTY BOUNDARY (GIS)
- PROPOSED LOT LINE
- PROPOSED OPEN SPACE SQUARE
- 20' PERIMETER BUFFER
- STREET TREE (LOCATIONS SUBJECT TO CHANGE DURING CONSTRUCTION PLAN PROCESS TO MEET MINIMUM TOWN REQUIREMENTS)
- STREET LIGHT (LOCATIONS SUBJECT TO CHANGE DURING CONSTRUCTION PLAN PROCESS TO MEET MINIMUM TOWN REQUIREMENTS)
- FIRE HYDRANT (LOCATIONS SUBJECT TO CHANGE DURING CONSTRUCTION PLAN PROCESS TO MEET MINIMUM TOWN REQUIREMENTS)

**NOTE:**  
SEE SITE PLAN DETAILS SHEET FOR BLOCK LENGTH TABLE AND BLOCK LENGTH WAIVER REQUESTS.

- 35' x 35' SIGHT TRIANGLE (TYP)
- 10' x 70' SIGHT TRIANGLE (TYP)

PROPOSED RIGHT IN/RIGHT OUT CONNECTION. DETAILS TO BE DESIGNED DURING CONSTRUCTION DOCUMENT PHASE.

**DEVELOPER:**  
CONTACT: REID OWEN  
EMAIL: REID.OWEN@MERITAGEHOMES.COM  
ADDRESS: 13925 BALLANTYNE CORPORATE PLACE, SUITE 300 CHARLOTTE, NC 28277 (704) 944-8940

**CIVIL ENGINEER:**  
CONTACT: WK DICKSON & CO., INC.  
EMAIL: WBOLDS@WKDICKSON.COM  
ADDRESS: 616 COLONNADE DR. CHARLOTTE NC 28205 (704) 334-5348

**UTILITY PROVIDERS:**

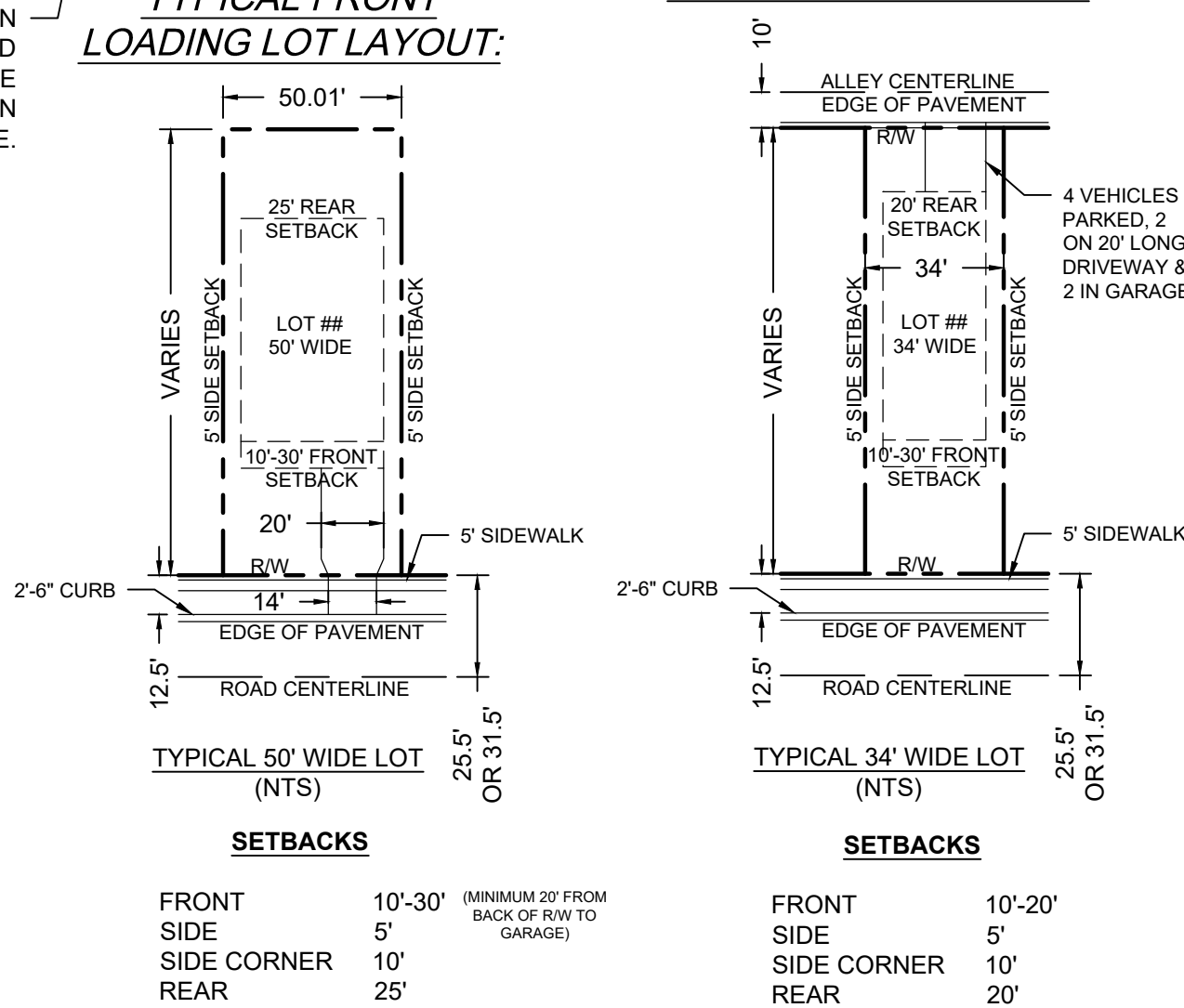
**WATER AND SEWER:**  
CHARLOTTE WATER  
5100 BROOKSHIRE BLVD.  
CHARLOTTE, NC 28216

**ELECTRIC:**  
DUKE ENERGY  
P.O. BOX 1090  
CHARLOTTE, NC 28201

**NATURAL GAS:**  
PIEDMONT NATURAL GAS  
4720 PIEDMONT ROW DR.  
CHARLOTTE, NC 28210

**CABLE & INTERNET:**  
SPECTRUM CABLE  
7910 CRESCENT EXECUTIVE DRIVE  
CHARLOTTE, NC 28217

## TYPICAL ALLEY LOADING LOT LAYOUT:



## GENERAL NOTES:

**BOUNDARY INFORMATION**  
BOUNDARY INFORMATION OBTAINED FROM SURVEY PREPARED BY ESP ASSOCIATES, P.A. ENTITLED "ALTA/NSPS LAND TITLE SURVEY OF TAX PARCELS: #01706205, #01706206 & PART OF 01706201" DATED JUNE 22ND, 2017

**TOPOGRAPHIC INFORMATION**  
TOPOGRAPHIC INFORMATION OBTAINED FROM MECKLENBURG COUNTY GIS TOPOGRAPHY.

**FLOODPLAIN, STREAM, AND WETLAND INFORMATION**  
FLOODPLAIN, STREAM, AND WETLAND INFORMATION OBTAINED FROM SURVEY PREPARED BY ESP ASSOCIATES, P.A. ENTITLED "FN.52.800 SUBDIVISION AND TREE PRELIM BASE.DWG"

- ACCESS POINTS/DRIVEWAYS/STREETS**
1. PROPOSED PROJECT SITE ENTRANCE LOCATIONS ARE CONSIDERED PRELIMINARY IN NATURE AND SUBJECT TO CHANGE. NEED TO BE VERIFIED FOR ADEQUATE SIGHT DISTANCE.
  2. ALL ROADWAY AND STREET SYSTEMS ARE CONSIDERED TO BE PRELIMINARY AND WILL NEED TO BE VERIFIED FOR SUFFICIENCY TO SATISFY OR EXCEED MINIMUM REQUIREMENTS ESTABLISHED IN THE TOWN OF HUNTERVILLE ZONING AND SUBDIVISION ORDINANCES, AND APPLICABLE STANDARDS IDENTIFIED BY NCDOT. STREET CONNECTIONS ARE CONCEPTUAL AND MAY BE SUBJECT TO CHANGE BASED ON AGENCY INPUT AND REVIEW.

## SITE PLAN DATA TABLE:

PARCEL NUMBERS:	01706206, PORTION OF 01706205 & PORTION OF 01706201
TOTAL ACREAGE:	+/- 62.99 AC
URBAN OPEN SPACE:	
SQUARE "A"	+/- 22,350 SQ. FT.
SQUARE "B"	+/- 14,726 SQ. FT.
SQUARE "C"	+/- 11,013 SQ. FT.
TOTAL NATURAL OPEN SPACE AREA:	+/- 488,215 SQ. FT.
TOTAL COS/AMENITY:	+/- 34,714 SQ. FT.
TOTAL SQUARE FOOTAGE:	+/- 2,806,135.2 SQ. FT.
PRINCIPAL USES:	SINGLE FAMILY RESIDENTIAL
BUILDING TYPE:	DETACHED SINGLE FAMILY HOMES
ZONING DISTRICT:	NR - NEIGHBORHOOD RESIDENTIAL
EXISTING:	NR - NEIGHBORHOOD RESIDENTIAL
PROPOSED:	NR - NEIGHBORHOOD RESIDENTIAL
% OF IMPERVIOUS ALLOWED:	70% W/ BMP
HIGH DENSITY:	+60%
% OF IMPERVIOUS SHOWN:	20,000 SF
AMENITY CENTER APPROX. BUA:	
LOT COUNT	236
TOTAL NUMBER OF DWELLINGS	236
34' SINGLE FAMILY (DETACHED)	131 LOTS (56%)
APPROX. BUA PER LOT	3,800 SF
50' SINGLE FAMILY (DETACHED)	105 LOTS (44%)
APPROX. BUA PER LOT	2,800 SF
LOT SIZE RANGE:	4,080 SF-11,862 SF (5,644 SF AVERAGE)
NUMBER OF LOTS WITHIN EACH RANGE:	236
LOT WIDTH RANGE:	34' - 92'
NUMBER OF LOTS WITHIN EACH WIDTH:	131
34' SINGLE FAMILY:	105
50' SINGLE FAMILY:	105
PROPOSED DENSITY:	3.75 D.U./ ACRE
TREE CANOPY SAVE (NR):	
EXISTING TREE CANOPY	-6.12 ACRES
REQUIRED:	-0.612 ACRES (10%)
SAVED:	+/- 0.96 ACRES (~15.7%)
SPECIMEN TREES:	
EXISTING SPECIMEN TREES ON SITE:	19
SPECIMEN TREES REQUIRED:	2 (10%)
SPECIMEN TREES TO REMAIN:	6 (31.6%)

## WATERSHED INFORMATION

WATERSHED DISTRICT: MIL-O-MOUNTAIN ISLAND - PA2  
HIGH DENSITY: 70% B.U. W/ BMP  
% OF ALLOWABLE IMPERVIOUS AREA: 70% B.U.  
AMOUNT OF LOT AREA SET ASIDE FOR FUTURE IMPERVIOUS BY HOMEOWNER: MIN. 1% OF LOT AREA (150 SQ.FT. MINIMUM)

## DEVELOPMENT NOTES:

1. ALL DEVELOPMENT AND CONSTRUCTION SHALL COMPLY WITH ALL ZONING AND SUBDIVISION STANDARDS OF THE TOWN OF HUNTERVILLE, MECKLENBURG COUNTY, AND NCDOT, AS APPLICABLE.
2. THIS PROPERTY MAY BE SUBJECT TO ANY EASEMENTS AND/OR RIGHT-OF-WAY OF RECORD.
3. ALL AREAS DESIGNATED AS COMMON AND/OR URBAN OPEN SPACE SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION AND DEDICATED FOR PERPETUITY.
4. ACCESS (INGRESS/EGRESS) LOCATION AND DESIGN SHOWN ON THIS SKETCH PLAN AREA SUBJECT TO ACHIEVING VERTICAL AND HORIZONTAL SIGHT DISTANCES, TURN LANE IMPROVEMENTS (INCLUDING) ROW AND INTERSECTION WITH ADJACENT AND OPPOSING ACCESS POINTS. MODIFICATIONS TO PLAN MAY RESULT.
5. LARGE MATURING TREES WILL BE PLANTED 40' O/C WITHIN THE REQUIRED PLANTING STRIP ALONG ALL STREETS WITH THE EXCEPTION OF RURAL PARKWAYS WHERE EXISTING TREES CAN SATISFY THE STREET TREE REQUIREMENT. SMALL MATURING TREES ARE TO BE USED WHERE OVERHEAD POWER LINES EXIST.
6. THE MAILBOX KIOSK SHOWN ON THIS PLAN ARE PRELIMINARY AND THE LOCATION IS SUBJECT TO CHANGE.
7. THE SUBDIVISION WILL UTILIZE ROLL-OUT GARAGE CAN PICKUP.
8. ARTICLE 8.16.1 OF THE TOWN OF HUNTERVILLE ZONING ORDINANCE "EXCEPT AS SPECIFICALLY PROVIDED IN THE RURAL AND TRANSITIONAL DISTRICTS, DETACHED HOUSE TYPES AND TWO-UNIT ATTACHED HOUSE TYPES SHALL BE REQUIRED TO HAVE A LOT WIDTH GREATER THAN 50 FEET. DEVELOPERS SHALL HAVE THE OPTION TO PROVIDE LOTS WIDTHS 50 FEET WIDE OR LESS WHEN ALLEY ACCESS ALLOWING ON-SITE PARKING IS PROVIDED FOR DETACHED HOUSE TYPES AND TWO-UNIT ATTACHED HOUSE TYPES. FURTHER, DEVELOPERS SHALL ALSO HAVE THE OPTION TO APPLY FOR A CONDITIONAL DISTRICT REZONING TO CREATE LOT WIDTHS OF 50 FEET WIDE OR LESS WITHOUT AN ALLEY PROVIDED IT CAN DEMONSTRATE THE DEVELOPMENT CAN ACCOMMODATE ON-STREET PARKING, MEET ALL THE PROVISIONS OF THE ZONING ORDINANCE INCLUDING INSTALLATION OF STREET TREES, AND DEMONSTRATE PUBLIC SERVICES SUCH AS TRASH PICK-UP CAN BE PROVIDED."
9. DIRECT ACCESS FROM LOTS TO A THOROUGHFARE IS PROHIBITED.
10. TRACT 2 WILL BE DEDICATED TO MECKLENBURG COUNTY PARKS AND RECREATION OR A BUYER WITH CONSERVATION OR RECREATION PURPOSE FOLLOWING THE DEVELOPER'S ACQUISITION OF THE PROPERTY.
11. ALL ALLEYS SHALL BE OPEN FOR GENERAL USAGE BY THE GENERAL PUBLIC BUT SHALL NOT BE ACCEPTED BY THE PUBLIC FOR MAINTENANCE. MAINTENANCE SHALL BE RESPONSIBILITY OF DEVELOPER/ASSOCIATIONS OF HOMEOWNERS.
12. RESIDENTIAL LOT TREES  
LOTS LESS THAN 10,000 SQ. FT.: 1 FRONT, 1 REAR YARD TREE REQUIRED  
LOTS FROM 10,000-15,000 SQ. FT.: 1 FRONT, 2 REAR YARD TREES REQUIRED
13. ALL LOTS TO BE LOCATED WITHIN 1/4 MILE OF URBAN OPEN SPACE.
14. WATER SERVICE TO BE PROVIDED BY CHARLOTTE-WATER.
15. SANITARY SEWER SERVICE TO BE PROVIDED BY CHARLOTTE-WATER.
16. THE 20' PERIMETER BUFFER SHALL REMAIN UNDISTURBED ALONG THE PROPERTY LINE IN OTHER AREAS OF THE SITE WITH THE EXCEPTION OF THE FOREMENTIONED. SHOULD NATURAL VEGETATION NOT EXIST IN THESE AREAS, THE BUFFER SHALL BE REPLANTED IN PER ARTICLE 7.5.2 OF THE HUNTERVILLE ZONING ORDINANCE.
17. PARALLEL PARKING SPACES LOCATION AND QUANTITY SHOWN ON THE SKETCH PLAN ARE SUBJECT TO CHANGE. LOCATIONS SUBJECT TO MINIMUM SIGHT DISTANCE REQUIREMENTS. DETAILS TO BE PROVIDED DURING CONSTRUCTION DOCUMENT PHASE.
18. THE 20' UNDISTURBED BUFFER YARD SHALL BE LOCATED ALONG THE PERIMETER OF THE SUBDIVISION, EXCEPT IN AREAS DESIGNATED BY "PERIMETER BUFFER WAIVER REQUEST". IN AREAS WHERE INSUFFICIENT OR EXISTING VEGETATION DOES NOT EXIST, THE BUFFER SHALL BE REPLANTED PER ARTICLE 7.5.3 OF THE HUNTERVILLE ZONING ORDINANCE.

## PERIMETER BUFFER WAIVER REQUEST:

APPLICANT REQUESTS WAIVER FROM ARTICLE 7.5.6 OF THE HUNTERVILLE ZONING ORDINANCE AS OUTLINED IN THE BELOW:

1. 20' PERIMETER BUFFER WILL NOT BE PROVIDED IN THE AREA NOTED ON THIS PLAN AS "NON-BUFFER AREA #1". LAND ADJACENT TO THIS AREA IS PLANNED FOR RECREATIONAL OR CONSERVATION PURPOSES WHICH WILL PROVIDE A BUFFER FROM OTHER DEVELOPMENT.
2. 20' PERIMETER BUFFER WILL NOT BE PROVIDED IN THE AREA NOTED ON THIS PLAN AS "NON-BUFFER AREA #2". LAND ADJACENT TO THIS AREA IS PLANNED FOR RECREATIONAL OR CONSERVATION PURPOSES WHICH WILL PROVIDE A BUFFER FROM OTHER DEVELOPMENT.

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CHARLOTTE, NC 28205  
(704) 334-0078  
(704) 334-5348

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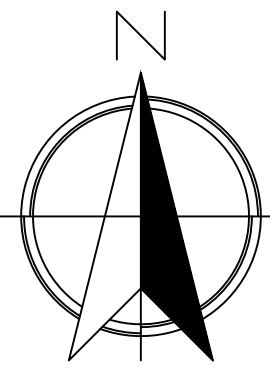
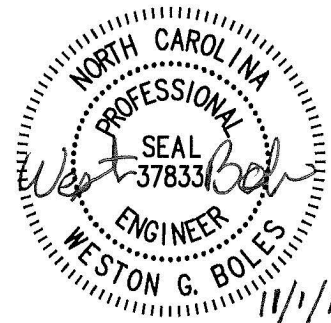
PROJECT:

# HAMBRIGHT MAJOR SUBDIVISION SKETCH PLAN EPM # 378892

SHEET TITLE:

# MAJOR SUBDIVISION SKETCH PLAN

SCALE:



SCALE: 1" = 150'

PROJ. MGR.:	WGB
DESIGN BY:	TAK
DRAWN BY:	CJH
PROJ. DATE:	JULY 2017
DRAWING NUMBER:	

3.0

WKD PROJ. NO.: 20170049.00.CL

REVISION:	
DATE:	COMMENT:
09/13/2017	COMMENTS FROM HUNTERVILLE
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LOT SIZE PROPOSED: (THIS SHEET ONLY)

SINGLE FAMILY 34' (ALLEY LOADED)	80
RANGE OF LOT AREA PROPOSED:	0 - 5,000 SF: 80
RANGE OF LOT WIDTH PROPOSED:	30'-39': 75 39'-49': 5
SINGLE FAMILY 50' (FRONT LOADED)	46
RANGE OF LOT AREA PROPOSED:	5,000 - 7,500SF: 29 7,500 - 10,000 SF: 16 10,000 - 15,000 SF: 1
RANGE OF LOT WIDTH PROPOSED:	50'-59': 42 59'-69': 2 >69': 2

NOTE:  
1. ALL LOTS TO ADHERE TO PERMITTED IMPERVIOUS COVERAGE INCLUDING REQUIREMENTS SET BY MIL-O-MOUNTAIN ISLAND - PA2: MINIMUM 1% OF LOT AREA (150 SF MINIMUM)  
2. LOT SIZE DATA IS PRELIMINARY AND IS SUBJECT TO CHANGE.

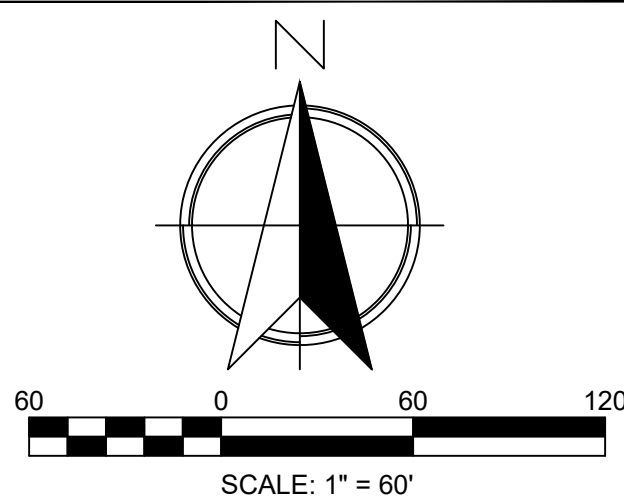
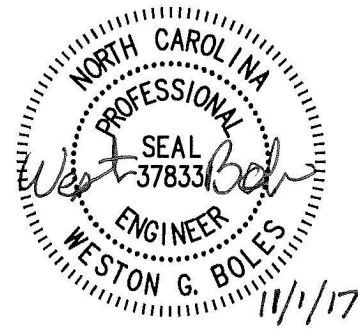
community infrastructure consultants

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NC LICENSE NO. F-0374



HAMBRIGHT  
MAJOR  
SUBDIVISION  
SKETCH PLAN  
EPM # 378892

MAJOR  
SUBDIVISION  
SKETCH,  
LANDSCAPE AND  
LIGHTING  
PLAN - 60' SCALE



PROJ. MGR.:	WGB
DESIGN BY:	TAK
DRAWN BY:	CJH
PROJ. DATE:	JULY 2017
DRAWING NUMBER:	

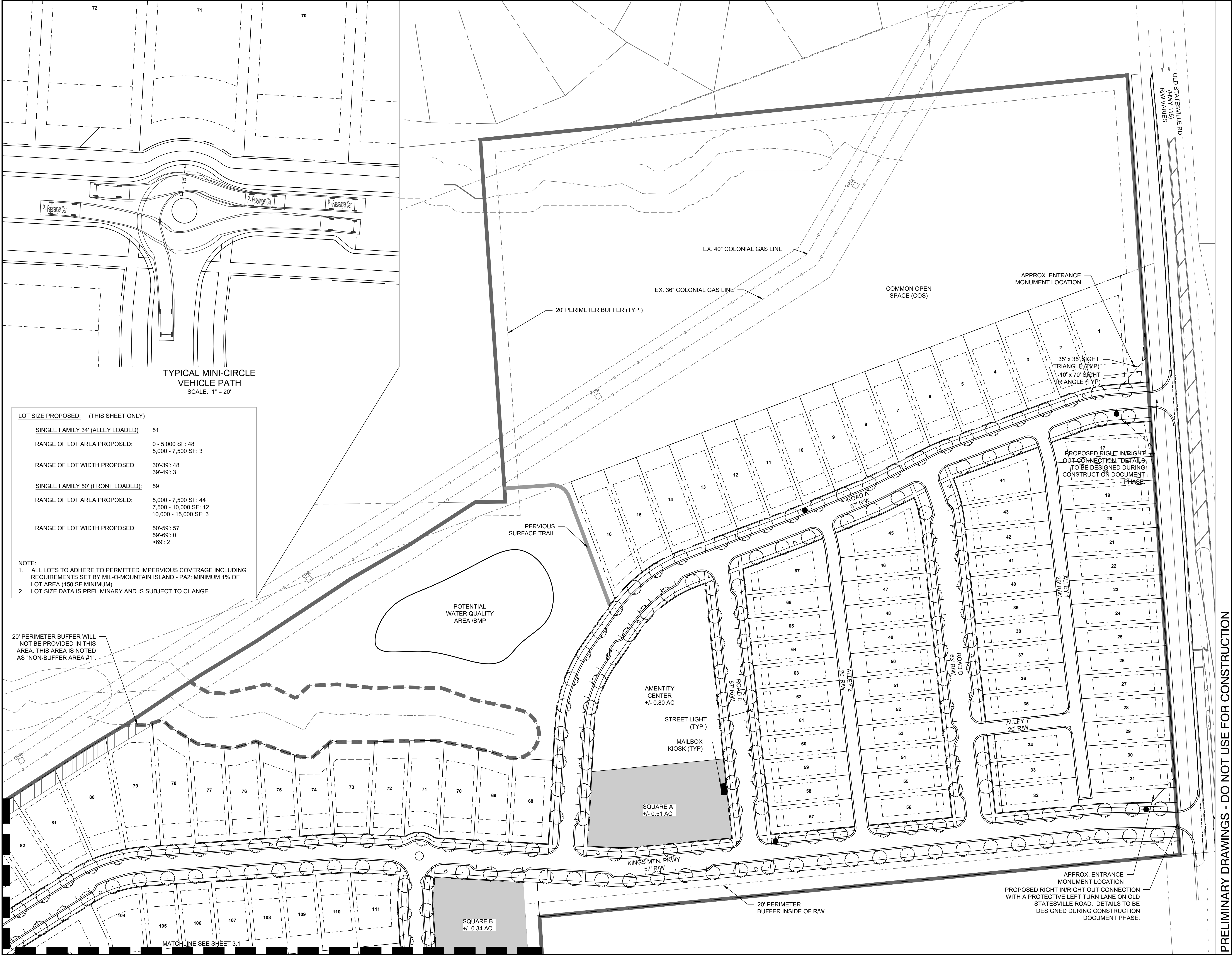
3.1  
WKD PROJ. NO.: 20170049.00.CL

REVISION	DATE	COMMENT
	09/13/2017	COMMENTS FROM HUNTERSVILLE
	11/01/2017	COMMENTS FROM HUNTERSVILLE

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TYPICAL MINI-CIRCLE  
VEHICLE PATH  
SCALE: 1" = 20'

LOT SIZE PROPOSED: (THIS SHEET ONLY)

SINGLE FAMILY 34' (ALLEY LOADED)	51
RANGE OF LOT AREA PROPOSED:	0 - 5,000 SF: 48 5,000 - 7,500 SF: 3
RANGE OF LOT WIDTH PROPOSED:	30'-39': 48 39'-49': 3
SINGLE FAMILY 50' (FRONT LOADED)	59
RANGE OF LOT AREA PROPOSED:	5,000 - 7,500 SF: 44 7,500 - 10,000 SF: 12 10,000 - 15,000 SF: 3
RANGE OF LOT WIDTH PROPOSED:	50'-59': 57 59'-69': 0 >69': 2

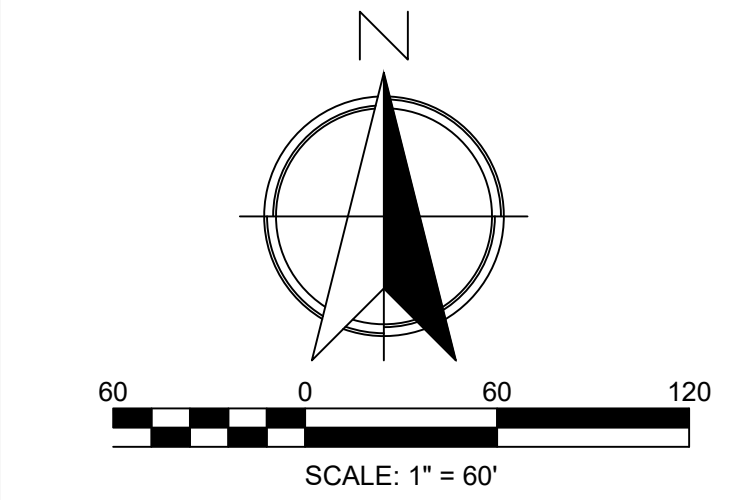
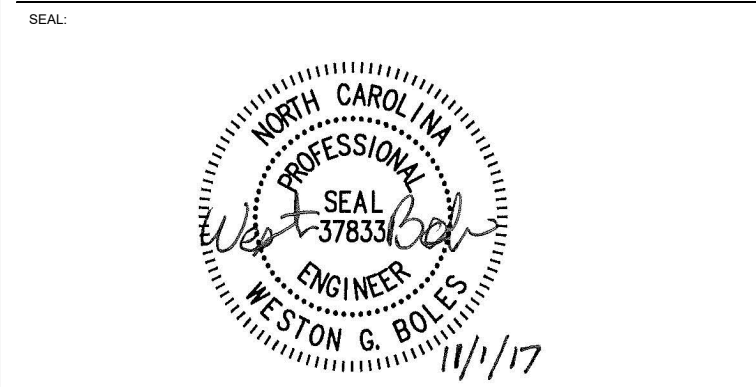
- NOTE:
- ALL LOTS TO ADHERE TO PERMITTED IMPERVIOUS COVERAGE INCLUDING REQUIREMENTS SET BY MIL-O-MOUNTAIN ISLAND - PA2: MINIMUM 1% OF LOT AREA (150 SF MINIMUM)
  - LOT SIZE DATA IS PRELIMINARY AND IS SUBJECT TO CHANGE.

20' PERIMETER BUFFER WILL NOT BE PROVIDED IN THIS AREA. THIS AREA IS NOTED AS "NON-BUFFER AREA #1".



**HAMBRIGHT  
MAJOR  
SUBDIVISION  
SKETCH PLAN  
EPM # 378892**

**MAJOR  
SUBDIVISION  
SKETCH,  
LANDSCAPE AND  
LIGHTING  
PLAN - 60' SCALE**



PROJ. MGR.:	WGB
DESIGN BY:	TAK
DRAWN BY:	CJH
PROJ. DATE:	JULY 2017
DRAWING NUMBER:	

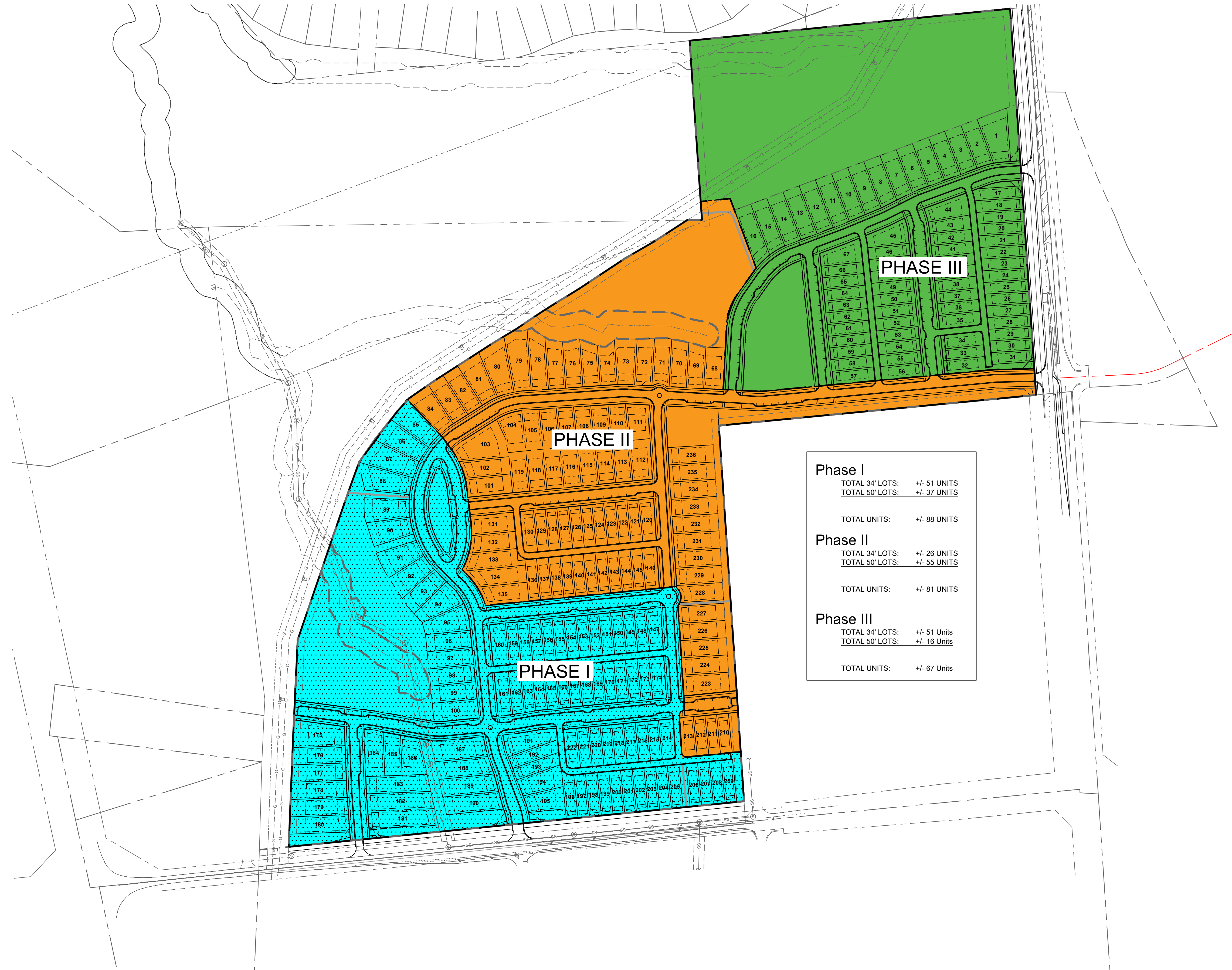
**3.2**  
WKD PROJ. NO.: 20170049.00.CL

DATE:	COMMENT:
09/13/2017	COMMENTS FROM HUNTERSVILLE
11/01/2017	COMMENTS FROM HUNTERSVILLE

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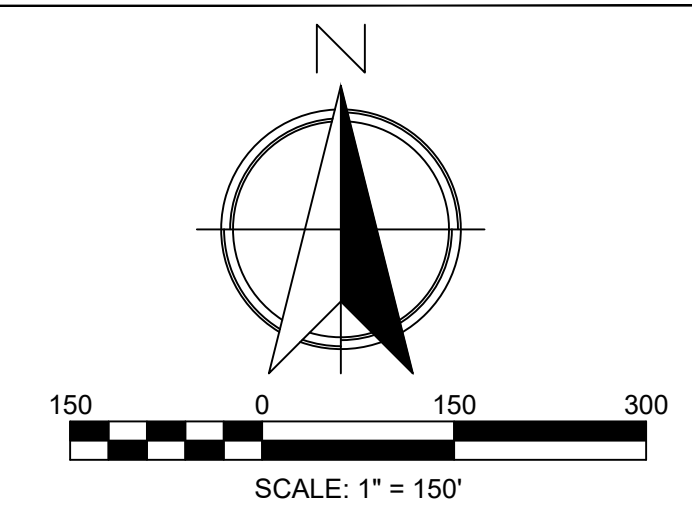
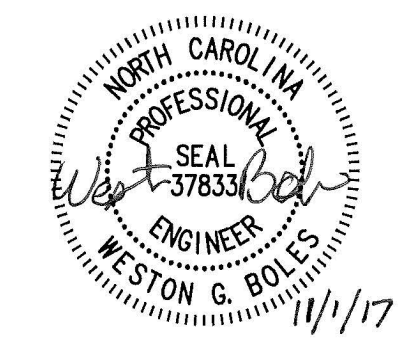


NOTE: ALL PHASING IS  
PRELIMINARY AND  
SUBJECT TO CHANGE



HAMBRIGHT  
MAJOR  
SUBDIVISION  
SKETCH PLAN  
EPM # 378892

PHASING  
PLAN



PROJ. MGR.:	WGB
DESIGN BY:	TAK
DRAWN BY:	CJH
PROJ. DATE:	JULY 2017
DRAWING NUMBER:	

3.3

WKD PROJ. NO.:  
20170049.00.CL

DATE:	COMMENT:
09/13/2017	COMMENTS FROM HUNTERSVILLE
11/01/2017	COMMENTS FROM HUNTERSVILLE

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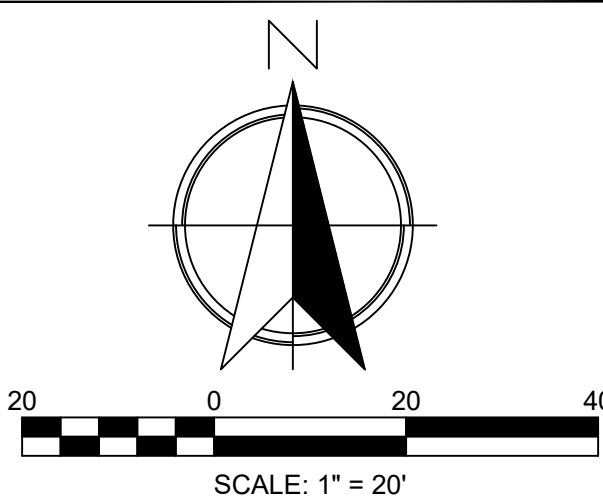
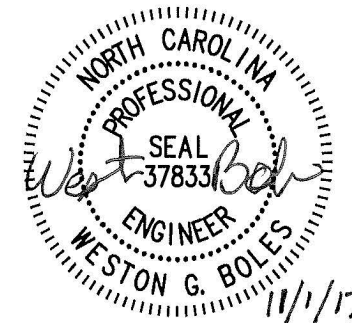


ROAD	ROAD FROM	ROAD TO	LENGTH (FT.)
ROAD A	CONNECTION FROM OLD STATESVILLE ROAD	ALLEY 1	221.10
ROAD A	ALLEY 1	ROAD D	173.28
ROAD A	ROAD D	ALLEY 2	160.71
ROAD A	ALLEY 2	ROAD E	158.63
ROAD A	ROAD E	KINGS MOUNTAIN PARKWAY	539.75
ROAD B	ROAD G	ALLEY 3	161.24
ROAD B	ALLEY 3	ROAD F	424.82
ROAD C	KINGS MOUNTAIN PARKWAY	ROAD F	556.99
ROAD D	ROAD A	ALLEY 7	383.01
ROAD D	ALLEY 7	KINGS MOUNTAIN PARKWAY	147.16
ROAD E	ROAD A	KINGS MOUNTAIN PARKWAY	431.53
ROAD F	KINGS MOUNTAIN PARKWAY	ROAD B	267.16
ROAD F	ROAD B	ALLEY 3	161.60
ROAD F	ALLEY 3	ROAD C	155.60
ROAD F	ROAD C	ALLEY 4	161.60
ROAD F	ALLEY 4	ROAD H	161.60
ROAD G	KINGS MOUNTAIN PARKWAY	ROAD B	185.64
ROAD G	ROAD B	KINGS MOUNTAIN PARKWAY	199.48
ROAD H	CONNECTION TO ALEXANDER MIDDLE SCHOOL	ROAD F	177.21
ROAD H	ROAD F	ALLEY 5	340.08
ROAD H	ALLEY 5	KINGS MOUNTAIN PARKWAY	200.18
ROAD H	KINGS MOUNTAIN PARKWAY	ROAD I	401.43
ROAD H	ROAD I	DEAD END	170.73
ROAD I	ROAD H	CONNECTION TO HAMBRIGHT ROAD	379.84
KINGS MOUNTAIN PARKWAY	CONNECTION FROM OLD STATESVILLE ROAD	ROAD D	352.11
KINGS MOUNTAIN PARKWAY	ROAD D	ALLEY 2	161.51
KINGS MOUNTAIN PARKWAY	ALLEY 2	ROAD E	161.52
KINGS MOUNTAIN PARKWAY	ROAD E	ROAD A	268.03
KINGS MOUNTAIN PARKWAY	ROAD A	ROAD F	209.10
KINGS MOUNTAIN PARKWAY	ROAD F	ROAD G	681.84
KINGS MOUNTAIN PARKWAY	ROAD G	ROAD G	403.79
KINGS MOUNTAIN PARKWAY	ROAD G	ROAD C	154.91
KINGS MOUNTAIN PARKWAY	ROAD C	ALLEY 4	154.77
KINGS MOUNTAIN PARKWAY	ALLEY 4	ROAD H	166.72
KINGS MOUNTAIN PARKWAY	ROAD H	CONNECTION TO HAMBRIGHT ROAD	351.02

- KINGS MOUNTAIN PARKWAY- FROM ROAD F TO ROAD G (681.84')



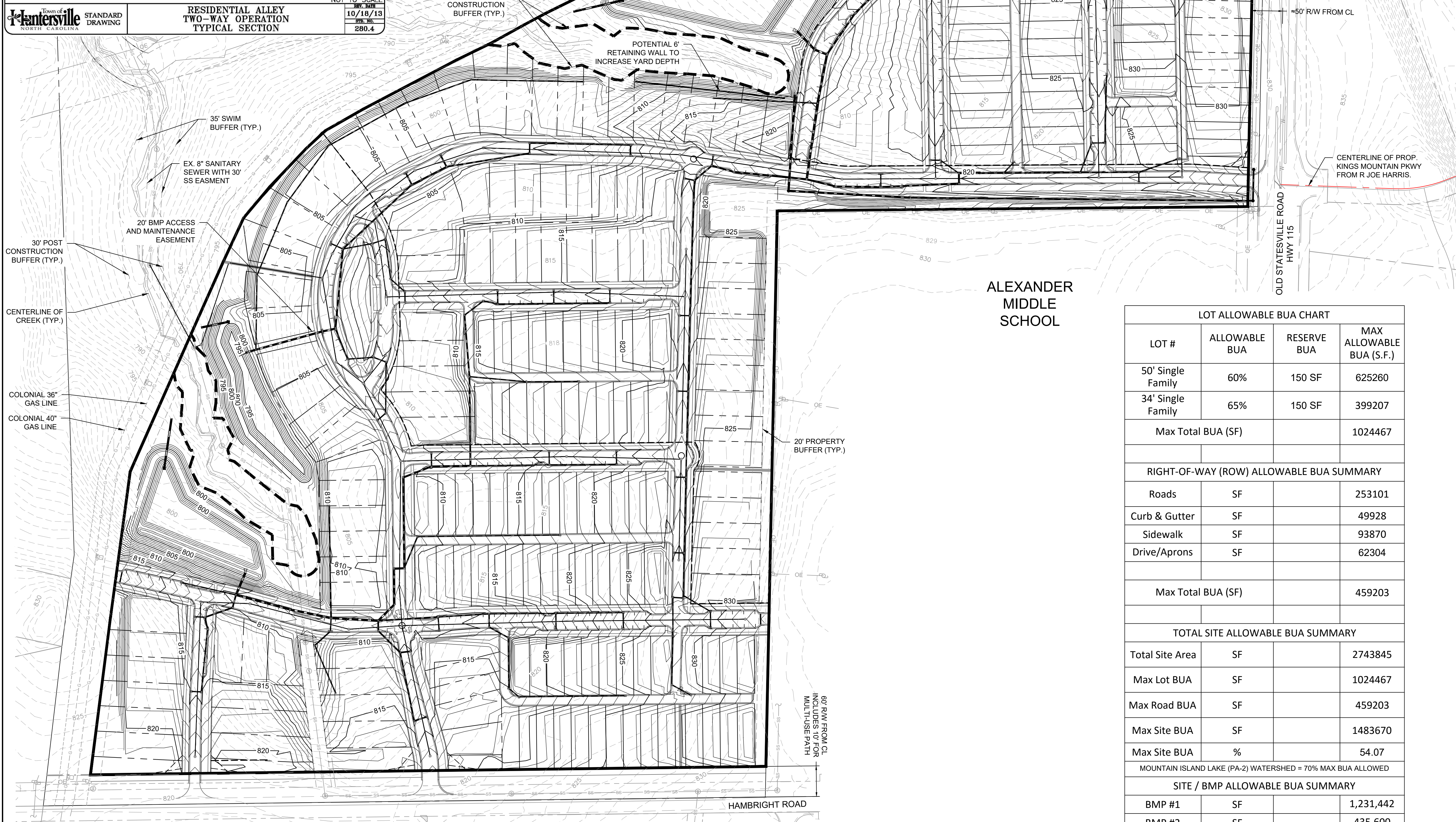
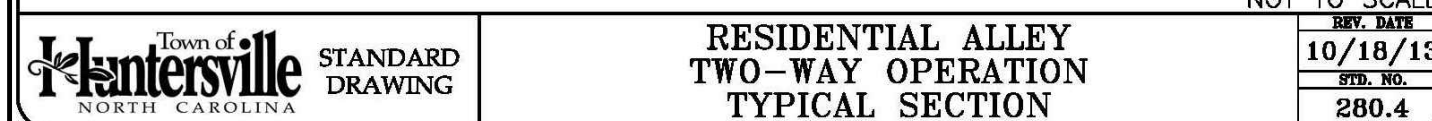
# SITE PLAN DETAILS

WKD PROJ. NO.:

### 3.4

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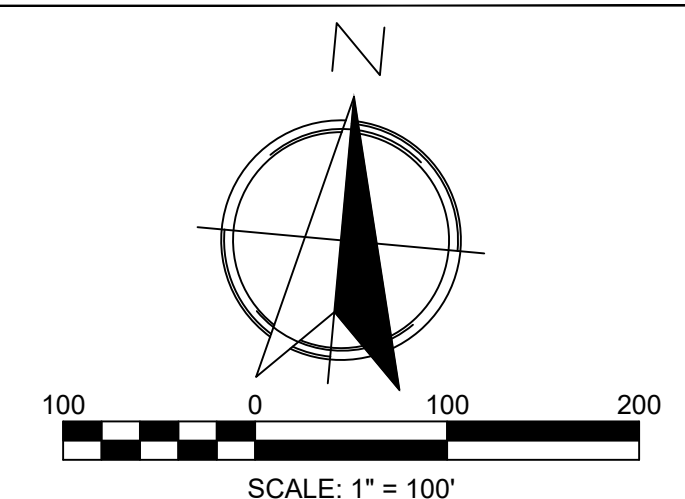
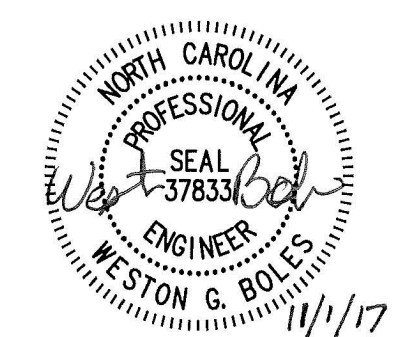
2. SEWER MANHOLES TO BE OUTSIDE OF THE INTENDED VEHICLE WHEEL PATH AND IS SUBJECT TO CHANGE DURING THE PRELIMINARY/CONSTRUCTION PLAN DEVELOPMENT.

LOT ALLOWABLE BUA CHART			
LOT #	ALLOWABLE BUA	RESERVE BUA	MAX ALLOWABLE BUA (S.F.)
50' Single Family	60%	150 SF	625260
34' Single Family	65%	150 SF	399207
Max Total BUA (SF)			1024467
RIGHT-OF-WAY (ROW) ALLOWABLE BUA SUMMARY			
Roads	SF		253101
Curb & Gutter	SF		49928
Sidewalk	SF		93870
Drive/Aprons	SF		62304
Max Total BUA (SF)			459203
TOTAL SITE ALLOWABLE BUA SUMMARY			
Total Site Area	SF		2743845
Max Lot BUA	SF		1024467
Max Road BUA	SF		459203
Max Site BUA	SF		1483670
Max Site BUA	%		54.07
MOUNTAIN ISLAND LAKE (PA-2) WATERSHED = 70% MAX BUA ALLOWED			
SITE / BMP ALLOWABLE BUA SUMMARY			
BMP #1	SF		1,231,442
BMP #2	SF		435,600
BMP #3	SF		978,358
Total BMP Drainage Areas		SF	2,645,400
Total BMP Max Allowable BUA		SF	1,587,240
BMP Max Allowable BUA exceeds Max Site BUA, therefore OKAY			



HAMBRIGHT  
MAJOR  
SUBDIVISION  
SKETCH PLAN  
EPM # 378892

# PROPOSED GRADING AND STORMWATER PLAN



PROJ. MGR.:	WGB
DESIGN BY:	TAK
DRAWN BY:	TAK
PROJ. DATE:	MAY 2016
DRAWING NUMBER:	
4.0	
WKD PROJ. NO.:	
20170049.00.CL	
REVISED:	
DATE:	COMMENT:
09/13/2017	COMMENTS FROM HUNTERSVILLE

PRECEDENTIAL

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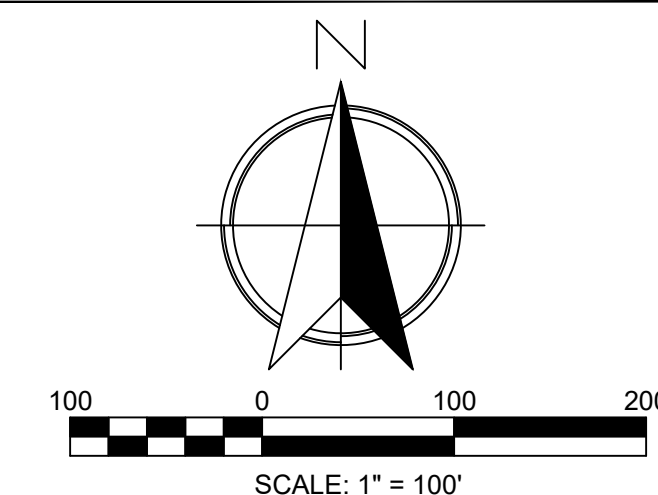
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**HAMBRIGHT  
MAJOR  
SUBDIVISION  
SKETCH PLAN  
EPM # 378892**

**GRADING AND  
STORMSEWER  
PLAN - 100'  
SCALE**



PROJ. MGR.:	WGB
DESIGN BY:	TAK
DRAWN BY:	CJH
PROJ. DATE:	JULY 2017
DRAWING NUMBER:	

**4.1**

WKD PROJ. NO.:  
**20170049.00.CL**

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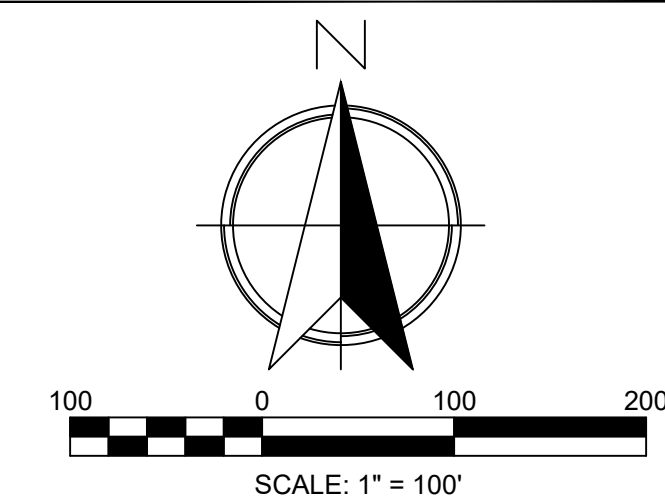
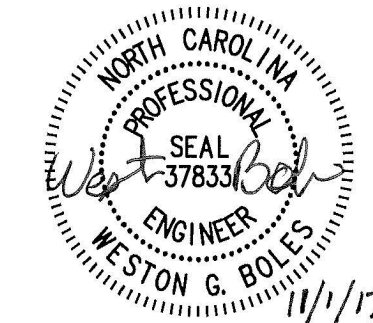
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HAMBRIGHT  
MAJOR  
SUBDIVISION  
SKETCH PLAN  
EPM # 378892

GRADING AND  
STORMSEWER  
PLAN - 100'  
SCALE



PROJ. MGR.:	WGB
DESIGN BY:	TAK
DRAWN BY:	CJH
PROJ. DATE:	JULY 2017
DRAWING NUMBER:	

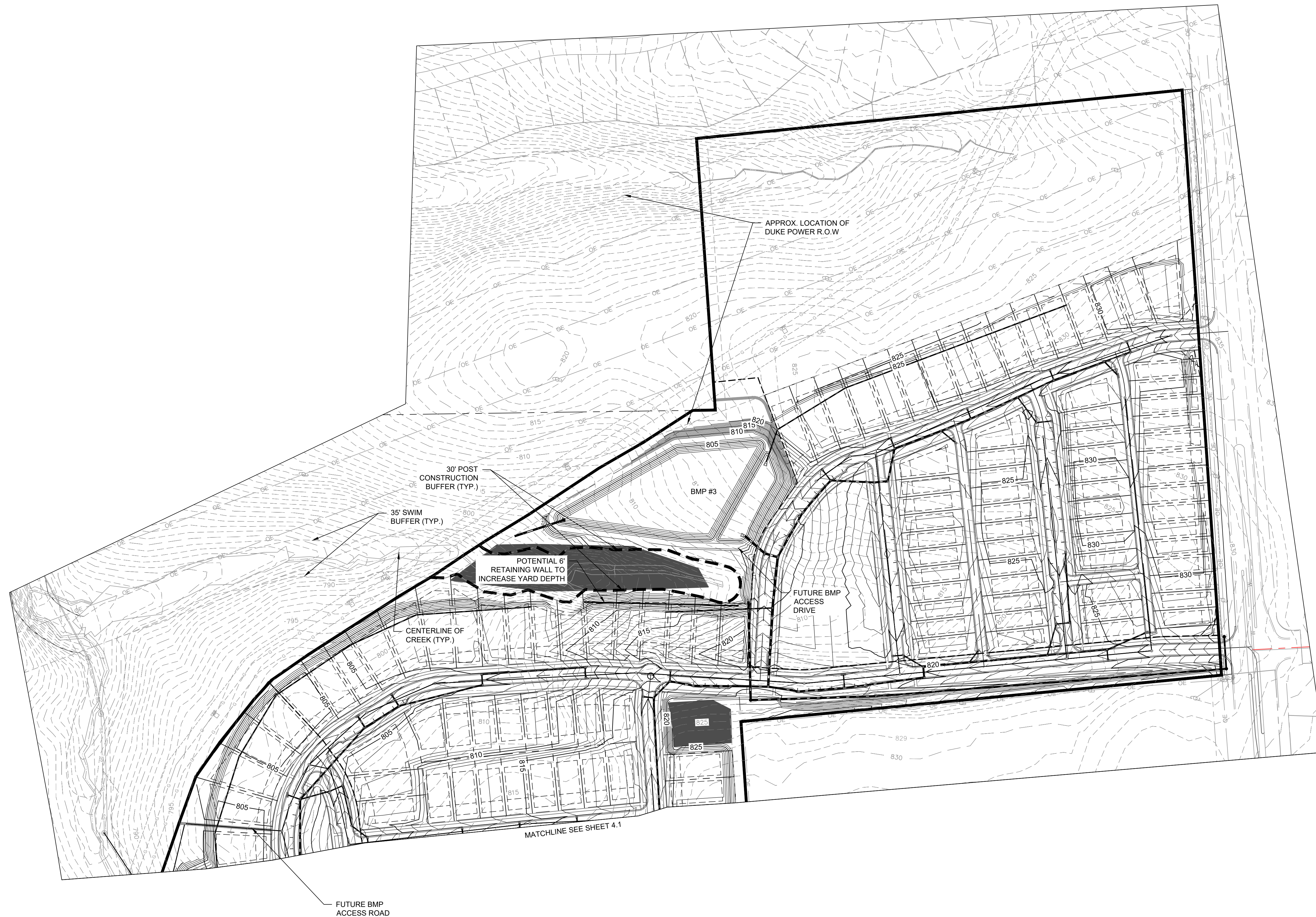
4.2

WKD PROJ. NO.:  
20170049.00.CL

REVISION	DATE	COMMENT
	09/13/2017	COMMENTS FROM HUNTERSVILLE

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# **HAMBRIGHT ROAD SUBDIVISION NEIGHBORHOOD MEETING**

**DATE: SEPTEMBER 20, 2017**

- **LOCATION: HUNTERSVILLE TOWN HALL BOARD ROOM**
- **LIST OF ADJACENT PROPERTY OWNERS WITHIN 250 FT OF PROPOSED SUBDIVISION COPY OF NOTICE IS ATTACHED**
- **COPY OF NOTIFICATION LETTER IS ATTACHED**

## **LIST OF ATTENDEES:**

1. Brenda Dellinger, 235 Elysian Drive, Mooresville, NC, 28117, 704.664.5449
2. Bill Dellinger, 5217 Stanley Road, Durham, NC, 27704, 248.433.2453
3. Ted Dellinger, 821 Triple Oaks Road, Monroe, NC, 28112, 704.506.6417
4. Jennifer Davis, Huntersville Planning Commission
5. Charles Guignard , 704.875.1407
6. Ross Bradford, 704.996.5388
7. Steve Karski, 614.338.5232
8. David Hoe, 13644 Cotesworth Court, Huntersville, NC, 28078, 704.497.5903
9. Nate Bowman, Bowman Development
10. TJ Pecorak, Bowman Development
11. Meritage Homes Representatives
12. Allison Adams, Huntersville Planning

## **ISSUES DISCUSSED:**

1. David Hoe, representing Hambright Animal Hospital had a question regarding road improvements and Mr Bowman showed him the proposed preliminary plan indicating where additional pavement and turn lanes were proposed, subject to approval
2. Mr Guignard commented that the existing school would be re-built and is proposed to be a K thru 8. Because of the favorable requirements for school construction/development no road improvements may be required of the school. Road improvements could be required if school was totally rebuilt
3. The Traffic Consultant representing Meritage confirmed a TIA for the school is not required unless a totally new school was built vs a remodel or partial rebuild.





August 7, 2017

Meritage Homes  
13925 Ballantyne Corporate Place  
Suite 300  
Charlotte, NC 28277

**Re: Adequate Public Facilities (APF) Application – Dellinger Subdivision (File #2017-12)**

To Whom it May Concern:

The Town has completed its review of the above referenced APF Application and deemed it to be complete, per Article 13.6.3 of the Zoning Ordinance. Based upon your request for an allocation of capital facilities for the above-referenced development proposal, consisting of 236 Single-family homes. I am issuing a "Determination of Adequacy (DOA)" for the following public facilities:

- Fire Vehicles
- Fire Facilities
- Police Facilities
- Police Vehicles

Please be advised that this DOA is valid for one (1) year, or until August 7, 2018, by which date this development proposal must have achieved vesting, per Section 2.2 of the Zoning Ordinance.

Please feel free to contact me with any questions @ [brichards@huntersville.org](mailto:brichards@huntersville.org) or by phone: (704) 766-2218.

Sincerely,

*Brian Richards*

Brian Richards  
GIS Administrator

Cc: Jack Simoneau, AICP, Planning Director  
Gerry Vincent, Town Manager  
Robert Blythe, Town Attorney  
Alison Adams, Planner



## Town of Huntersville: Hambright Subdivision

### PROJECTED IMPACT OF THE PROPOSED DEVELOPMENT

*Proposed Housing Units:* 236 single-family, detached dwelling units

*CMS Planning Area:* 4, 17, 18, 19

*Average Student Yield per Unit:* 0.4905

This development may add 116 students to the schools in this area.

The following data is as of 20<sup>th</sup> Day of the 2016-17 school year.

<i>Schools Affected</i>	<i>Total Classroom Teachers</i>	<i>Building Classrooms/ Teacher Stations</i>	<i>20<sup>th</sup> Day, Enrollment (non-ec)</i>	<i>Building Classroom/ Adjusted Capacity (Without Mobiles)</i>	<i>20<sup>th</sup> Day, Building Utilization (Without Mobiles)</i>	<i>Additional Students As a result of this development</i>	<i>Utilization As of result of this development (Without Mobiles)</i>
BLYTHE ELEMENTARY	67.5	50	1101	816	135%	61	<b>142%</b>
J.M. ALEXANDER MIDDLE	38.7	51	763	1006	76%	25	<b>78%</b>
N. MECKLENBURG HIGH	117.5	108	2193	2016	109%	30	<b>110%</b>

### RECOMMENDATION

Adequacy of existing school capacity in this area is a significant problem. We are particularly concerned about cases where school utilization exceeds 100% since the proposed development may exacerbate those situations. Approval of this proposal may increase overcrowding and/or reliance upon mobile classrooms at the schools listed above.

The total estimated capital cost of providing the additional school capacity for this new development is \$2,030,000; calculated as follows:

Elementary School: **61** x \$20,000 = \$1,220,000

High School: **30** x \$27,000 = \$810,000





November 9, 2017

Subject: Hambright Subdivision Draft TIA October 2017 Review Comments

Progressive Design Group submitted a revised draft TIA on behalf of Meritage Homes of the Carolinas Inc. for the proposed Hambright Subdivision located on the north side of Hambright Road and west side of NC 115 (Old Statesville Road). Town staff has reviewed the TIA and have the following comments:

- 1) The introduction (second paragraph) of the report states that the development will be served by a full movement access to Old Statesville Road however no access locations in the report analyze or propose full movement access.
- 2) Volumes at the intersection of Hambright Road at School Driveway on Figure 3 (2017 Existing AM and PM Peak Hour Balanced Traffic Volumes) and Figure 9 (2023 PM Peak-Hour Traffic Volumes) do not match those contained in the intersection volume development calculations sheets in the Appendix.
- 3) The intersection of Hambright Road at Old Statesville Road (NC 115) has TOD zoning that is adjacent to it making the intersection Level of Service threshold 91.0 (LOS E). Furthermore, this intersection was not required to be studied by the Town in the Town scoping process. You are welcome to leave the information in the report.
- 4) The intersection of Old Statesville Road (NC 115) with Proposed Access C has TOD zoning adjacent to it making the intersection Level of Service threshold 91.0 (LOS E).
- 5) Based on the information contained in the revised draft TIA, the following improvements would be recommended to the Town Board as required improvements for this development:
  - Install an exclusive eastbound left-turn lane on Hambright Road at Access B/School Driveway with 100 feet of full width storage and appropriate taper.
  - Install an exclusive southbound right-turn lane on Access B at Hambright Road with 100 feet of full width storage and appropriate taper.
  - Install an exclusive northbound left-turn lane on NC 115 (Old Statesville Road) at Access C (the southern access on NC 115 aligning with the Kings Mountain Parkway) with 100 feet of full width storage and appropriate taper.

Please address the above comments and submit a sealed TIA (both hard copy and electronic copies) for review.

If you have any questions, please don't hesitate to contact me.

Thank you,

Stephen Trott, P.E.  
Town Transportation Engineer  
704-766-2220  
strott@huntersville.org

**Engineering&PublicWorks**

Post Office Box 664 • 105 Gilead Road, Suite 300 • Huntersville, NC 28070  
phone 704.766.2220 • fax 704.992.5528 • [www.huntersville.org](http://www.huntersville.org)



**Town of Huntersville  
PLANNING BOARD  
11/21/2017**

**To:** Planning Board Members  
**From:** Brian Richards  
**Subject:** SUP17-04 Commercial Communication Tower Jim Kidd Rd

---

**Special Use Permit:** SUP17-04 is an application by Communication Tower Group LLC/Nexsen Pruet for a Special Use Permit at 5824 Jim Kidd Rd (Parcel # 01305102). The purpose of the permit is to allow the installation of a commercial communication tower on the property.

**ACTION RECOMMENDED:**

Consider making a recommendation to the Town Board on December 4, 2017.

**FINANCIAL IMPLICATIONS:**

**ATTACHMENTS:**

Description		Type
<input type="checkbox"/>	A -SUP17-04 Staff Analysis PB	Staff Report
<input type="checkbox"/>	B - Application	Exhibit
<input type="checkbox"/>	B - Letter of Compliance	Exhibit
<input type="checkbox"/>	C - SUP Plans	Exhibit
<input type="checkbox"/>	D - Photo Simulations	Exhibit



## REQUEST:

Special Use Permit Application by Communications Tower Group LLC/  
Nexsen Pruet for a Commercial Communication Tower in the Rural  
District (R): SUP17-04

### ZONING ORDINANCE CRITERIA AND STAFF FINDINGS

#### 9.9 Commercial Communication Tower

A Commercial Communication tower shall meet the following standards:

- .1 To encourage future shared use of commercial communication towers, the tower owner must demonstrate that the tower will support a specified number of antennas, and must file a letter of intent with the town to lease the space to other users in good faith. In turn, the owner may charge users a proportionate share of capital, financing, and operating costs, plus the cost of insulating equipment so that the transmissions do not interfere with one another. To encourage co-location of commercial communication antenna and facilities and to reduce the need for new commercial communication towers, co-location of such antennae and facilities shall be permitted on any commercial communication tower or tower for radio communication for business or governmental purposes of which the tower was in existence on July 20, 2009, regardless of when constructed, the underlying zoning district, or any condition of approval for the existing tower other than a condition which was imposed or accepted by the Board of Commissioners. To the extent practical as determined by the Planning Director, all standards of this Section 9.9 shall be applicable.**

Staff Comment/Finding: *The letter & plans submitted by the applicant state that the owner intends to lease space to other carriers in good faith. The plans (sheet C-1) for the tower submitted show spaces for 4 total carriers (co-locations). The plans are attached in your packet as reference.*

- .2 No new commercial communication tower may be established if there is a technically suitable space available on an existing communications tower within the geographic area that the proposed tower is to serve.**

Staff Comment/Finding: *The letter submitted by the applicant includes "propagation maps" that show the T-Mobile signal strength in the area before and after the installation of the tower. After examining the maps Staff finds that there are no suitable existing facilities in the geographic area.*



- .3 The entire facility must be aesthetically compatible with its environment. If not otherwise camouflaged, towers shall be of a coloration that will blend with the surroundings. Example: brown/green/gray.**

Staff Comment/Finding: *The plans submitted show the tower to be painted to meet "Local Agency" Standards on sheet C-1.*

- .4 Fencing must be provided to secure the communication equipment on site. If chain link or similar fencing material is used on the site, an opaque screen shall be provided on the exterior side of the fence.**

Staff Comment/Finding: *On sheets C-4 & L-1 of the submitted plans, the tower and ground utilities are shown to be surrounded by a wooden fence and plantings. On sheet C-4 the fence is shown to be 8 feet tall with barbed wire on the top. On sheet L-1, Emily Brumer Holly are proposed to be planted 6 feet on center around the wooden fence for screening. The Hollies are considered large evergreen trees and should have a mature height of 15 feet.*

- .5 All obsolete or unused facilities must be removed within 12 months of cessation of operations at the site.**

Staff Comment/Finding: *The submitted letter states and acknowledges that all unused facilities must be removed within 12 months of cessation of operation.*

- .6 No equipment, mobile or immobile, not used in direct support of the transmission or relay facility shall be stored or parked on the site unless repairs to the facility are being made.**

Staff Comment/Finding: *The submitted letter states that no additional equipment will be stored or held at this facility.*

- .7 Towers shall not be artificially lighted except to insure human safety as required by the Federal Aviation Administration (FAA) regulations. To the extent possible, tower lighting shall be located and directed to avoid flashing or shining into the interior spaces of dwellings.**

Staff Comment/Finding: *Regarding this requirement, the submitted letter and plans state that the tower is not required to be lit by the FAA. Plan sheet C-1 (note 5) states the tower is not required to be lit per FCC regulations.*



- .8 An opaque screen expected to reach minimum 8' height at maturity shall be planted around the perimeter of the area occupied by the tower, security fencing, and auxiliary uses such as parking. In addition, existing onsite trees and other vegetation shall be preserved to the extent possible.**

Staff Comment/Finding: *On sheet L-16, Emily Brumer Hollies are proposed to be planted 6 feet on center around the facility for screening. According to the Huntersville Approved Species List, Emily Brumer Hollies are large evergreen shrubs which at maturity will reach between 15-20 feet in height. Currently the plants are shown to be at a shrub planting height of 3 feet.*

- .9 No more than one communication tower shall be constructed on a single tract of land.**

Staff Comment/Finding: *The letter submitted by the applicant states that the proposed tower would be the only tower on the Jim Kidd Rd property. Staff found no other cell towers on the site.*

- .10 If such a structure is located on a lot adjacent to a lot or lots located in a residential or mixed use district, it must be located at least 200 feet from all property lines adjacent to the residential or mixed use district(s).**

Staff Comment/Finding: *The Tower is located on a property that is zoned Rural (R) and is surrounded by Rural residential zoning. On sheet C-1 of the submitted plan, the pole is shown to be 220' from the nearest adjacent property line.*

- .11 To be permitted as an incidental accessory use in any zoning district, a tower shall be camouflaged on, with, or in an existing or proposed conforming structure (e.g., inside religious institution steeple, on utility transmission line tower). A detailed site plan and structural elevations must be submitted to the Planning Department for approval. The affirmative decision of the Planning Department shall be based upon a determination that the proposed tower is so camouflaged as to be unnoticeable to the public; or if placed upon a utility transmission line tower, that the additional equipment would not further diminish the quality of the view from surrounding properties and public streets, nor would additional light(s) intrude upon the private interior or exterior living areas of existing dwellings.**

Staff Comment/Finding: *The proposed cell tower is not considered an "incidental accessory use" permitted in any zoning district; therefore this section does not apply. The proposed facility is a stand-alone commercial communication tower.*



**.12 Commercial Communication Towers in addition to meeting criteria 9.9.1-10 may be allowed in the Rural (R) district only if they meet the following criteria and are subject to a Special Use Permit, according to the procedures of Section 11.4.10:**

Staff Comment/Finding: *5824 Jim Kidd Rd is zoned Rural (R), thus the applicants have submitted the application for a Special Use Permit approval. All the requirements of 9.9.12 below apply to the proposed application.*

- a) The height of the commercial communication tower may not exceed 199 feet above ground level;**

Staff Comment/Finding: *Sheet C-1 of the submitted plan show the tower to be 195 feet in height.*

- b) The commercial communication tower may only be placed on properties in eight and a half (8.5) acres on a tract that existed as an eight and a half (8.5) acre tract or greater on February 6, 2012;**

Staff Comment/Finding: *The submitted plan shows the tower to be placed on the property which is 194 acres in size.*

- c) The commercial communication tower must be set back a distance of at least 500 feet from any public right-of-way and 200 feet from any property line;**

Staff Comment/Finding: *On sheet C-1 of the submitted plan, the pole is shown to be 220 feet from the nearest property line and about 750 feet from the nearest public right of way (Jim Kidd Road).*

- d) The commercial communication tower may only be placed on a property where it will not require artificial illumination;**

Staff Comment/Finding: *As mentioned above the tower is not required to be illuminated.*

- e) The commercial communication tower must provide technically-suitable space for at least four (4) users;**



Staff Comment/Finding: *Sheet C-1 of the submitted plans shows antennas for T-Mobile and 3 additional "future carriers" in conformance with the requirement.*

- f) The commercial communication tower must be set back a distance of at least the tower's fall zone, as certified by a North Carolina Professional Engineer, from any occupied structure.**

Staff Comment/Finding: *Staff has not found any submitted information from an engineer on establishing the tower's fall zone. The tower's height is listed at 195 feet. According to sheet C-1 of the submitted plan, the proposed tower is 220 feet from the adjacent parcel. There are no occupied structures located on the property.*

- g) All commercial communication towers in the Rural district shall be constructed using a monopole design.**

Staff Comment/Finding: *Sheet C-1 of the submitted plan shows the tower consisting of one singular pole with the antennas connected at the top.*

- h) A new communication tower cannot be placed within a one mile radius of an existing tower.**

Staff Comment/Finding: *The submitted letter states that the closest existing tower is 1.09 miles to the east of the subject site (Bradley Middle School along Beatties Ford Road).*

**STAFF RECOMMENDATION:**

Based upon the above information staff recommends approval.

**PLANNING BOARD RECOMMENDATION**

TBD

**DECISION STATEMENTS**

In Favor of the Special Use Permit



In considering the Special Use Permit SUP17-04, Communications Tower Group, LLC, we, the Planning Board, find that the request meets all required conditions and specifications, is reasonable and does not pose an injurious effect on adjoining properties, and finds that the character of the neighborhood or the health, safety and general welfare of the community will be minimized. This decision is supported by the following findings:

1)

2)

Add additional statements as necessary.

#### Against Special Use Permit

In considering the Special Use Permit SUP17-04, Communications Tower Group, LLC, we, the Planning Board, find that the request does not meet the required conditions and specifications.

(List which conditions are not being met)

1)

2)

Add additional statements as necessary.

In addition the use poses an injurious effect on adjoining properties and the Town Board finds that the request is not character of the neighborhood and there will be negative effects on the health, safety and general welfare of the surrounding community based on the following findings:

1)

2)

Add additional statements as necessary



# **General Application**

***Incomplete submissions will not be accepted. Please check all items carefully.***

## 1. Application Type

Please indicate the type of application you are submitting. If you are applying for two (2) actions, provide a separate application for each action. **In addition to the application, the submission process for each application type can be found at**

**<http://www.huntersville.org/Departments/Planning/PermitsProcess.aspx>**

- |  |   |
|--|---|
| <input type="checkbox"/> CHANGE OF USE<br><input type="checkbox"/> COMMERCIAL SITE PLAN<br><input type="checkbox"/> CONDITIONAL REZONING<br><input type="checkbox"/> GENERAL REZONING<br><input type="checkbox"/> MASTER SIGNAGE PROGRAM<br><input type="checkbox"/> REVISION to _____<br><input checked="" type="checkbox"/> SPECIAL USE PERMIT | SUBDIVISION CATEGORIES: <i>Per the Huntersville Subdivision Ordinance</i><br><input type="checkbox"/> SKETCH PLAN<br><input type="checkbox"/> PRELIMINARY PLAN<br><input type="checkbox"/> FINAL PLAT (includes minor and exempt plats)<br><input type="checkbox"/> FINAL PLAT REVISION<br><input type="checkbox"/> FARMHOUSE CLUSTER |
|--|---|



## 2. Project Data

Date of Application 8/31/17

Name of Project Beattles Ford Road Cell Tower Site # NC-0010002 Phase # (if subdivision) \_\_\_\_\_

Location 5824 Jim Kidd Road, Huntersville

Parcel Identification Number(s) (PIN) 013-051-02

Current Zoning District R (Rural) Proposed District (for rezonings only) \_\_\_\_\_

Property Size (acres) 0.78 Street Frontage (feet) \_\_\_\_\_

Current Land Use Vacant - undeveloped

Proposed Land Use(s) Telecommunications tower site with fenced compound.

Is the project within Huntersville's corporate limits?

Yes ☒ No ☐ If no, does the applicant intend to voluntarily annex? \_\_\_\_\_

## 3. Description of Request

Briefly explain the nature of this request. If a separate sheet is necessary, please attach to this application.

Request for a Special Use Permit for a Wireless Communications Tower site on an R zoned parcel. Please see our attached letter of

response on how CTG will comply with Article 9.9 of the Zoning Ordinance.

## 4. Site Plan Submittals

Consult the particular type of *Review Process* for the application type selected above. These can be found at <http://www.huntersville.org/Departments/Planning/PermitsProcess.aspx>.



## 5. Outside Agency Information

Other agencies may have applications and fees associated with the land development process. The *Review Process* list includes plan documents needed for most town and county reviewing agencies.

For major subdivisions, commercial site plans, and rezoning petitions please enclose a copy of the Charlotte-Mecklenburg Utility *Willingness to Serve* letter for the subject property.

## 6. Signatures

\*Applicant's Signature  Printed Name Thomas H. Johnson, Jr. (Agent for CTG)

Address of Applicant 4141 Parklake Ave, Suite 200, Raleigh, NC 27612

Email tjohnson@nexsenpruet.com

Property Owner's Signature (if different than applicant) See attached Appointment of Agent

Printed Name City of Charlotte - Amanda Byrum

Property Owner's Address 600 E. 4th Street, Charlotte NC Email abyrum@ci.charlotte.nc.us

\* Applicant hereby grants permission to the Town of Huntersville personnel to enter the subject property for any purpose required in processing this application.

Communications Tower Group, LLC Erik Brooks - Operations Manager 865-661-7791 ebrooks@ctowergroup.com

Development Firm	Name of contact	Phone	Email
Tower Engineering Professionals, Inc	Scott Brantley - Engineer	704-975-3328	sbrantley@tepgroup.net

Design Firm	Name of contact	Phone	Email
-------------	-----------------	-------	-------

### If Applying for a General Rezoning:

Please provide the name and Address of owner(s) of fee simple title of each parcel that is included in this rezoning petition. If additional space is needed for signatures, attach an addendum to this application.

### If Applying for a Conditional Rezoning:

Every owner of each parcel included in this rezoning petition, or the owner (s) duly authorized agent, must sign this petition. If signed by an agent, this petition **MUST** be accompanied by a statement signed by the property owner (s) and notarized, specifically authorizing the agent to act on the owner (s) behalf in filing this petition. Failure of each owner, or their duly authorized agent, to sign, or failure to include the authority of the agent signed by the property owner, will result in an **INVALID PETITION**. **If additional space is needed for signatures, attach an addendum to this application.**

Signature, name, firm, address, phone number and email of Duly Authorized Agent by owner needed below:

### If Applying for a Subdivision:

By signature below, I hereby acknowledge my understanding that the Major Subdivision Sketch Plan Process is a quasi-judicial procedure and contact with the Board of Commissioners shall **only** occur under sworn testimony at the public hearing.

## Contact Information

Town of Huntersville	Phone:	704-875-7000
Planning Department	Fax:	704-992-5528
PO Box 664	Physical Address:	105 Gilead Road, Third Floor
Huntersville, NC 28070	Website:	<a href="http://www.huntersville.org/Departments/Planning.aspx">http://www.huntersville.org/Departments/Planning.aspx</a>



**Thomas H. Johnson, Jr.**  
Member  
Admitted in NC

August 30, 2017

Brian Richards, Planner  
Town of Huntersville Planning Department  
105 Gilead Road  
Huntersville, NC 28078

Re: Application for a Special Use Permit for a Wireless Communication Facility; Site Name: Beatties Ford Road, to be located at 5824 Jim Kidd Road, Huntersville, NC; PIN 013-051-02 ("Proposed Tower")

Dear Mr. Richards:

Our firm is counsel for Communications Tower Group LLC ("CTG"), and we submit this letter and its contents on behalf of CTG as applicant for Special Use Permit for a Wireless Communication Facility.

This letter is to supplement our application for a Special Use Permit and states how CTG does or will comply with Article 9.9 of the Town of Huntersville Zoning Ordinance. Responses to each subsection are as follows:

Charleston  
Charlotte  
Columbia  
Greensboro  
Greenville  
Hilton Head  
Myrtle Beach  
**Raleigh**

1. The proposed Tower will support four (4) carriers/ antenna arrays. Please see attached Collocation Letter from CTG.
2. There is not a suitable location on any existing Tower within the geographic area. Please see the attached RF and Propagation maps attached.
3. The Tower will be galvanized steel, and can be painted to comply with local regulations. See Notes on page C-1 of the plans for details.
4. The Tower compound will be fenced and a screening on the fence will be provided. Please see page C-4 on the plans for more details.
5. CTG will comply with removing the Tower within 12 months of cessation of operations of the site. Please see the attached Tower Removal Letter.
6. CTG will comply with no equipment being stored at the site that is not in direct support of the operation of the Tower.
7. The Tower is not required to be lit by the FAA. Please see Notes on page C-1 of the plans for more information.



August 31, 2017

Page 2

8. A natural screen of existing trees will be used on the site. Please see page C-1 of the plans for more information.
9. Only one (1) Tower will be present on the parcel.
10. The Tower is 440' from the nearest property line.
11. Not Applicable.
12. A.) The Tower height will be 195', with an additional 4' for a lightning rod. It will not exceed 199'.  
B.) The parcel is 194.4 acres in size.  
C.) The Tower will be 750' from the public right-of-way and 440' from the nearest property line.  
D.) No illumination is required.  
E.) The Tower will support four (4) carriers.  
F.) Not applicable, there are no structures on the property.  
G.) The Tower is a Monopole design.  
H.) The nearest tower/proposed Tower is 1.09 miles away. Please see attached letter from Tower Engineering Professionals for more details.

If you have any questions or need any additional information, please do not hesitate to contact me. We look forward to working with you to complete this site.

Very truly yours,



Thomas H. Johnson, Jr.



Town of Huntersville  
Planning Department  
P.O. Box 664  
Huntersville, NC 28070

*Application of Communications Tower Group LLC to construct a new Wireless  
Telecommunications Tower for the following site:*

Communications Tower Group, LLC Tower Site#: NC-0010002  
Site Name: Beatties Ford Road (McDowell Creek Water Treatment)  
Site Address: 5824 Jim Kidd Road, Huntersville, NC 28078

**Collocation Certification**

Communications Tower Group LLC ("CTG") is one of the leading independent owners and operators of shared wireless infrastructure. The core business of CTG involves the engineering, deployment, marketing, ownership, operation and leasing of shared wireless communications sites. The sharing of infrastructure among multiple services lies at the heart of CTG's business philosophy. Our portfolio of wireless communication sites enables our customers to serve their markets more efficiently and with sensitivity to local planning and zoning jurisdictions. CTG designs all of our facilities for multiple collocation opportunities for our customers. We endeavor to assist communities in reducing the number of towers in a given jurisdiction by supplying our customers with locations that are ready for them to meet their coverage design and wireless performance needs. In negotiating the rental rates of these lease agreements, CTG considers the competitive environment of its business and the presence of other major tower companies. This ensures that CTG charges only reasonable rates to service providers.

Communications Tower Group LLC agrees to comply with the Zoning Ordinance of the Town of Huntersville, NC, section 9.9.1 and is willing to permit other user(s) to attach communication equipment which do not interfere with the primary purpose of the tower, provided that such other users agree to negotiate a reasonable compensation to the Communications Tower Group LLC for their use of the tower. The proposed tower can support up to four (4) carriers.

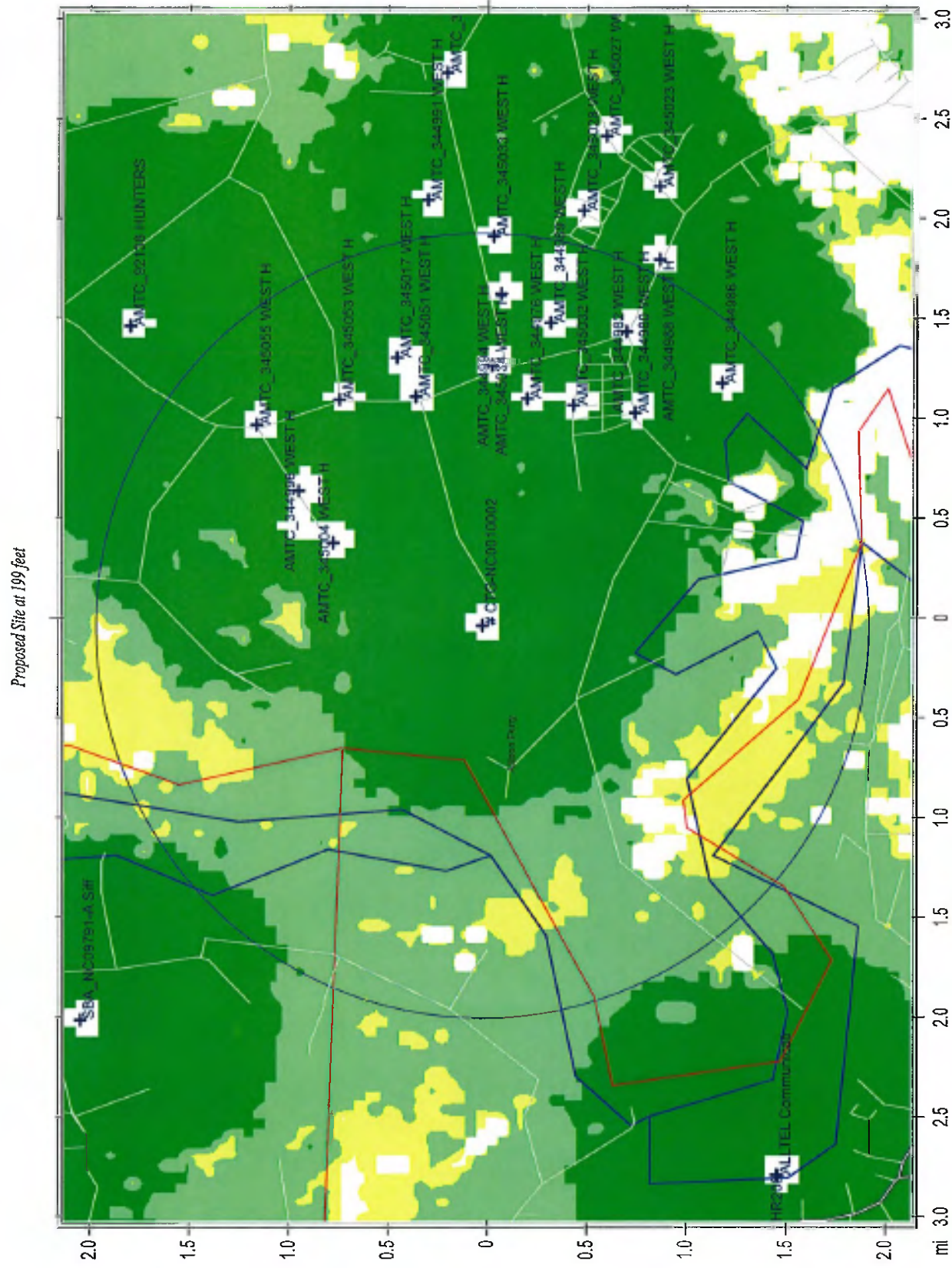
**Communications Tower Group LLC**

By: 

Name: Ricardo Loo

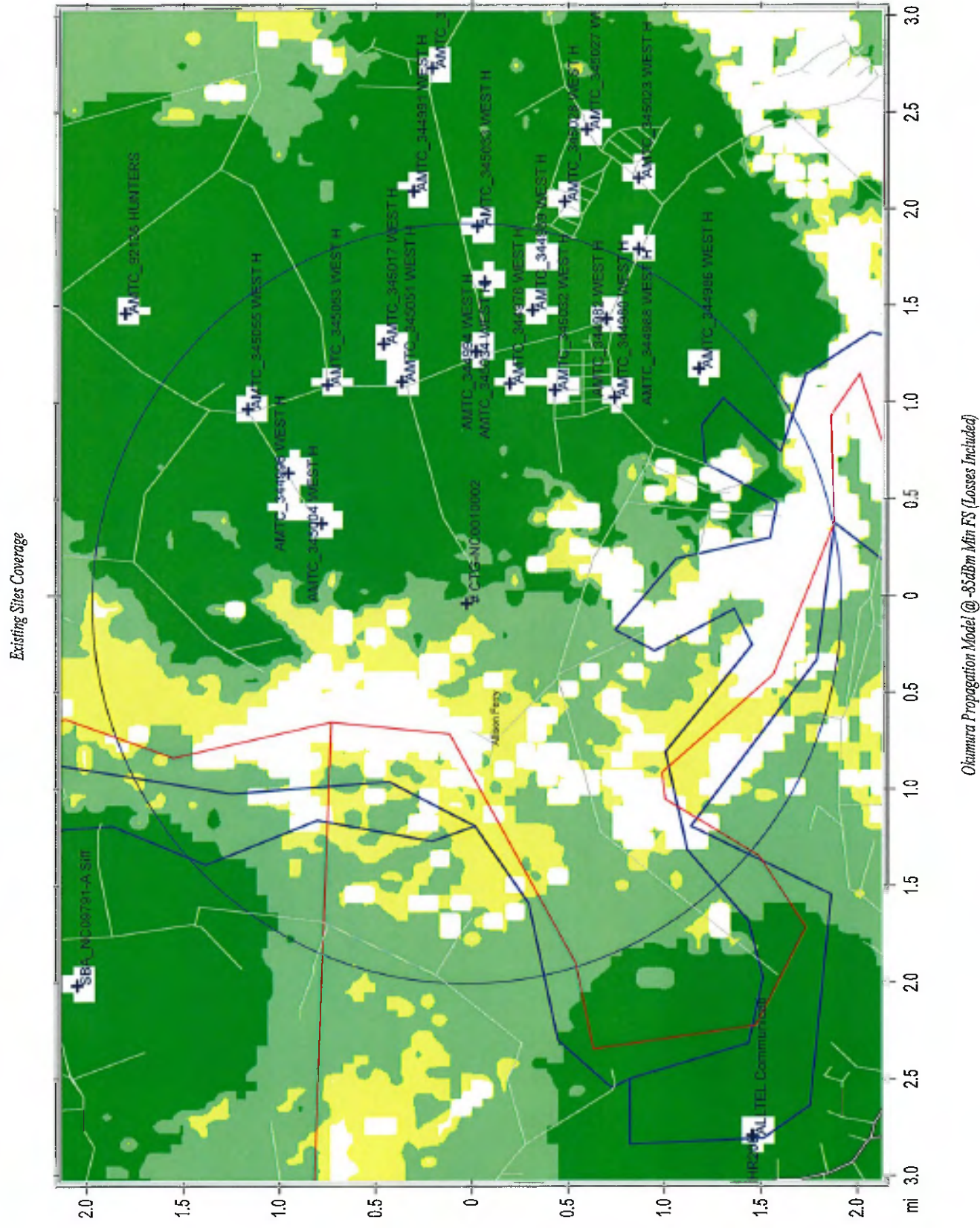
Title: Chief Executive Officer





Okumura Propagation Model @ -85dBm Min FS (Losses Included)







Town of Huntersville  
Planning Department  
P.O. Box 664  
Huntersville, NC 28070

*Application of Communications Tower Group LLC to construct a new Wireless  
Telecommunications Tower for the following site:*

Communications Tower Group, LLC Tower Site#: NC-0010002  
Site Name: Beatties Ford Road (McDowell Creek Water Treatment)  
Site Address: 5824 Jim Kidd Road, Huntersville, NC 28078

#### **Tower Removal Certification**

Communications Tower Group LLC ("CTG") agrees to comply with Section 9.9.5 of the Zoning Ordinance of the Town of Huntersville, regarding removal of the proposed tower within 12 months of cessation of operations at the site.

**Communications Tower Group LLC**

By: \_\_\_\_\_

Name: Ricardo Loor

Title: Chief Executive Officer



Date: **August 25, 2017**

ATTN: Brian Richards  
Huntersville Planning Dept.  
105 Gilead Rd  
Huntersville, NC 28078  
(704) 766-2218



Tower Engineering Professionals, Inc.  
326 Tryon Road  
Raleigh, NC 27603  
(919) 661-6351  
N.C. License #: C-1794

**Subject: Tower Distance**

**CTG Site Name:** *Beatties Ford Road*

**TEP Project Number:** *75848*

**Site Data:** **5824 Jim Kidd Road, Huntersville, NC 28078 (Mecklenburg County)**  
**N 35° 23' 25.11" (NAD '83)**  
**W 80° 56' 39.77" (NAD '83)**

Mr. Brian Richards,

This letter is to certify that the distance between the proposed tower at 5824 Jim Kidd Rd and the tower at Bradley Middle School exceeds 1 mile.

Per Construction Drawings by ACS Engineering, dated 06-27-16 (see Appendix I below), the Bradley Middle School tower is located at N 35° 23' 52.45" W 80° 55' 38.37". The 1-A Certification by Tower Engineering Professionals, dated 8/24/17 (see Appendix II below) shows that the proposed telecommunications tower at 5824 Jim Kidd Rd is to be located at N 35° 23' 25.11" W 80° 56' 39.77". As shown below, the distance between these two locations (measured via Google Earth) is 1.09 miles.





Distance Letter  
Revision 0  
TEP Project Number 75848

August 25, 2017  
Beatties Ford  
Page 2

Respectfully submitted by,

Joshua A. Staab, P.E.  
NC License # 045211





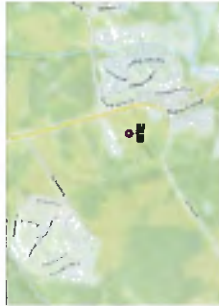
ISSUE	REVISION	DATE
△	ISSUED FOR OWNER'S REVIEW	04/11/16
△	REVISED PER VERIZON'S COMMENTS	04/28/16
△	ISSUED FOR CONSTRUCTION	06/27/16

A PROJECT FOR  
**BERKLEY GROUP LLC**

BASE TRANSCIVER SITE  
BRADLEY MIDDLE SCHOOL  
VERIZON SITE NAME: FRANCIS BRADLEY  
13359 BEATTIES FORD ROAD  
HUNTERSVILLE, NC 28078  
MECKLENBURG COUNTY  
NORTH CAROLINA



VERIZON: FRANCIS BRADLEY



NEARBY MAP



DIRECTIONS:  
FROM CHARLOTTE, NC: TAKE I-77 SOUTH ON THE EAST ON  
SOUTH I-77 TO I-85. TAKE I-85 SOUTH TO I-485. TAKE  
APPROX. 0.7 MILES. MERGE ONTO NC-146 N. BROADWAY  
FRY, W. VIA THE RAMP ON THE LEFT. CONTINUE FOR  
APPROX. 0.7 MILES. MERGE ONTO I-485 SOUTH. TAKE  
TOWARD I-485 N. BROADWAY. CONTINUE FOR APPROX. 4.7  
MILES. TAKE SUNSET RD. W. EXIT 148. CONTINUE FOR  
APPROX. 0.3 MILES. MERGE ONTO SUNSET RD. CONTINUE  
FOR APPROX. 0.3 MILES. MERGE ONTO BEATTIES FORD  
RD. CONTINUE FOR APPROX. 7.2 MILES. END AT 13359  
BEATTIES FORD RD., CHARLOTTE, NC.

#### SITE INFORMATION

PROPERTY OWNER: THE CHARLOTTE-MECKLENBURG BOARD OF EDUCATION 600 E. 4TH STREET FIFTH FLOOR CHARLOTTE, NC 28202	APPLICANT: BERKLEY GROUP LLC 10612-D PROVIDENCE ROAD, PMB 742 CHARLOTTE, NC 28277 BONNIE NEWELL - PROJECT MANAGER TEL: (704) 907-7104	POWER: DUKE ENERGY (800) 777-9898	TELCO: TIME WARNER (FOR VERIZON) (866) 489-2669
PARCEL ID #: 01306105			
SURVEYOR: SANDERS SURVEYING AND MAPPING SERVICES, INC. 510 HUNTER ROAD BLACK MOUNTAIN, NC 28711			

TOWER INFORMATION: PROPOSED 160' LIGHT POLE LATITUDE: 35° 23' 52.45" N LONGITUDE: 80° 55' 38.37" W GROUND ELEVATION: 713.0'	ZONING INFORMATION: JURISDICTION: CITY OF CHARLOTTE PLANNING DEPARTMENT (704) 336-2205 CLASSIFICATION: R OCCUPANCY: SCHOOL	BUILDING INSPECTIONS: MECKLENBURG COUNTY CODE ENFORCEMENT 700 NORTH TRYON STREET CHARLOTTE, NC 28202 (704) 814-0435
---	---	---

#### DRAWING INDEX

##### GENERAL

- 01 GENERAL INFORMATION
- 02 BUILDING CODE APPENDIX B (SHEET 1 OF 2)
- 03 BUILDING CODE APPENDIX B (SHEET 2 OF 2)

##### SURVEY

- 01 SITE SURVEY (SHEET 1 OF 4)
- 02 SITE SURVEY (SHEET 2 OF 4)
- 03 SITE SURVEY (SHEET 3 OF 4)
- 04 SITE SURVEY (SHEET 4 OF 4)

##### CIVIL

- 01 GENERAL NOTES AND SYMBOLS
- 02 SITE LAYOUT PLAN
- 03 SITE GRADING PLAN
- 04 TOWER ELEVATION, ANTENNA LAYOUT
- 05 COMPOUND FENCE DETAILS
- 06 FENCE AND GATE DETAILS
- 07 LANDSCAPE PLAN AND DETAIL

##### ELECTRICAL

- 01 GENERAL ELECTRICAL NOTES AND LEGEND
- 02 SERVICES ROUNDOFF PLAN
- 03 SITE ELECTRICAL PLAN
- 04 ONE LINE DIAGRAM
- 05 GRADING DETAILS
- 06 GRADING DETAILS
- 07 TOWER EQUIPMENT RACK DETAIL
- 08 TOWER EQUIPMENT RACK DETAIL
- 09 TOWER EQUIPMENT RACK DETAIL
- 10 TOWER EQUIPMENT RACK DETAIL
- 11 TOWER EQUIPMENT RACK DETAIL
- 12 TOWER EQUIPMENT RACK DETAIL
- 13 TOWER EQUIPMENT RACK DETAIL
- 14 TOWER EQUIPMENT RACK DETAIL
- 15 TOWER EQUIPMENT RACK DETAIL
- 16 TOWER EQUIPMENT RACK DETAIL
- 17 TOWER EQUIPMENT RACK DETAIL
- 18 TOWER EQUIPMENT RACK DETAIL
- 19 TOWER EQUIPMENT RACK DETAIL
- 20 TOWER EQUIPMENT RACK DETAIL

##### SPECIAL INSPECTIONS

- 01 SPECIAL INSPECTIONS (SHEET 1 OF 2)
- 02 SPECIAL INSPECTIONS (SHEET 2 OF 2)



Engineering, Inc.  
3 Marcus Drive  
Greenville, SC 29615  
P.O. Box 1000  
Fax: (864) 284-0259



APPENDIX – II

1-A Certification of Location and Elevation

Date of Survey: 04/19/2017

Rev 1: 08/24/2017



**Prepared For:** Erik Brooks  
Communications Tower Group LLC  
15720 Brixham Hill Ave., Ste. 300  
Charlotte, NC 28277

**Site Name:** Beatties Ford Rd  
**Site Number:** CTG-NC 0010002  
**TEP Job No.:** 75848\_116170  
**Structure Type:** Proposed Tower  
**Site Address:** 5824 Jim Kidd Road, Huntersville, NC 28078 (Mecklenburg County)

The elevations referenced hereon are based on N.A.V.D. 1988, and are accurate to within 3 feet, more or less as determined by our survey of the subject property. The values are as follows:


**Elevation of Site Above Mean Sea Level: 755.58 feet (AMSL)**

The horizontal values of the above referenced point, and the geodetic coordinates thereof, were established by taking multiple readings with dual frequency Global Position Satellite Receivers and are hereby certified to be within 20 feet, more or less, based thereon. The values are as follows:

**NAD '83**                      **LATITUDE:** 35° – 23' – 25.11"  
                                    **LONGITUDE:** 080° – 56' – 39.77"

**NAD '83 (Decimal)**        **LATITUDE:** 35.390308° North  
                                    **LONGITUDE:** 080.944381° West



  
\_\_\_\_\_  
Timothy L. Fish  
Professional Land Surveyor L-4631

08/24/17  
\_\_\_\_\_  
Date



# MECKLENBURG COUNTY, NC POLARIS 3G DEED REPORT

Date Printed: 08/28/2017

Buffer Distance: 250 Feet

No	Parcel ID	Owner Name	Mailing Address	Legal Description	Deed Book	Deed Page	Land Area
1	01304226	1. MECKLENBURG COUNTY,	600 EAST FOURTH ST CHARLOTTE NC 28202	N/A	31873	171	42.49 AC
2	01304299	1. DUKE POWER CO,	422 S CHURCH ST CHARLOTTE NC 28242	NA	02459	527	0.73 AC
3	01305102	1. CITY OF CHARLOTTE,	600 EAST 4TH ST CHARLOTTE NC 28202	NA	19285	772	194.4 AC
4	01305104	1. MCKENZIE, HARRIET KIDD	5840 JIM KIDD RD HUNTERVILLE NC 28078	NA	06049	158	25 AC
5	01305105	1. AUSTIN, DANIEL EUGENE	428 EAST KINGSTON AV CHARLOTTE NC 28203	NA	06735	530	4.08 AC
6	01305106	1. SPRY, ELIZABETH HARRISON 2.SPRY, KENNETH CRAIG	5915 JIM KIDD RD HUNTERVILLE NC 28078	L1 M58-787	30527	239	3 AC
7	01309107	1. KIDD, SADIE T 2.KIDD, SADIE T 3.KIDD, ANTHONY DAVID 4.KIDD, ANTHONY DAVID	5900 STEPHENS RD HUNTERVILLE NC 28078	NA	04129	335	42.39 AC
8	01316103	1. C/O REAL ESTATE DIVISION, 2.CITY OF CHARLOTTE,	600 E 4TH ST CHARLOTTE NC 28202	TR A M26-74 &75	07888	822	210.03 AC
9	01320103	1. AUSTIN, DANIEL E	428 E KINGSTON AVE CHARLOTTE NC 28203	NA	29726	626	15.71 AC
10	01320104	1. ALEXANDER, MARY M	5720 JIM KIDD RD HUNTERVILLE NC 28078	NA	12097	761	3.2 AC
11	01320105	1. LONG, DONNA AUSTIN	5632 JIM KIDD RD HUNTERVILLE NC 28078	NA	12975	756	5.91 AC
12	01320106	1. AUSTIN, DANIEL E	PO BOX 415 PINEVILLE NC 28134	TR-2 U/M	28917	215	1.66 AC
13	01320107	1. JANNELL PROPERTIES LLC, 2.C/O NELLIE K AUSTIN,	238 CHAPMAN LOOP PAWLEYS ISLAND SC 29585	NA	27284	528	3.02 AC
14	01320111	1. AUSTIN, DANIEL E	PO BOX 415 PINEVILLE NC 28134	TR-1 U/M	28906	577	2.32 AC
15	01323101	1. MECKLENBURG COUNTY, 2.C/O REAL ESTATE /FINANCE DEPT,	600 E 4TH ST 11TH FLOOR CHARLOTTE NC 28202	M24-672	06720	459	28 AC

This map or report is prepared for the inventory of real property within Mecklenburg County and is compiled from recorded deeds, plats, tax maps, surveys, planimetric maps, and other public records and data. Users of this map or report are hereby notified that the aforementioned public primary information sources should be consulted for verification. Mecklenburg County and its mapping contractors assume no legal responsibility for the information contained herein.



**MECKLENBURG COUNTY, NC POLARIS 3G DEED REPORT**

Date Printed: 08/28/2017

Buffer Distance: 250 Feet

No	Parcel ID	Owner Name	Mailing Address	Legal Description	Deed Book	Deed Page	Land Area
16	01323102	1. MECKLENBURG COUNTY, 2.C/O REAL ESTATE /FINANCE DEPT,	600 E 4TH ST 11TH FLOOR CHARLOTTE NC 28202	M24-672	06720	459	30.5 AC
17	01323103	1. MECKLENBURG COUNTY, 2.C/O REAL ESTATE /FINANCE DEPT,	600 E 4TH ST 11TH FLOOR CHARLOTTE NC 28202	M24-672	06720	459	42.3 AC
18	01323105	1. C/O REAL ESTATE DIVISION, 2.CITY OF CHARLOTTE,	600 E 4TH ST CHARLOTTE NC 28202	PTR 1 LB U/M	03929	039	111 AC



LESSEE:

.. **T** .. Mobile ..

**185 FAIRCHILD STREET  
CHARLESTON, SC 29492  
T-MOBILE SITE ID: 5TC09320  
T-MOBILE SITE NAME: MCDOWELL CREEK WATER  
TREATMENT 2**

**5824 JIM KIDD ROAD  
HUNTERSVILLE, NC 28078  
(MECKLENBURG COUNTY)**

PLANS PREPARED FOR:



**COMMUNICATIONS TOWER GROUP, LLC  
15720 BRIXHAM HILL AVENUE, SUITE 300  
CHARLOTTE, NC 28277**

**BEATTIES FORD ROAD  
(MCDOWELL CREEK WATER TREATMENT)  
CTG SITE #: NC-0010002**



## LOCATION MAP

**LATITUDE** N 35° 23' 25.11" (NAD '83)  
**LONGITUDE** W 80° 56' 39.77" (NAD '83)  
**EXISTING GROUND ELEV. (AMSL) = 755.6'± (NAVD '88)**  
**PROPOSED GROUND ELEV. (AMSL) = 755.5'± (NAVD '88)**

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING:

1. NORTH CAROLINA BUILDING CODE (2012 EDITION)	4. 2014 NCEC (NEC 2014 + ADDENDUM)
2. NORTH CAROLINA CODE COUNCIL	5. LOCAL BUILDING CODE
3. ANSI/ITIA-222-G-2009	6. CITY/COUNTY ORDINANCES

POWER COMPANY:	DUKE ENERGY - PROGRESS	TELEPHONE COMPANY:	AT&T
CONTACT:	CUSTOMER SERVICE	CONTACT:	CUSTOMER SERVICE
PHONE:	(800) 452-2777	PHONE:	(800) 331-0500
POLE # NEAR SITE:	UNKNOWN	PHONE # NEAR SITE:	UNKNOWN

DIRECTIONS BEGINNING FROM CTG OFFICE: TAKE PREFERRED ROUTE ONTO I-485 INNER. TAKE OAKDALE ROAD EXIT AND TURN LEFT AT TRAFFIC CIRCLE. CONTINUE STRAIGHT THROUGH SECOND TRAFFIC CIRCLE. AT THIRD TRAFFIC CIRCLE, TAKE FIRST EXIT ONTO MT HOLLY-HUNTERSVILLE ROAD. CONTINUE 4.3 MI. TURN LEFT ONTO JIM KIDD ROAD. CONTINUE 1.2 MI. DESTINATION ON RIGHT.

## 1-A CERTIFICATION

## CODE COMPLIANCE

## UTILITY INFORMATION

## DRIVING DIRECTIONS

T-MOBILE SITE ID: 5TC09320

**JURISDICTION:** TOWN OF HUNTERSVILLE

CTG SITE #: NC-0010002

AREA OF  
CONSTRUCTION: 0.78 ACRES

<b>PROJECT DESCRIPTION:</b>	<b>PROPOSED WIRELESS TELECOMM TOWER</b>
-----------------------------	---

CONSTRUCTION: 0.75 ACRES  
LAND USE: RESIDENTIAL  
ZONING: R

**SITE ADDRESS:** 5824 JIM KIDD ROAD  
HUNTERSVILLE, NC 28078  
(MECKLENBURG COUNTY)

**PARCEL ID #:** 013-051-02  
**TOWER TYPE:** 195' SLICK POLE MONOPOLE

## PROJECT INFORMATION

**LESSEE:**  
**NAME:** T-MOBILE  
**ADDRESS:** 185 FAIRCHILD STREET  
**CITY, STATE, ZIP:** CHARLESTON, SC 29492  
**CONTACT:** ROBERT HILL  
**PHONE:** (843) 216-1210

**TOWER OWNER**  
**NAME:** CTG, LLC  
**ADDRESS:** 8420 BALLANTYNE COMMONS PARKWAY  
**CITY, STATE, ZIP:** CHARLOTTE, NC 28277  
**CONTACT:** ERIK BROOKS  
**PHONE:** (865) 661-7791

**SURVEYOR:**  
**NAME:** TOWER ENGINEERING PROFESSIONALS  
**ADDRESS:** 326 TRYON ROAD  
**CITY, STATE, ZIP:** RALEIGH, NC 27603  
**CONTACT:** TIMOTHY L. FISH, P.L.S.  
**PHONE:** (919) 661-6351

**CIVIL ENGINEER:**  
**NAME:** TOWER ENGINEERING PROFESSIONALS  
**ADDRESS:** 326 TRYON ROAD  
**CITY, STATE, ZIP:** RALEIGH, NC 27603  
**CONTACT:** JOSH A. STAAB, P.E.  
**PHONE:** (919) 661-6351

**ELECTRICAL ENGINEER:**

<b>NAME:</b>	<b>TOWER ENGINEERING PROFESSIONALS</b>
<b>ADDRESS:</b>	<b>326 TRYON ROAD</b>
<b>CITY, STATE, ZIP:</b>	<b>RALEIGH, NC 27603</b>
<b>CONTACT:</b>	<b>MARK S. QUAKENBUSH, P.E.</b>
<b>PHONE:</b>	<b>(919) 661-6351</b>

**PROPERTY OWNER:**

<b>NAME:</b>	<b>CITY OF CHARLOTTE</b>
<b>ADDRESS:</b>	<b>600 EAST 4TH STREET</b>
<b>CITY, STATE, ZIP:</b>	<b>CHARLOTTE, NC 28202</b>
<b>CONTACT:</b>	<b>UNKNOWN</b>
<b>PHONE:</b>	<b>UNKNOWN</b>

## CONTACT INFORMATION

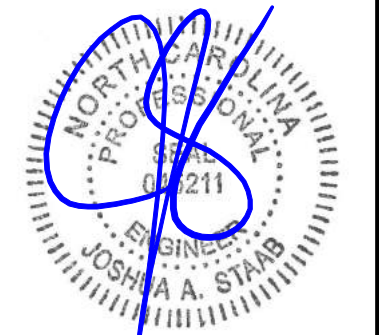
[illegible]

## SHEET INDEX

1. ALL REFERENCES MADE TO OWNER IN THESE DOCUMENTS SHALL BE CONSIDERED CTG OR IT'S DESIGNATED REPRESENTATIVE.
2. ALL WORK PRESENTED ON THESE DRAWINGS MUST BE COMPLETED BY THE CONTRACTOR UNLESS NOTED OTHERWISE. THE CONTRACTOR MUST HAVE CONSIDERABLE EXPERIENCE IN PERFORMANCE OF WORK SIMILAR TO THAT DESCRIBED HEREIN. BY ACCEPTANCE OF THIS ASSIGNMENT, THE CONTRACTOR IS ATTESTING THAT HE DOES HAVE SUFFICIENT EXPERIENCE AND ABILITY, THAT HE IS KNOWLEDGEABLE OF THE WORK TO BE PERFORMED AND THAT HE IS PROPERLY LICENSED AND PROPERLY REGISTERED TO DO THIS WORK IN THE STATE OF NORTH CAROLINA.
3. THE STRUCTURE SHALL BE DESIGNED IN ACCORDANCE WITH ANSI/TIA-222-G-2-2009. THIS CONFORMS TO THE REQUIREMENTS OF THE NORTH CAROLINA BUILDING CODE, 2012 EDITION.
4. WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE NORTH CAROLINA BUILDING CODE, 2012 EDITION.
5. UNLESS SHOWN OR NOTED OTHERWISE ON THE CONTRACT DRAWINGS, OR IN THE SPECIFICATIONS, THE FOLLOWING NOTES SHALL APPLY TO THE MATERIALS LISTED HEREIN, AND TO THE PROCEDURES TO BE USED ON THIS PROJECT.
6. ALL HARDWARE ASSEMBLY MANUFACTURER'S INSTRUCTIONS SHALL BE FOLLOWED EXACTLY AND SHALL SUPERSEDE ANY CONFLICTING NOTES ENCLOSED HEREIN.
7. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE TO INSURE THE SAFETY OF THE STRUCTURE AND IT'S COMPONENT PARTS DURING ERECTION AND/OR FIELD MODIFICATIONS. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF TEMPORARY BRACING, GUYS OR TIE DOWNS THAT MAY BE NECESSARY. SUCH MATERIAL SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER THE COMPLETION OF THE PROJECT.
8. ALL DIMENSIONS, ELEVATIONS, AND EXISTING CONDITIONS SHOWN ON THE DRAWINGS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO BEGINNING ANY MATERIALS ORDERING, FABRICATING OR CONSTRUCTION WORK. ON THIS PROJECT THE CONTRACTOR SHALL CONFIRM FIELD DRAWINGS IN LIEU OF FIELD VERIFICATION. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND THE OWNER'S ENGINEER. THE DISCREPANCIES MUST BE RESOLVED BEFORE THE CONTRACTOR IS TO PROCEED WITH THE WORK. THE CONTRACT DOCUMENTS DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY THE OWNER AND/OR THE ENGINEER SHALL NOT INCLUDE INSPECTION OF THE PROTECTIVE MEASURES OR THE PROCEDURES.
9. ALL MATERIALS AND EQUIPMENT FURNISHED SHALL BE NEW AND OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. ANY AND ALL SUBSTITUTIONS MUST BE PROPERLY APPROVED AND AUTHORIZED IN WRITING BY THE OWNER AND ENGINEER PRIOR TO INSTALLATION. THE CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF THE MATERIALS AND EQUIPMENT BEING SUBSTITUTED.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PROGRAMS AND PROCEDURES IN CONNECTION WITH THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR INSURING THAT THIS PROJECT AND RELATED WORK COMPLIES WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL SAFETY CODES AND REGULATIONS GOVERNING THIS WORK. RENTAL CHARGES, SAFETY, PROTECTION AND MAINTENANCE OF RENTED EQUIPMENT SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
11. ACCESS TO THE PROPOSED WORK SITE MAY BE RESTRICTED. THE CONTRACTOR SHALL COORDINATE INTENDED CONSTRUCTION ACTIVITY, INCLUDING WORK SCHEDULE AND MATERIALS ACCESS, WITH THE LESSEE PROJECT MANAGER.
12. BILL OF MATERIALS AND PART NUMBERS LISTED ON CONSTRUCTION DRAWINGS ARE INTENDED TO AID CONTRACTOR/OWNER. CONTRACTOR/OWNER SHALL VERIFY PARTS AND QUANTITIES WITH MANUFACTURER PRIOR TO BIDDING AND/OR ORDERING MATERIALS.
13. ALL PERMITS THAT MUST BE OBTAINED ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR WILL BE RESPONSIBLE FOR ABIDING BY ALL CONDITIONS AND REQUIREMENTS OF THE PERMITS.
14. 24 HOURS PRIOR TO THE BEGINNING OF ANY CONSTRUCTION, THE CONTRACTOR MUST NOTIFY THE APPLICABLE JURISDICTIONAL (STATE, COUNTY OR CITY) ENGINEER.
15. THE CONTRACTOR SHALL REWORK (DRY, SCARIFY, ETC.) ALL MATERIAL NOT SUITABLE FOR SUBGRADE IN ITS PRESENT STATE. AFTER REWORKING, IF THE MATERIAL REMAINS UNSUITABLE, THE CONTRACTOR SHALL UNDERCUT THIS MATERIAL AND REPLACE WITH APPROVED MATERIAL. ALL SUBGRADES SHALL BE PROPOFFLOADED WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK PRIOR TO PAVING. ANY SOFT MATERIAL SHALL BE REWORKED OR REPLACED.
16. THE CONTRACTOR IS REQUIRED TO MAINTAIN ALL PIPES, DITCHES, AND OTHER DRAINAGE STRUCTURES FREE FROM OBSTRUCTION UNTIL WORK IS ACCEPTED BY THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES CAUSED BY FAILURE TO MAINTAIN DRAINAGE STRUCTURE IN OPERABLE CONDITION.
17. THE OWNER SHALL HAVE A SET OF APPROVED PLANS AVAILABLE AT THE SITE AT ALL TIMES WHILE WORK IS BEING PERFORMED. A DESIGNATED RESPONSIBLE EMPLOYEE SHALL BE AVAILABLE FOR CONTACT BY GOVERNING AGENCY INSPECTORS.
18. ANY BUILDINGS ON THIS SITE ARE INTENDED TO SHELTER EQUIPMENT WHICH WILL ONLY BE PERIODICALLY MAINTAINED AND ARE NOT INTENDED FOR HUMAN OCCUPANCY.
19. TEMPORARY FACILITIES FOR PROTECTION OF TOOLS AND EQUIPMENT SHALL CONFORM TO LOCAL REGULATIONS AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
20. THE CONTRACTOR AND ITS SUBCONTRACTORS SHALL CARRY LIABILITY INSURANCE IN THE AMOUNTS AND FORM IN ACCORDANCE WITH LESSEE SPECIFICATIONS. CERTIFICATES DEMONSTRATING PROOF OF COVERAGE SHALL BE PROVIDED TO LESSEE PRIOR TO THE START OF THE WORK ON THE PROJECT.
21. THE CONTRACTOR SHALL CONTACT ALL APPLICABLE UTILITY SERVICES TO VERIFY LOCATIONS OF EXISTING UTILITIES AND REQUIREMENTS FOR NEW UTILITY CONNECTIONS PRIOR TO EXCAVATING.
22. THE CONTRACTOR SHALL MAINTAIN THE JOB CLEAR OF TRASH AND DEBRIS. ALL WASTE MATERIALS SHALL BE REMOVED FROM THE SITE PRIOR TO SUBSTANTIAL COMPLETION AND PRIOR TO FINAL ACCEPTANCE. THE CONTRACTOR SHALL FURNISH ONE 55 GALLON BARREL, AND TRASH BAGS, AND SHALL REMOVE TRASH, DEBRIS, ETC., ON A DAILY BASIS.
23. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH ALL CONDITIONS PRIOR TO SUBMITTING HIS PROPOSAL. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS WITH THOSE AT THE SITE. ANY VARIATION WHICH REQUIRES PHYSICAL CHANGE SHALL BE BROUGHT TO THE ATTENTION OF THE CTG PROJECT ENGINEER FOR FACILITIES/CONSTRUCTION.
24. THE CONTRACTOR SHALL GUARANTEE THE WORK PERFORMED ON THE PROJECT BY THE CONTRACTOR AND ANY OR ALL OF THE SUBCONTRACTORS WHO PERFORMED WORK FOR THE CONTRACTOR ON THIS PROJECT. THE GUARANTEE SHALL BE FOR A FULL YEAR FOLLOWING ISSUANCE OF THE FINAL PAYMENT OF RETAINAGE. ALL MATERIALS AND WORKMANSHIP SHALL BE WARRANTED FOR ONE YEAR FROM ACCEPTANCE DATE.

## GENERAL NOTES

SEAL:



		CONSTRUCTION	
	4	10-10-17	
	3	09-14-17	
		CONSTRUCTION	
	2	08-07-17	
		CONSTRUCTION	
	1	06-21-17	
		CONSTRUCTION	
	0	06-15-17	
		PRELIMINARY	
	REV	DATE	ISSUED FOR:
DRAWN BY: TDS		CHECKED BY:	SCB

**BEATTIES FORD RD  
MCDOWELL CREEK  
WATER TREATMENT)  
NC-0010002  
TMO ID: 5CT09320**

5824 JIM KIDD RD  
HUNTERSVILLE, NC 28078  
(MECKLENBURG COUNTY)

**TOWER ENGINEERING PROFESSIONALS**  
326 TRYON ROAD  
RALEIGH, NC 27603-3530  
OFFICE: (919) 661-6351  
FAX: (919) 661-6350  
N.C. LICENSE # C-1794

**TITLE SHEET**

NUMBER:	4-1
REVISION:	4
TEP #:	758

48







q. Accessible Parking—(Projects that are New Construction, Additions, Change of Use)

LOT OR PARKING AREA	TOTAL # OF PARKING SPACES		# OF ACCESSIBLE SPACES PROVIDED			TOTAL # ACCESSIBLE PROVIDED
	REQUIRED	PROVIDED	REGULAR WITH 5' ACCESS AISLE	VAN SPACES WITH 132" ACCESS AISLE	8' ACCESS AISLE	
TOTAL						

r. Structural Design – (Primarily for New Construction, Additions and Change of Use)  
If adding dead loads or live loads to the building structural system information in any project shall be required. This information may be located on the structural sheets. The structural sheet must be in the same format as noted in this section. If it is on the structural sheets, please indicate here. (Located on Structural Sheet Number \_\_\_\_\_: Yes \_\_\_\_\_ No \_\_\_\_\_)

DESIGN LOADS:

Importance Factors: **ASCE-SEI 7-05-11.5** Wind \_\_\_\_\_  
Snow \_\_\_\_\_  
Seismic \_\_\_\_\_

Live Loads: Roof: **(1603.1.2, 1607.11, 1611)** \_\_\_\_\_ psf  
Floor: **(1603.1.1, 1607.10, 1 1607.10)** \_\_\_\_\_ psf  
Live load Reductions: **(1603.1.1, 1607.9, 1608.2)** \_\_\_\_\_ psf

Ground Snow Load: **(1608.2)** \_\_\_\_\_ psf

Wind Load: Basic Wind Speed: **(1609.3)** \_\_\_\_\_ mph (ASCE-7)  
Exposure Category **(1609.4)** \_\_\_\_\_  
Wind Base Shears (for MWFRS) **Engineer Cal's** Vx = \_\_\_\_\_ Vy = \_\_\_\_\_

SEISMIC DESIGN CATEGORY: **(1613.1, 1613.5.6)** ☐ A ☐ B ☐ C ☐ D

Provide the following Seismic Design Parameters:

Occupancy Category: (Table 1604.5) ☐ I ☐ II ☐ III ☐ IV \_\_\_\_\_ %g

Spectral Response Acceleration: (Engineer Cal's) Ss \_\_\_\_\_ %g Si \_\_\_\_\_ %g

Site Classification (Table 1613.5.2) Data Source: ☐ C ☐ D ☐ E ☐ F

Basic structural system (check one) ☐ Presumptive ☐ Historical Data

☐ Bearing Wall ☐ Dual w/Special Moment Frame  
☐ Building Frame ☐ Dual w/Intermediate R/C or Special Steel  
☐ Moment Frame ☐ Inverted Pendulum

Seismic base shear: **Engineer Cal's** Vx = \_\_\_\_\_ Vy = \_\_\_\_\_

Analysis Procedure: ☐ Simplified ☐ Equivalent Lateral Force ☐ Dynamic

Architectural, Mechanical, Components anchored? ☐ Yes ☐ No

LATERAL DESIGN CONTROL: Earthquake ☐ Wind ☐

SOIL BEARING CAPACITIES:

Field Test (provide copy of test report as a reference document) \_\_\_\_\_ psf

Presumptive Bearing capacity \_\_\_\_\_ psf

Pile size, type, and capacity \_\_\_\_\_

SPECIAL INSPECTIONS REQUIRED: ☐ Yes ☐ No

Page 9 of 12 Appendix B 1-15-15

s. Special Inspections -- (If applicable to your project)

[http://charmeck.org/mecklenburg/county/1/UKSA/CodeEnforcement/Tools/Forms/Documents/SI\\_Scope.pdf](http://charmeck.org/mecklenburg/county/1/UKSA/CodeEnforcement/Tools/Forms/Documents/SI_Scope.pdf)

SCHEDULE OF SPECIAL INSPECTIONS

☐ No special inspections required for this project ☒ Special inspections required

The following sheets comprise the required schedule of Special Inspections for this project. The construction divisions which require special inspections for this project are as follows:

<input type="checkbox"/> IT-1 Verification of Soils	<input checked="" type="checkbox"/> IT-10 Inspection of Structural Steel Fabricators
<input checked="" type="checkbox"/> IT-2 Excavation and Fill	<input type="checkbox"/> IT-11 Structural Masonry
<input type="checkbox"/> IT-3 Piling and Drilling Piers	<input type="checkbox"/> IT-12 Welding
<input type="checkbox"/> IT-4 Modular Retaining Walls	<input checked="" type="checkbox"/> IT-13 High Strength Bolts & Steel Framing Insp.
<input checked="" type="checkbox"/> IT-5 Reinforced Concrete	<input type="checkbox"/> IT-14 Sprayed Fire-Resistance Materials
<input type="checkbox"/> IT-6 Post Tension Slab	<input type="checkbox"/> IT-15 Exterior Insulation and Finish system
<input type="checkbox"/> IT-7 Pre-cast Concrete Erection	<input type="checkbox"/> IT-16 Seismic Resistance
<input type="checkbox"/> IT-8 Pre-stressed Concrete	<input type="checkbox"/> IT-17 Smoke Control
<input type="checkbox"/> IT-9 Inspection of Pre-Cast Fabricators	<input type="checkbox"/> IT-18 Wood
	<input type="checkbox"/> IT-19 Special Cases

Check the above boxes for the special inspection required for this project and list below specific special inspections required under Chapter 17. For questions regarding Special Inspections please see [www.Meck-SI.com](http://www.Meck-SI.com).

t. Plumbing Fixtures Requirements (New Construction, Additions, Upfits, Alterations and Change of Use or if increasing occupant load)

[http://ecodes.biz/ecodes\\_support/free\\_resources/2012NorthCarolina/Building/PDFs/Chapter%2029%20-%20Plumbing%20Systems.pdf](http://ecodes.biz/ecodes_support/free_resources/2012NorthCarolina/Building/PDFs/Chapter%2029%20-%20Plumbing%20Systems.pdf)

If using fixtures one floor above or one floor below, show calculations to justify the count (TABLE 2902.1)

OCCUPANCY USE GROUP AND/OR SPACE DESIGNATION	WATERCLOSETS		URINALS		LAVATORIES		SHOWERS/ TUBS	DRINKING FOUNTAINS
	MALE	FEMALE			MALE	FEMALE		
Total Required								
Total Provided								

u. Special Approvals (If applicable to your project)

Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, ICC, etc., describe below)

v. Energy Summary (New Construction, Additions, Change of use and upfits)

BUILDING ENVELOPE:

ENERGY REQUIREMENTS:

The following data shall be considered minimum and any special attribute required to meet the North Carolina Energy Conservation Code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

Climate Zone: **(North Carolina Energy Conservation Code NCECC-301.1)** ☒ 3 ☐ 4 ☐ 5

[http://ecodes.biz/ecodes\\_support/free\\_resources/2012NorthCarolina/Energy/PDFs/Chapter%203%20-%20General%20Requirements.pdf](http://ecodes.biz/ecodes_support/free_resources/2012NorthCarolina/Energy/PDFs/Chapter%203%20-%20General%20Requirements.pdf)

Method of Compliance:

☐ Prescriptive (NCECC)

☐ Performance (NCECC or COMcheck) Report must be reproduced on drawings.

☐ Prescriptive (ASHRAE 90.1-2010 with addenda 2013 supplement)

☐ Performance (ASHRAE 90.1-2010)

THERMAL ENVELOPE: (NCECC Chapter 4 and or 5)

Roof/ceiling Assembly (each assembly)

Description of assembly: \_\_\_\_\_

U-Value of total assembly: \_\_\_\_\_

R-Value of insulation: \_\_\_\_\_

Skylights in each assembly: \_\_\_\_\_

U-Value of skylight: \_\_\_\_\_

Total percentage of skylights in each assembly: \_\_\_\_\_

Exterior Walls (each assembly)

Description of assembly: \_\_\_\_\_

U-Value of total assembly: \_\_\_\_\_

R-Value of insulation: \_\_\_\_\_

Openings (windows or doors with glazing) \_\_\_\_\_ % of above grade walls

U-Value of assembly: \_\_\_\_\_

Solar heat gain coefficient: \_\_\_\_\_

Projection factor: \_\_\_\_\_

Door U-Values: \_\_\_\_\_

Walls below grade (each assembly)

Description of assembly: \_\_\_\_\_

U-Value of total assembly: \_\_\_\_\_

R-Value of insulation: \_\_\_\_\_

Floors over unconditioned space (each assembly)

Description of assembly: \_\_\_\_\_

U-Value of total assembly: \_\_\_\_\_

R-Value of insulation: \_\_\_\_\_

Floors slab on grade

Description of assembly: \_\_\_\_\_

U-Value of total assembly: \_\_\_\_\_

R-Value of insulation: \_\_\_\_\_

Horizontal/vertical requirement: \_\_\_\_\_

slab heated: \_\_\_\_\_

MECHANICAL SUMMARY **(NCECC 503)** This information may be located on the mechanical sheets. The mechanical sheet must be in the same format as noted in this section. If it is on the mechanical sheets, please indicate here. (Located on Mechanical Sheet Number \_\_\_\_\_: Yes \_\_\_\_\_ No \_\_\_\_\_)

MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT

Thermal Zone: 3A

winter dry bulb: \_\_\_\_\_

summer dry bulb: \_\_\_\_\_

Interior design conditions

winter dry bulb: \_\_\_\_\_

summer dry bulb: \_\_\_\_\_

relative humidity: \_\_\_\_\_

Building heating load: \_\_\_\_\_

Building cooling load: \_\_\_\_\_

Mechanical Spacing Conditioning System

Unitary

description of unit: \_\_\_\_\_

heating efficiency: \_\_\_\_\_

cooling efficiency: \_\_\_\_\_

size category of unit: \_\_\_\_\_

Boiler

Size category. If oversized, state reason: \_\_\_\_\_

Chiller

Size category. If oversized, state reason: \_\_\_\_\_

List equipment efficiencies: \_\_\_\_\_

ELECTRICAL SUMMARY **(NCECC 505)** This information may be located on the electrical sheets. The electrical sheet must be in the same format as noted in this section. If it is on the electrical sheets, please indicate here. (Located on Electrical Sheet Number \_\_\_\_\_: Yes \_\_\_\_\_ No \_\_\_\_\_)

ELECTRICAL SYSTEM AND EQUIPMENT

Method of Compliance:

Energy Code: ☐ Prescriptive ☐ Performance

ASHRAE 90.1: ☐ Prescriptive ☐ Performance

Lighting schedule (each fixture type)

lamp type required in fixture \_\_\_\_\_

number of lamps in fixture \_\_\_\_\_

ballast type used in the fixture \_\_\_\_\_

number of ballasts in fixture \_\_\_\_\_

total wattage per fixture \_\_\_\_\_

total interior wattage specified vs. allowed \_\_\_\_\_

total exterior wattage specified vs. allowed \_\_\_\_\_

Additional Required Prescriptive Compliance

☐ 506.2.1 More Efficient Mechanical Equipment

☐ 506.2.2 Reduced Lighting Power Density

☐ 506.2.3 Energy Recovery Ventilation Systems

☐ 506.2.4 Higher Efficiency Service Water Heating

☐ 506.2.5 On-Site Supply of Renewable Energy

☐ 506.2.6 Automatic Daylighting Control Systems

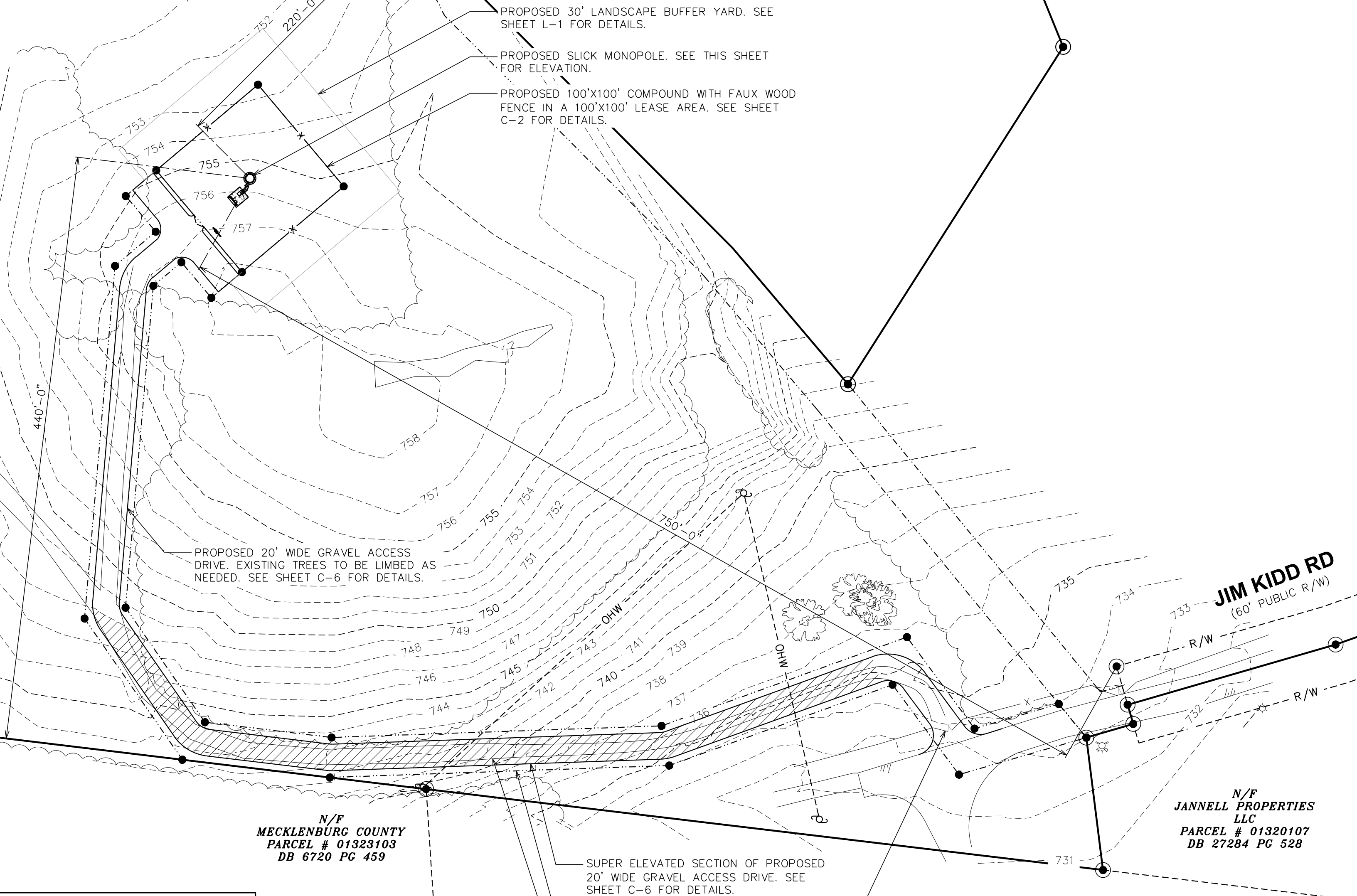


NOTES:

1. THE BASIS OF THE MERIDIANS AND COORDINATES FOR THIS PLAT IS THE NORTH CAROLINA PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM (NAD 83/2011), BASED ON DIFFERENTIAL GPS OBSERVATIONS PERFORMED ON MAY 01, 2017.
2. VERTICAL INFORMATION SHOWN, BASED ON THE NORTH AMERICAN VERTICAL DATUM OF NAVD 1988 IN FEET.
3. ALL DISTANCES ARE GROUND UNLESS OTHERWISE NOTED.
4. THE TOWER IS LOCATED IN ZONE "X" AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO FEMA COMMUNITY PANEL #3710462000K, EFFECTIVE SEPTEMBER 2, 2015.
5. ALL EXISTING TREES SHALL REMAIN. CONTRACTOR TO NOT REMOVE ANY EXISTING TREES.

N/F  
CITY OF CHARLOTTE  
PARCEL # 01305102  
DB 19285 PC 772

N/F  
DANIEL EUGENE AUSTIN  
PARCEL # 01305105  
DB 6735 PC 530



LEGEND	
	EXIST. PROPERTY LINE
	EXIST. UTILITY POLE
	EXIST. TELCO PEDESTAL
	PROPERTY CORNER
	EXIST. CONTOUR LINE
	EDGE OF PAVEMENT
	OVERHEAD WIRE
	RIGHT-OF-WAY
	CHAIN LINK FENCE
	EXISTING TREE LINE

SITE PLAN

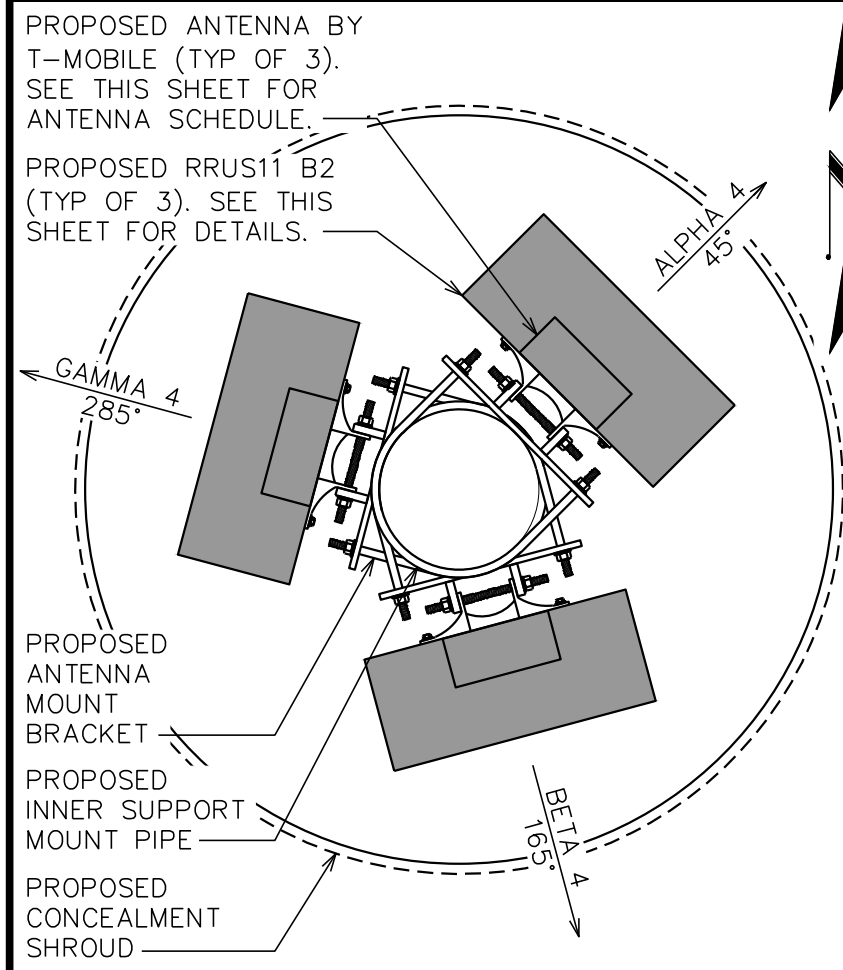
SCALE: 1" = 60'

PROPOSED ANTENNA/FEEDLINE SCHEDULE

POS. #	SECTOR	ANT. #	MANUFACTURER (MODEL #)	MOUNTING HEIGHT	AZIMUTH (TN)	RRU MODEL	FIBER SIZE	FIBER LENGTH
1	ALPHA	A1	ERICSSONAIR32 KRD901146-1_B66A_B2A	192±	45°	—	(2) HCS 6X12	230'±
2	ALPHA	A4	RFS APXV18-206516S-A20	180±	45°	(1) RRUS11 B2		
3	BETA	B1	ERICSSONAIR32 KRD901146-1_B66A_B2A	192±	165°	—		
4	BETA	B4	RFS APXV18-206516S-A20	180±	165°	(1) RRUS11 B2		
5	GAMMA	G1	ERICSSONAIR32 KRD901146-1_B66A_B2A	192±	285°	—	(1) RRUS11 B2	
6	GAMMA	G4	RFS APXV18-206516S-A20	180±	285°	(1) RRUS11 B2		

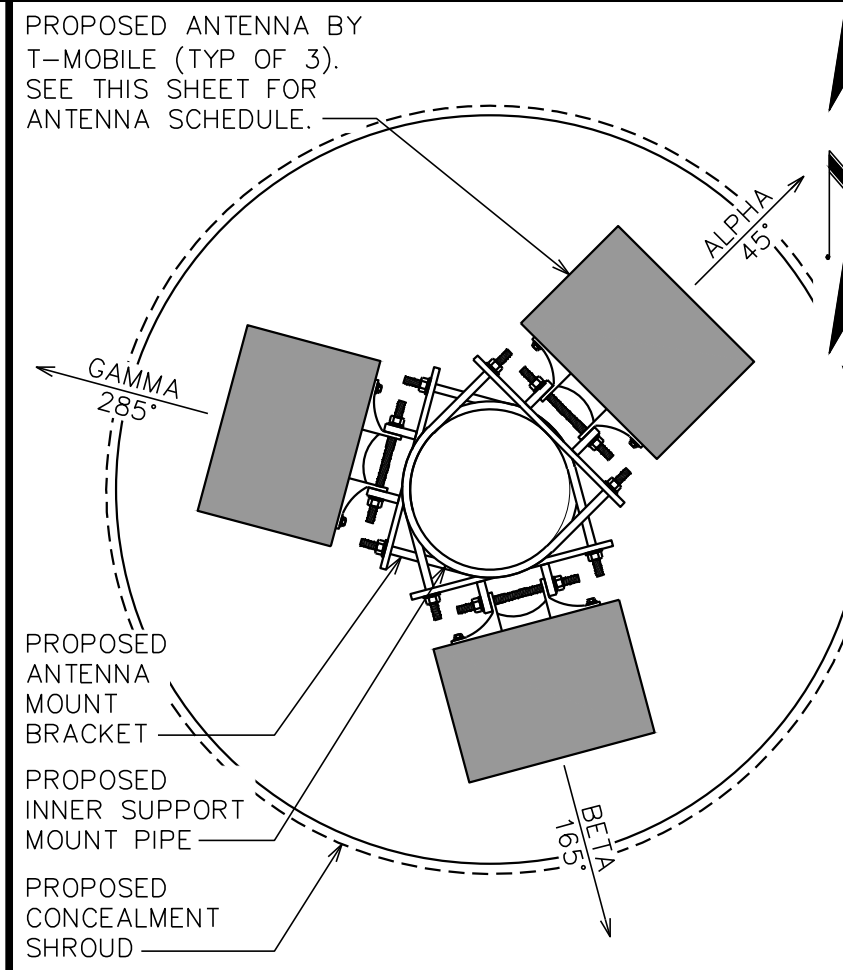
ANTENNA SCHEDULE

SCALE: N.T.S.



ANTENNA PLAN VIEW (1° @ 180°)

SCALE: 1" = 1'-0"



ANTENNA PLAN VIEW (1° @ 192°)

SCALE: 1" = 1'-0"

NOTES:

1. PROPOSED COAX TO BE RUN INSIDE TOWER USING HOISTING GRIPS (AS DIRECTED BY TOWER MANUFACTURER).
2. TOWER SHALL BE CONSTRUCTED OF GALVANIZED STEEL OR PAINTED PER APPLICABLE STANDARDS OF THE FAA OR OTHER APPLICABLE FEDERAL, STATE, OR LOCAL AGENCY.
3. TOWER ELEVATION SHOWN FOR REFERENCE ONLY. VERIFY ACTUAL TOWER DESIGN & LOADING WITH TOWER DRAWINGS FROM MANUFACTURER AND/OR PASSING STRUCTURAL ANALYSIS PRIOR TO CONSTRUCTION.
4. CONTRACTOR TO VERIFY PROPOSED LOADING WITH PASSING STRUCTURAL ANALYSIS PRIOR TO CONSTRUCTION. CONTACT CTG IN THE EVENT OF ANY DISCREPANCIES.
5. AS PER FCC REGULATIONS, TOWER IS NOT REQUIRED TO BE LIT.

0'-0" (REF.)  
T/ CONCRETE

TOWER ELEVATION

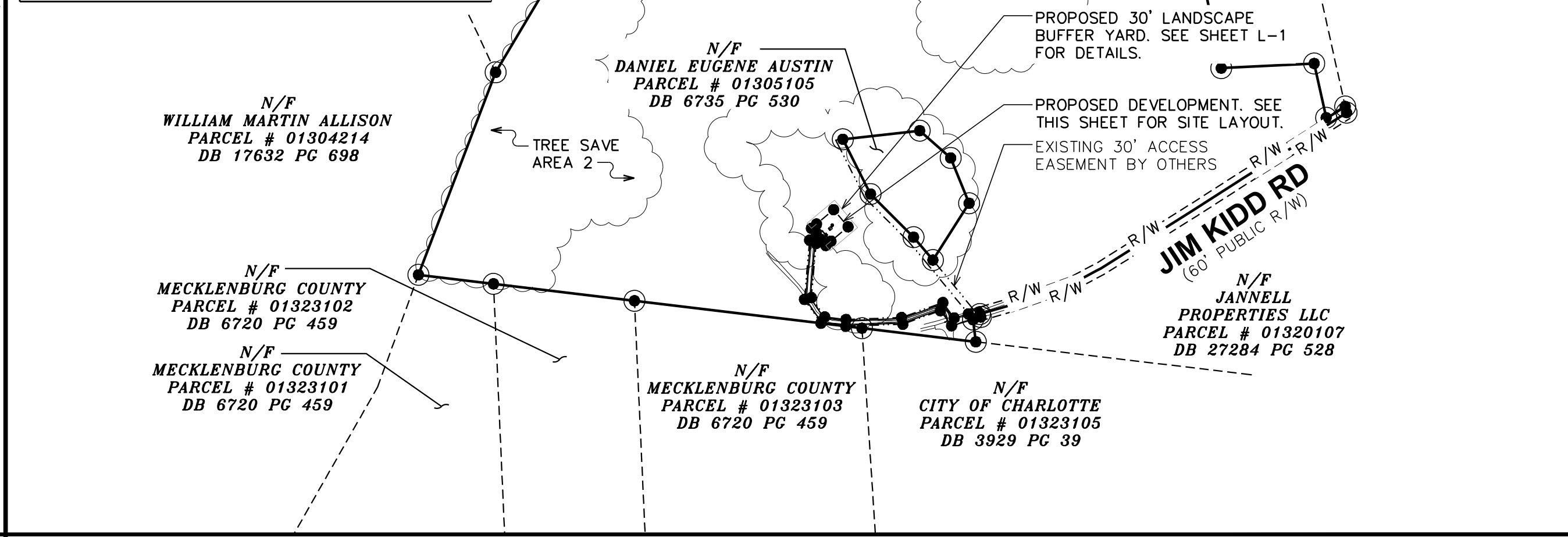
SCALE: 1" = 20'

NOTES:

1. THE BASIS OF THE MERIDIANS AND COORDINATES FOR THIS PLAT IS THE NORTH CAROLINA PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM (NAD 83/2011), BASED ON DIFFERENTIAL GPS OBSERVATIONS PERFORMED ON MAY 01, 2017.
2. VERTICAL INFORMATION SHOWN, BASED ON THE NORTH AMERICAN VERTICAL DATUM OF NAVD 1988 IN FEET.
3. ALL DISTANCES ARE GROUND UNLESS OTHERWISE NOTED.
4. THE TOWER IS LOCATED IN ZONE "X" AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO FEMA COMMUNITY PANEL #3710462000K, EFFECTIVE SEPTEMBER 2, 2015.
5. ALL EXISTING TREES SHALL REMAIN. CONTRACTOR TO NOT REMOVE ANY EXISTING TREES.

TREE SAVE DATA

TOTAL SITE AREA	8468064 SF± / 194.4 ACRES±
TREE SAVE AREA 1	2660760 SF± / 61.1 ACRES±
TREE SAVE AREA 2	1163413 SF± / 26.7 ACRES±
TOTAL TREE SAVE	3824173 SF± / 87.8 ACRES±
% TREE SAVE OF TOTAL SITE AREA	45.16%±
% TREE SAVE REQ'D	10%



SITE PLAN

SCALE: 1" = 500'

PLANS PREPARED FOR:  
**CTG**  
15720 BRYHAM HILL AVENUE, SUITE 300  
CHARLOTTE, NC 28277  
PHONE: (919) 345-4789

PLANS PREPARED FOR:  
**T-Mobile**  
185 FAIRCHILD STREET  
CHARLESTON, SC 29492

SEAL:

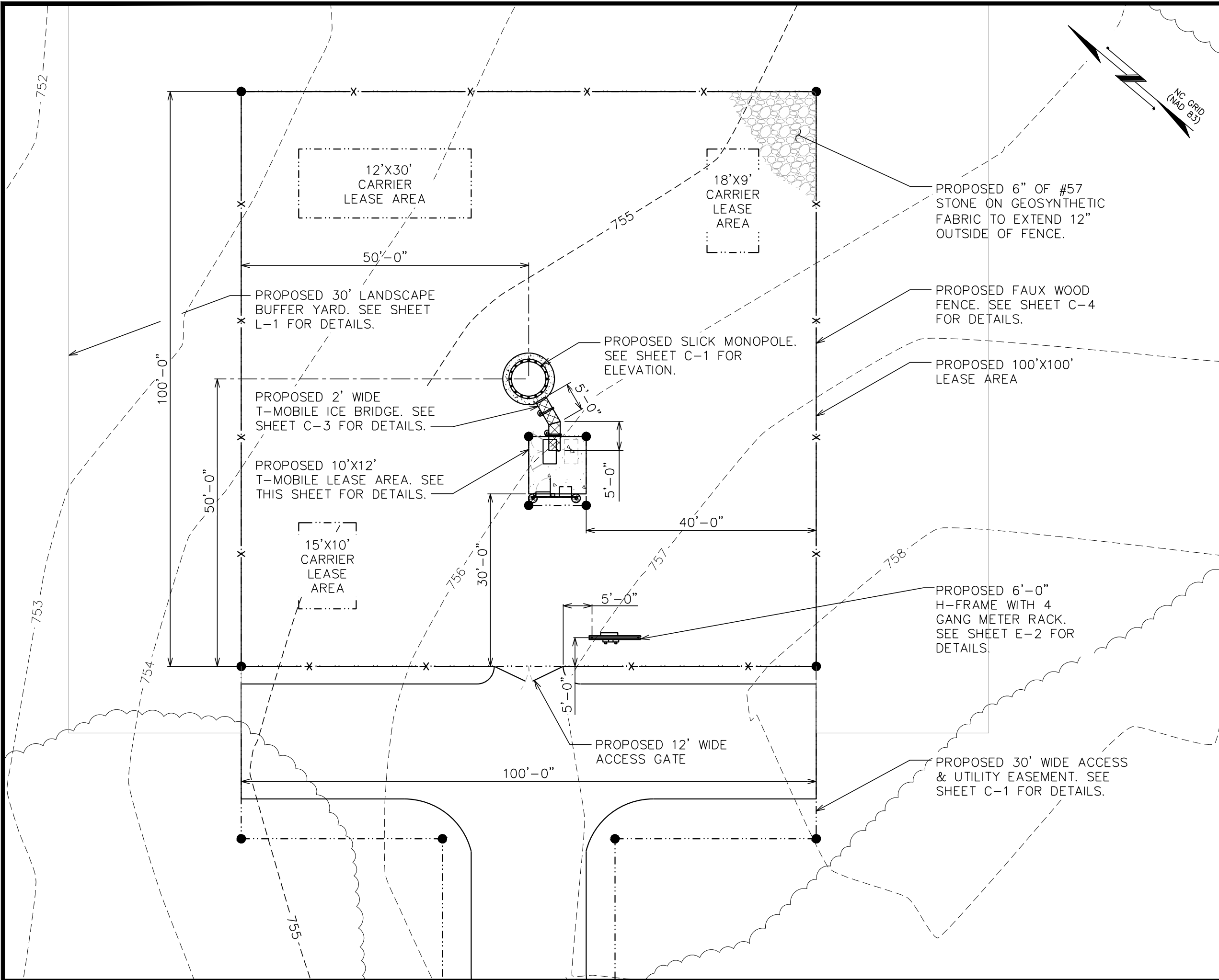
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4	10-10-17	CONSTRUCTION	SCB
3	09-14-17	CONSTRUCTION	
2	08-07-17	CONSTRUCTION	
1	06-21-17	CONSTRUCTION	
0	06-15-17	PRELIMINARY	
REV	DATE	ISSUED FOR:	CHECKED BY:

PROJECT INFORMATION:  
**BEATTIES FORD RD  
(MCDOWELL CREEK  
WATER TREATMENT)**  
NC-0010002  
TMO ID: 5CT095320  
5824 JIM KIDD RD  
HUNTERSVILLE, NC 28078  
(MECKLENBURG COUNTY)

PLANS PREPARED BY:  
**TOWER ENGINEERING PROFESSIONALS**  
326 TRYON ROAD  
RALEIGH, NC 27603-3530  
OFFICE: (919) 661-6351  
FAX: (919) 661-6350  
N.C. LICENSE # C-1794

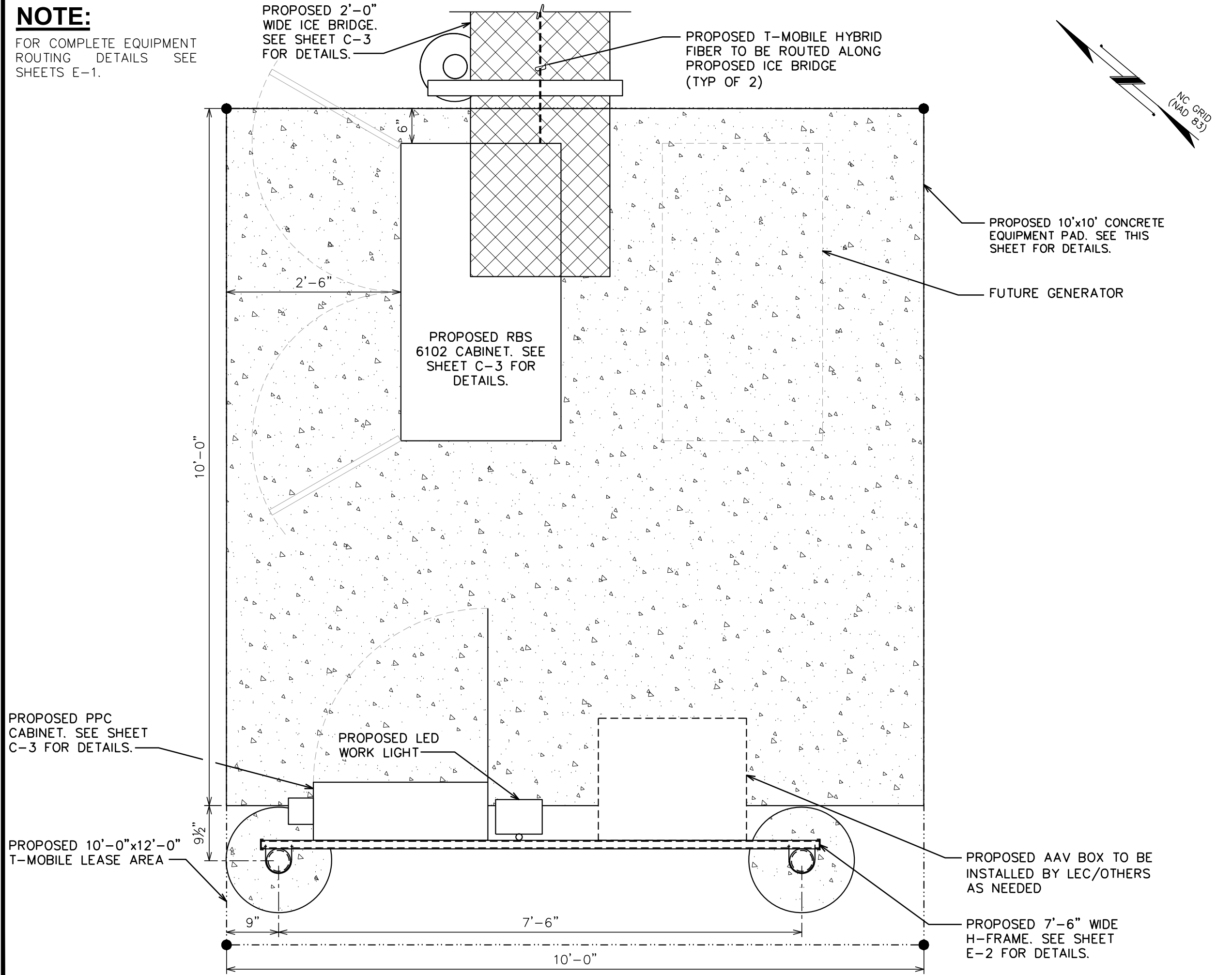
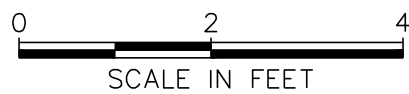
SHEET TITLE:  
**SITE PLAN &  
TOWER ELEVATION**  
SHEET NUMBER:  
**C-1**  
REVISION:  
**4**  
TEP #: 75646





COMPOUND LAYOUT

SCALE: 1/2" = 1'-0"



EQUIPMENT PAD LAYOUT

SCALE: 3/4" = 1'-0"

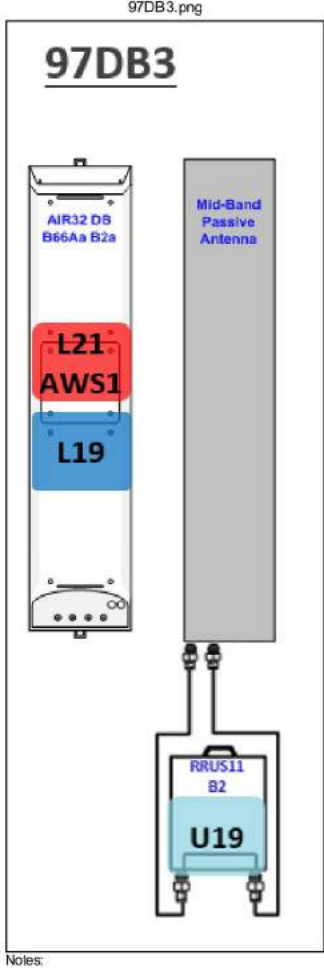


Sector 1 (Proposed) view from behind									
Coverage Type	(A - Outdoor Macro)								
Antenna	1				2				
Antenna Model	Ericsson - AR32 KRD901146-1_B66A_B2A (Oda)				RFS - APXV18-206516S-A20 (Dual)				
Azimuth	45				45				
M. Tilt									
Height	190				190				
Ports	P1	P2	P3	P4	P5				
Active Tech.	L2100	L2100	L1900	L1900	U1900				
Dark Tech.									
Restricted Tech.									
Decomm. Tech.									
E. Tilt									
Cables	Fiber Jumper - 15 ft.	Fiber Jumper - 15 ft.	Fiber Jumper - 15 ft.	Fiber Jumper - 15 ft.	Coax Jumper - 15 ft.		Coax Jumper - 15 ft.		
TMMs									
Diplexers / Combiners									
Radio					RRUS11 B2				
Sector Equipment									
Unconnected Equipment:									
Scope of Work:									
Add one KRD901146/1AR32 B66AaB2a and RFS - APXV18-206516S-A20. Add one RRUS11 B2 per sector. Add fiber jumpers and coax jumpers per sector.									

Sector 3 (Proposed) view from behind

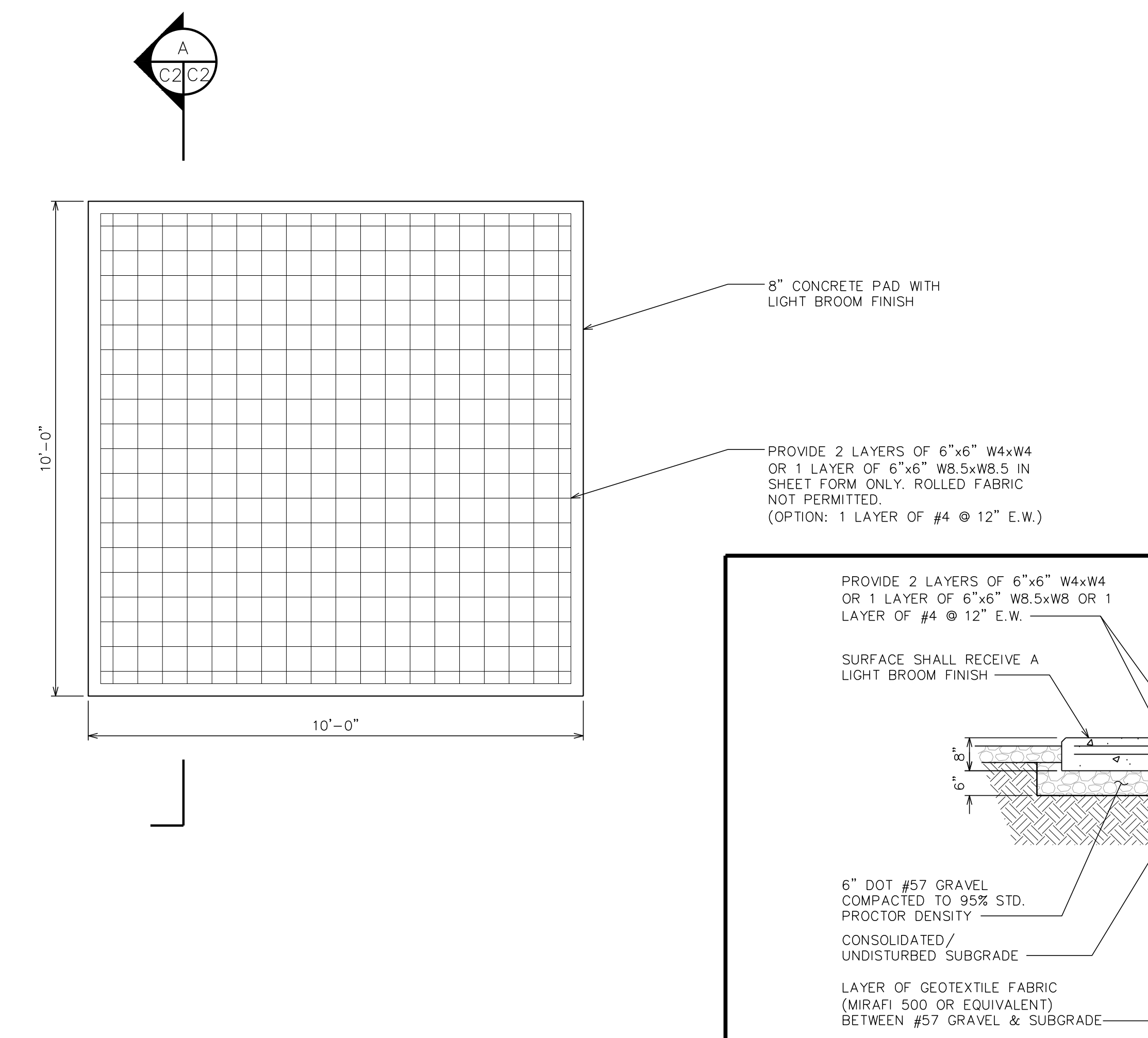
Coverage Type	A - Outdoor Macro									
Antenna	1					2				
Antenna Model	Ericsson - AR32 KRD901146-1_B66A_B2A (Oda)					RFS - APXV18-206516S-A20 (Dual)				
Azimuth	285					285				
M. Tilt										
Height	190					190				
Ports	P1	P2	P3	P4	P5					
Active Tech.	L2100	L2100	L1900	L1900	U1900					
Dark Tech.										
Restricted Tech.										
Decomm. Tech.										
E. Tilt										
Cables	Fiber Jumper - 15 ft.	Fiber Jumper - 15 ft.	Fiber Jumper - 15 ft.	Fiber Jumper - 15 ft.	Coax Jumper - 15 ft.		Coax Jumper - 15 ft.			
TMMs										
Diplexers / Combiners										
Radio						RRUS11 B2				
Sector Equipment										
Unconnected Equipment:										
Scope of Work:										
Add one KRD901146/1AR32 B66AaB2a and RFS - APXV18-206516S-A20. Add one RRUS11 B2 per sector. Add fiber jumpers and coax jumpers per sector.										

Sector 2 (Proposed) view from behind										
Coverage Type	A - Outdoor Macro									
Antenna	1					2				
Antenna Model	Ericsson - AR32 KRD001146-1_B66A_B2A (Oda)					RFS - APXV18-206516S-A20 (Dual)				
Azimuth	165					165				
M. Tilt										
Height	190					190				
Ports	P1	P2	P3	P4	P5					
Active Tech.	L2100	L2100	L1900	L1900	U1900					
Dark Tech.										
Restricted Tech.										
Decom. Tech.										
E. Tilt										
Cables	Fiber Jumper - 15 ft.	Fiber Jumper - 15 ft.	Fiber Jumper - 15 ft.	Fiber Jumper - 15 ft.	Coax Jumper - 15 ft.	Coax Jumper - 15 ft.				
TMMs										
Diplexers / Combiners										
Radio					RRUS11 B2					
Sector Equipment										
Unconnected Equipment:										
Scope of Work:										
Add one KRD001146/1AR32 B66AaB2a and RFS - APXV18-206516S-A20 .Add one RRUS11 B2 per sector Add fiber jumpers and coax jumpers per sector.										



RF CABLE DETAILS

SCALE: N.T.S.

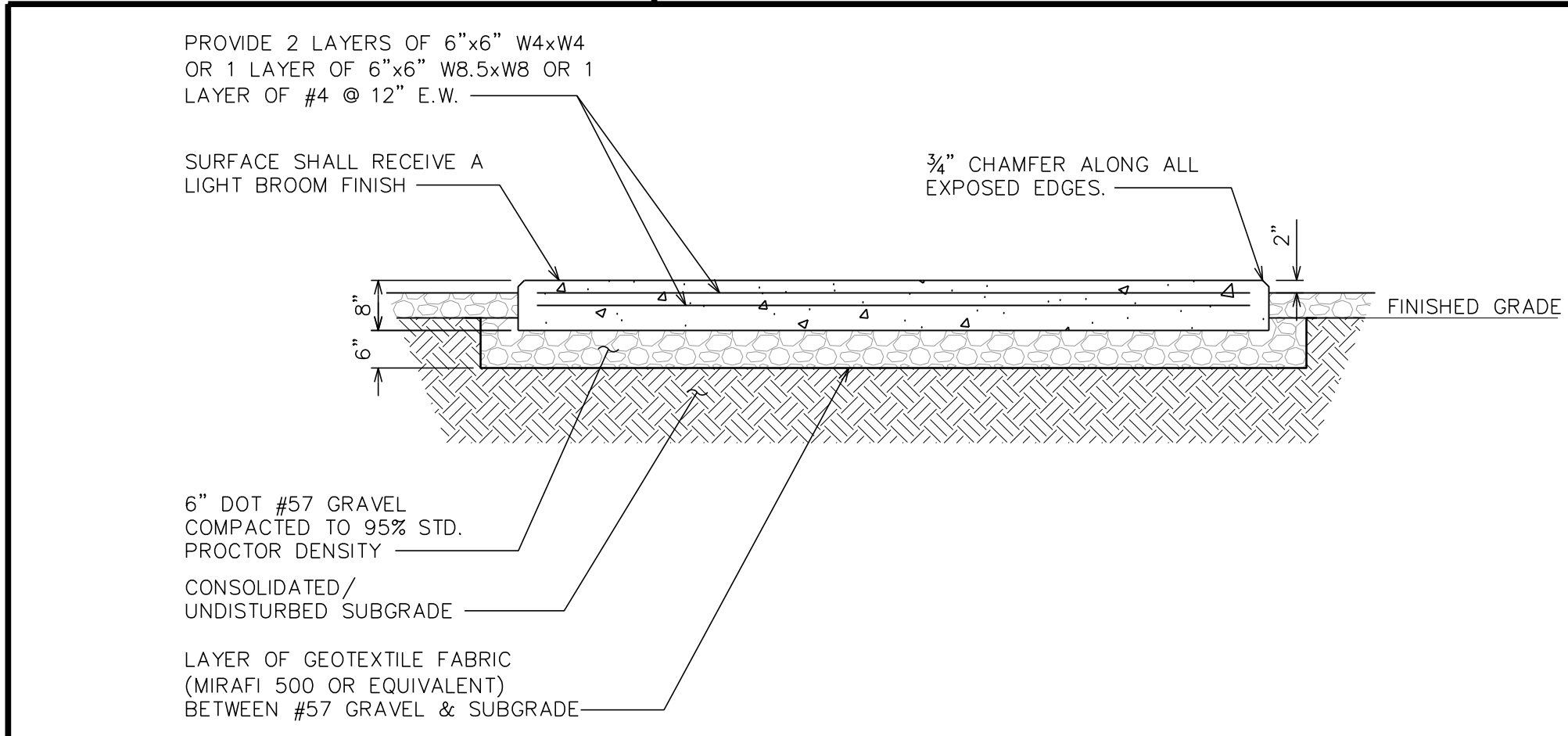


FOUNDATION PLAN

SCALE: 1/2" = 1'-0"

FOUNDATION NOTES:

- FOUNDATION DESIGN BASED ON 2,000 PSF SOIL BEARING CAPACITY.
- CONCRETE SHALL BE 3,000 PSI.
- REINFORCING STEEL Fy = 60,000 PSI.
- ALL BACKFILL SHALL BE THOROUGHLY COMPACTED TO A MINIMUM OF 95% DENSITY USING THE MODIFIED PROCTOR METHOD.
- SURFACE OF FINISHED SLAB SHALL BE LEVEL AND FLAT WITHIN 1/4".
- CONTRACTOR SHALL VERIFY WITH MANUFACTURER ACTUAL DIMENSIONS OF EQUIPMENT PRIOR TO LAYING OUT FOUNDATION.
- ALL CONCRETE WORK SHALL BE PERFORMED IN ACCORDANCE WITH ACI 318-11.



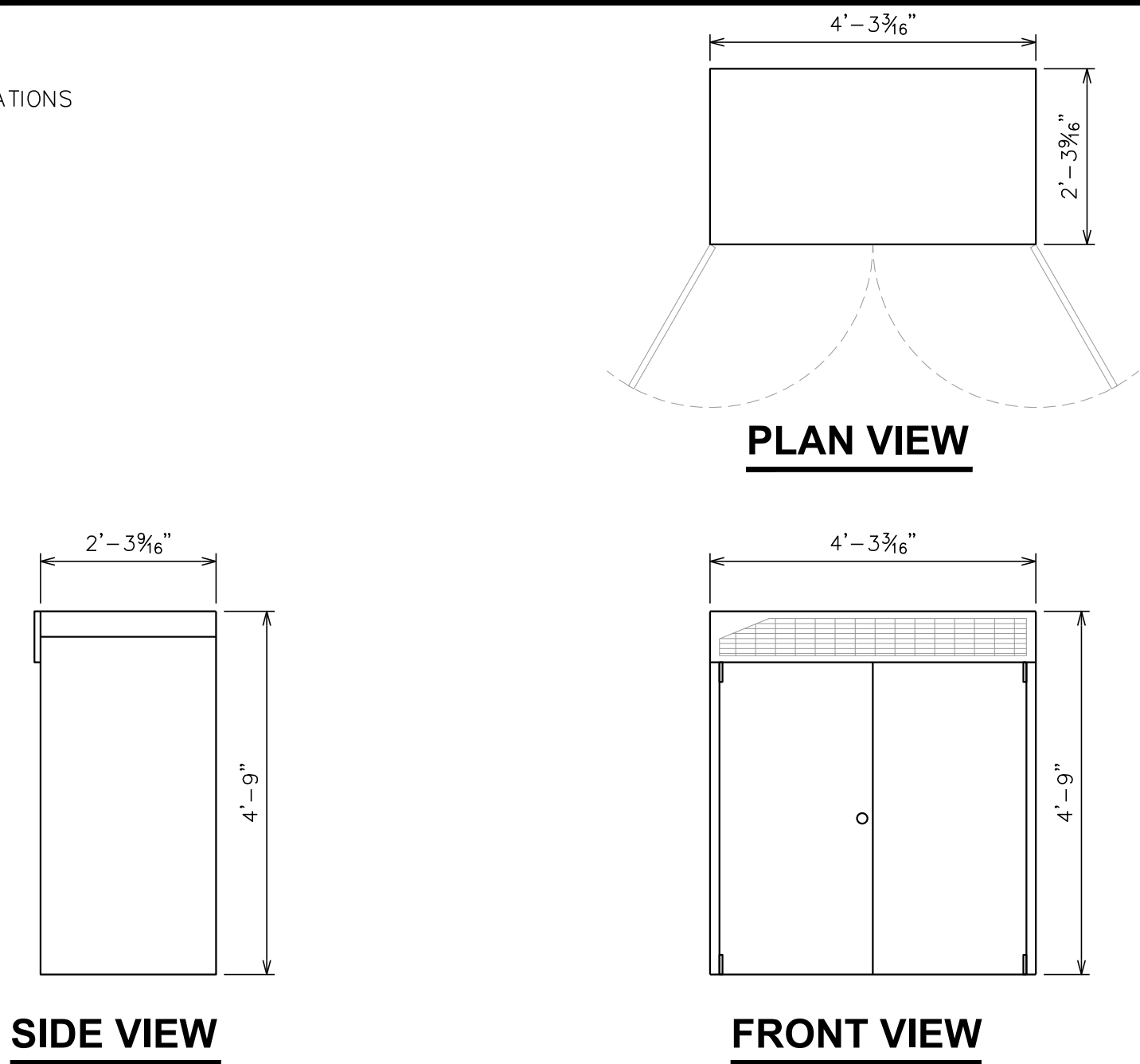
SECTION

SCALE: 1/2" = 1'-0"

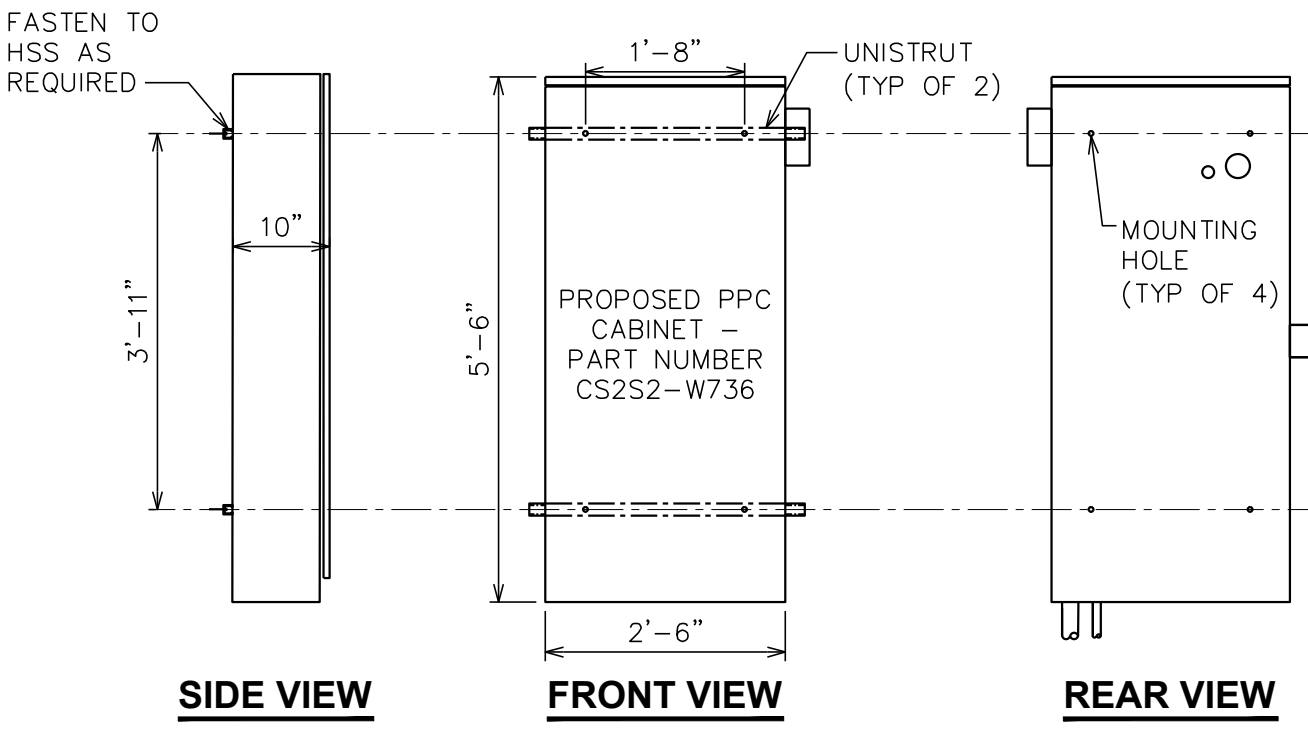
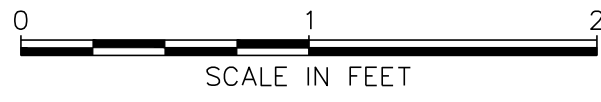




**NOTE:**  
INSTALL PER MANUFACTURER'S SPECIFICATIONS



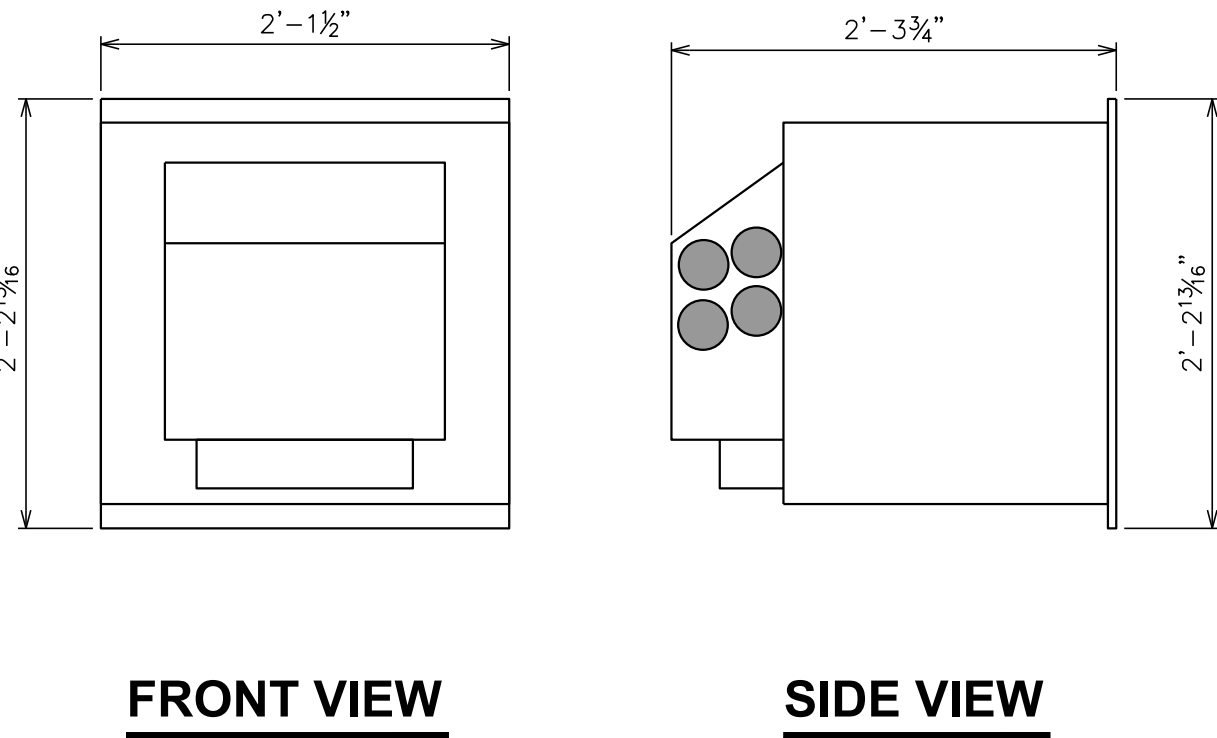
**RBS 6102 DETAILS**  
SCALE: 1/2" = 1'-0"



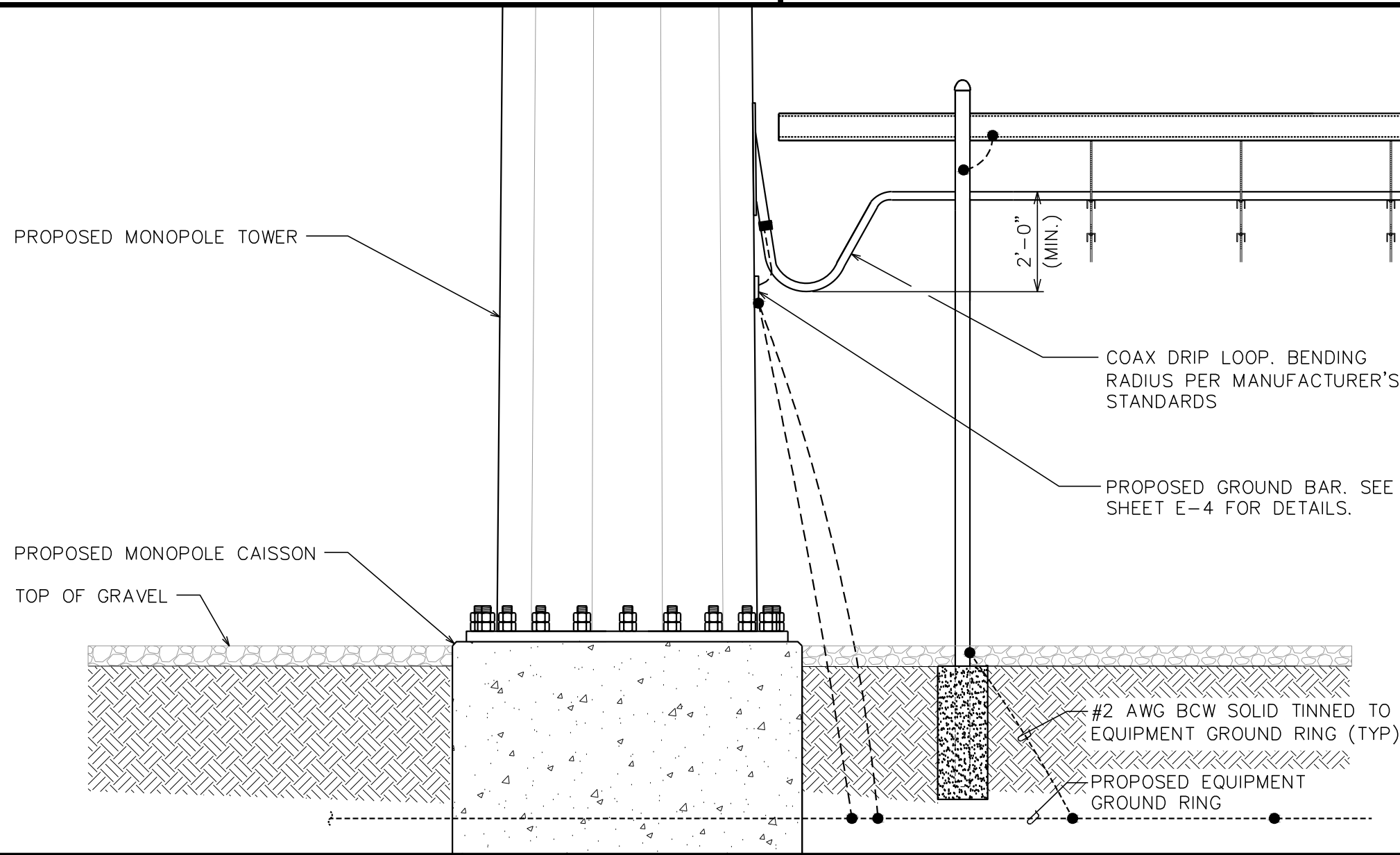
**PPC CABINET DETAILS**  
SCALE: 1/2" = 1'-0"



- NOTES:**
1. MOUNT PER MANUFACTURER'S SPECIFICATIONS.
  2. WESTELL BOXER CABINET TO BE INSTALLED ON H-FRAME BY OTHERS AS NEEDED.

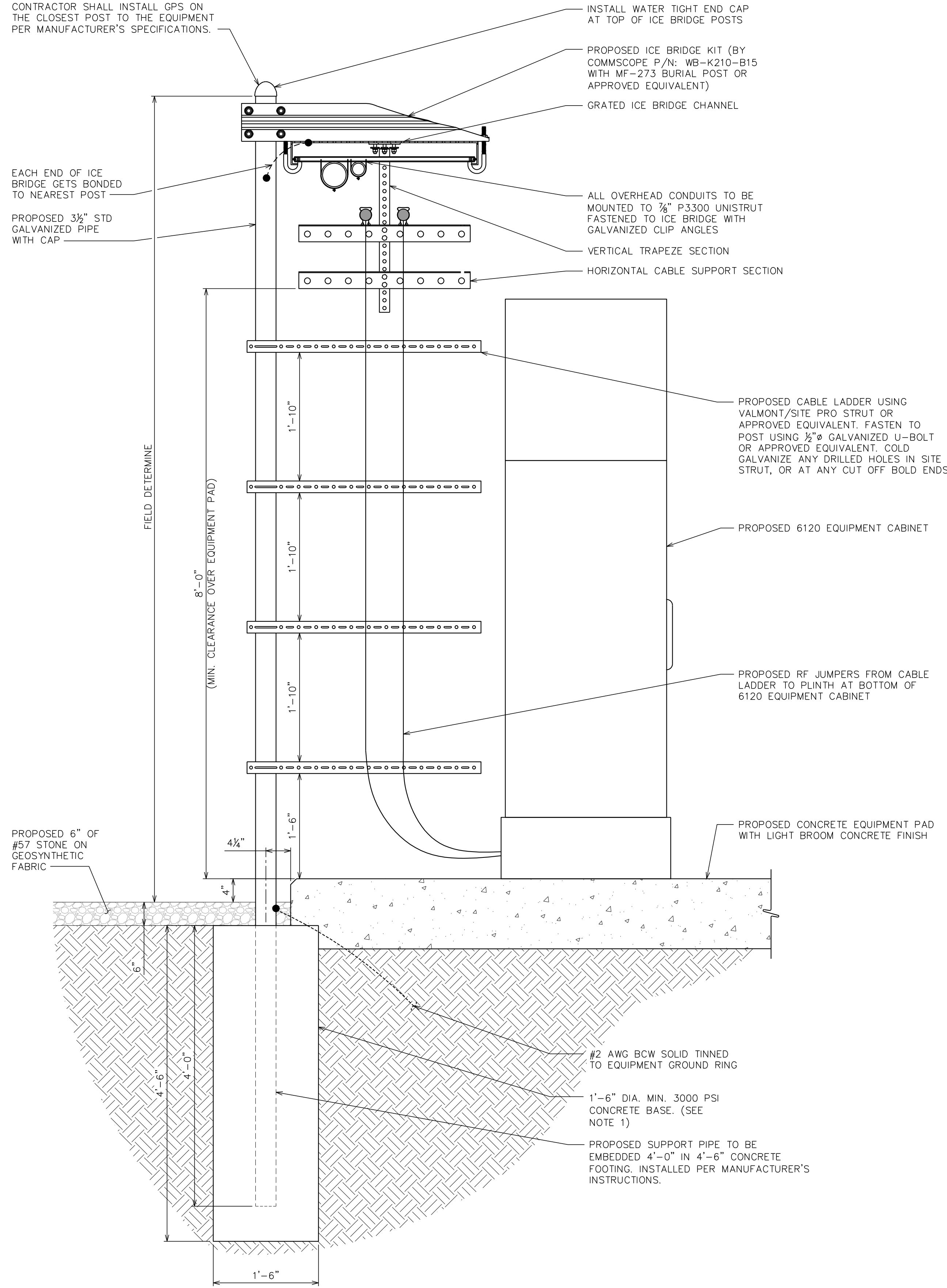


**WESTELL BOXER DETAILS**  
SCALE: 1" = 1'-0"



**DRIP LOOP DETAIL**  
SCALE: N.T.S.

- NOTE:**
1. TOP OF ICE BRIDGE POST FOUNDATION SHALL BE SET 6" BELOW TOP OF GRAVEL.
  2. HEIGHT TO TOP OF ICE BRIDGE WILL BE FIELD VERIFIED, BUT WILL BE MAXIMUM 10'-2" ABOVE TOP OF GRAVEL.
  3. ALL MATERIALS FURNISHED BY CONTRACTOR UNLESS OTHERWISE NOTED.



**ICE BRIDGE DETAIL**  
SCALE: 1" = 1'-0"



PLANS PREPARED FOR:

**CTIG**

15720 BRYHAM HILL AVENUE, SUITE 300  
CHARLOTTE, NC 28277  
PHONE: (919) 345-4789

PLANS PREPARED FOR:

**T-Mobile**

185 FAIRCHILD STREET  
CHARLESTON, SC 29492

SEAL:

Professional Engineer  
State of North Carolina  
SEA 0422  
JOSHUA A. STANLEY  
August 7, 2017

REV	DATE	ISSUED FOR:	CHECKED BY:
2	08-07-17	CONSTRUCTION	SCB
1	06-21-17	CONSTRUCTION	
0	06-15-17	PRELIMINARY	

PROJECT INFORMATION:

**BEATTIES FORD RD  
(MCDOWELL CREEK  
WATER TREATMENT)**

**NC-0070002**

**TMO ID: 5CT09320**

5824 JIM KIDD RD  
HUNTERSVILLE, NC 28078  
(MECKLENBURG COUNTY)

PLANS PREPARED BY:

**TOWER ENGINEERING PROFESSIONALS**

326 TRYON ROAD  
RALEIGH, NC 27603-3530  
OFFICE: (919) 661-6351  
FAX: (919) 661-6360

N.C. LICENSE # C-1794

SHEET TITLE:

**CIVIL DETAILS II**

SHEET NUMBER:

**C-3**

REVISION:

**2**

TEP #: 75646

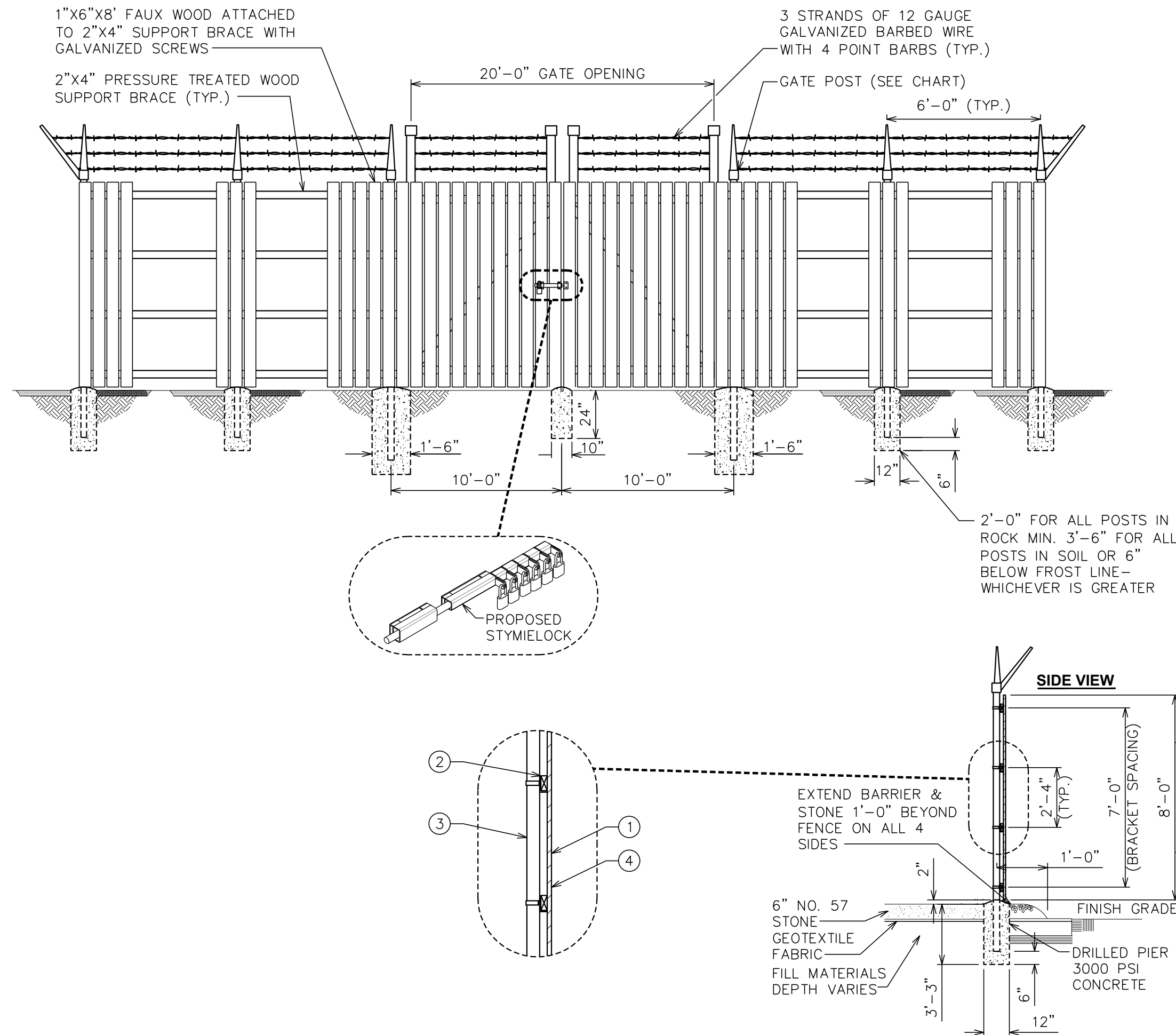


FENCE TO BE MAINTAINED BY CTG. ONLY  
FAUX WOOD AND HOT DIPPED GALVANIZED  
STEEL SCREWS ARE TO BE USED.

- ① 1x6 FAUX WOOD. ATTACH TO 2x4'S WITH HOT DIPPED GALVANIZED STEEL SCREWS.
- ② 2x4 FAUX WOOD. ATTACH TO GALVANIZED FENCE POST WITH SUPPORT BRACKET AND  $\frac{3}{8}$ "  $\phi$  X 1" LAG BOLT (TYP.)
- ③ GALVANIZED FENCE POST
- ④ WOOD FENCE TO BE APPROPRIATELY STAINED OR PAINTED.

8' HIGH FENCE	FOOTINGS
LINE POST – 2" O.D.	9" X 36"
CORNER POST – 3" O.D.	12" X 48"
DRIVEWAY GATE POST – 4" O. D.	12" X 48"
WALKWAY GATE POST – 3" O.D.	12 X 48"

WOODEN FENCE ATTACHMENT BRACKET	
LINE POST - 2" O.D.	2"Ø ATTACH. BRACKET
CORNER POST - 3" O.D.	3"Ø ATTACH. BRACKET
DRIVEWAY GATE POST - 4" O. D.	4"Ø ATTACH. BRACKET



SCALE: N.T.S.

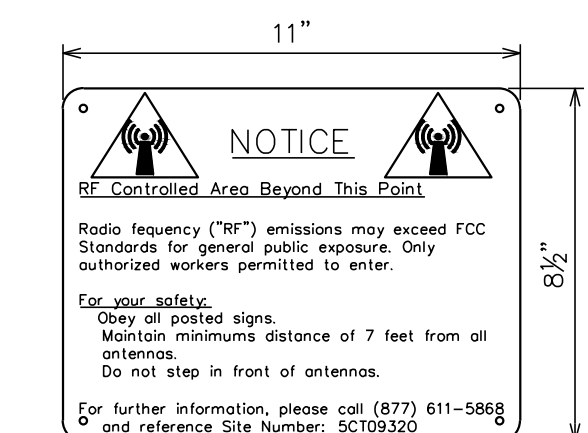
1. SIGNS SHALL BE FABRICATED FROM CORROSION RESISTANT PRESSED METAL, AND PAINTED WITH LONG LASTING UV RESISTANT COATINGS.
2. SIGNS (EXCEPT WHERE NOTED OTHERWISE) SHALL BE MOUNTED TO THE TOWER, GATE AND FENCE USING A MINIMUM OF 9 GAUGE ALUMINUM WIRE, HOG RINGS (AS UTILIZED IN FENCE INSTALLATIONS) OR BRACKETS WHERE NECESSARY. BRACKETS SHALL BE OF SIMILAR METAL AS THE STRUCTURE TO AVOID GALVANIC CORROSION.
3. ADDITIONAL E911 ADDRESS SIGNS ARE REQUIRED AT EACH ACCESS ROAD GATE LEADING TO THE COMPOUND AS WELL AS ON THE COMPOUND GATE ITSELF.
4. ADDITIONAL FCC REGISTRATION # SIGNS ARE REQUIRED AT EACH ACCESS ROAD GATE LEADING TO THE COMPOUND AS WELL AS ON THE COMPOUND GATE ITSELF. SIGN SHALL MEASURE (20" LONG x 4" TALL). THE LETTERS SHALL BE 1" AND THE NUMBERS SHALL BE 2".
5. RECOMMENDED SOURCES FOR OBTAINING SIGNAGE:

ST. CLAIR SIGNS  
3184 WADE HAMPTON BOULEVARD  
TAYLORS, SC 29687  
(864) 244-0040

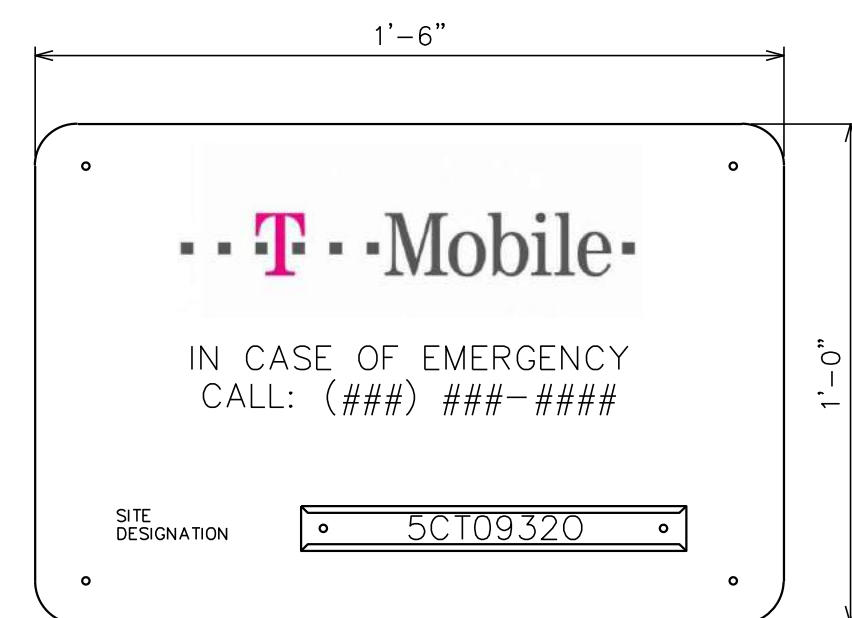
RF EXPOSURE SIGNS  
RICHARD TELL ASSOCIATES  
3433 RINGSTAR ROAD, SUITE 3  
NORTH LAS VEGAS, NV 89030  
(702) 645-3338

EXCEL SIGN & DECAL  
1509 NORTH MILPITAS BLVD.  
MILPITAS, CA 95035  
(408) 942-8881

<b>ATTENTION</b>
THE SITE SHALL ONLY CONTAIN SIGNAGE AS MANDATED BY THE FCC.



RF NOTICE SIGN  
(WHITE METAL SIGN W/BLACK LETTERING)



EMERGENCY SIGN  
(RED METAL W/ WHITE LETTERING)

N.T.S.

וּרְצוֹתָ וְיִתְּנוּ אֶתְּךָ אֶל־אֶתְּךָ וְאֶתְּךָ אֶל־אֶתְּךָ.



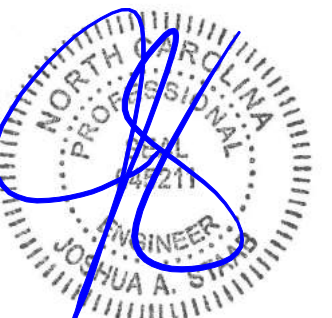
15720 BRIXHAM HILL AVENUE, SUITE 300  
CHARLOTTE, NC 28277  
PHONE: (919) 345-4789

וְרֵצָא וְהָיָה צִדְקָתוֹ לְפָנָיו.



185 FAIRCHILD STREET  
CHARLESTON, SC 29492

SEAL:



October 10, 2017

[illegible]

## DISCUSSION

**BEATTIES FORD RD  
(MCDOWELL CREEK  
WATER TREATMENT)  
NC-0010002  
TMO ID: 5CT09320  
5824 JIM KIDD RD  
HUNTERSVILLE, NC 28078  
(MECKLENBURG COUNTY)**

1. **CAUSE AND EFFECT**

**TOWER ENGINEERING PROFESSIONALS**  
326 TRYON ROAD  
RALEIGH, NC 27603-3530  
OFFICE: (919) 661-6351  
FAX: (919) 661-6350  
N.C. LICENSE # C-1794

N.C. LICENSE # C-1794

אורכו ודרכו:

## CIVIL DETAILS III

SHEET NUMBER: REVISION:

C-4	4	TFP #: 75848
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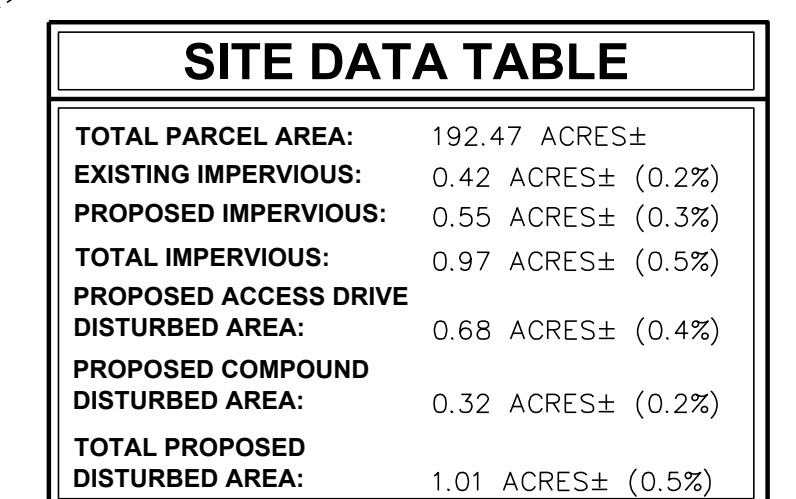
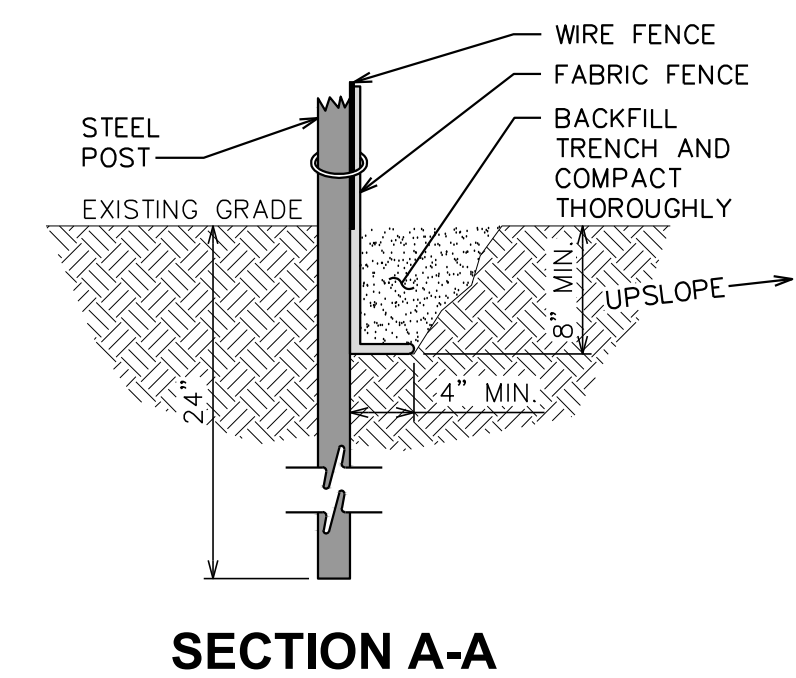




SCALE: N.T.S.


1. FILTER FABRIC SHALL CONFORM TO THE REQUIREMENTS LISTED IN ASTM D 6611.
2. ENDS OF INDIVIDUAL FILTER FABRIC SHALL BE SECURELY FASTENED AT A SUPPORT POST WITH 4 FEET MINIMUM OVERLAP TO THE NEXT POST
3. PLACE 12 INCHES OF FABRIC ALONG THE BOTTOM AND SIDE OF THE TRENCH.
4. INSPECT SEDIMENT FENCE(S) AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL.

5. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE.
6. AFTER CONSTRUCTION IS COMPLETE, THE CONTRACTOR SHALL REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS, BRING THE AREA TO GRADE AND PROPERLY STABILIZE THE SITE.

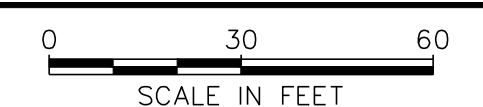


SILT FENCE TO CONTINUE  
ALONG ACCESS ROAD AS  
NEEDED

CONTRACTOR SHALL ENSURE  
POSITIVE DRAINAGE ACROSS  
COMPOUND.

LEGEND	
SILT FENCE	
LIMITS OF DISTURBANCE	--LODA--

SCALE: 1" = 30'



...T...Mobile-

PLANS PREPARED FOR:

August 7, 2017

[illegible]

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(MCDOWELL CREEK  
WATER TREATMENT)  
NC-0010002  
TMO ID: 5CT09320

5824 JIM KIDD RD  
HUNTERSVILLE, NC 28078  
(MECKLENBURG COUNTY)

**POWER ENGINEERING PROFESSIONALS**  
326 TRYON ROAD  
RALEIGH, NC 27603-3530  
OFFICE: (919) 661-6351  
FAX: (919) 661-6350

FAX: (919) 661-6350

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GRADING PLAN &  
SILT FENCE DETAILS

SHEET NUMBER:

C-5

REVISION:

2

TEP #:

758

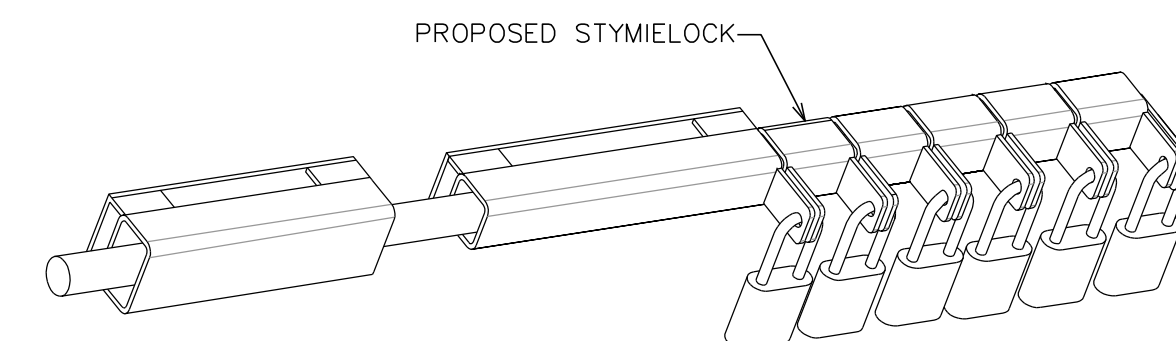


FIRE APPARATUS ACCESS ROAD SHALL BE CAPABLE OF SUPPORTING THE IMPOSED WEIGHT (80,000 POUNDS) OF THE FIRE APPARATUS.



SCALE: N.T.S.

FIRE APPARATUS ACCESS ROAD SHALL BE CAPABLE OF SUPPORTING THE IMPOSED WEIGHT (80,000 POUNDS) OF THE FIRE APPARATUS.



### STANDARD ROAD SECTION (GOOD SUBGRADE)

SCALE: N.T.S.

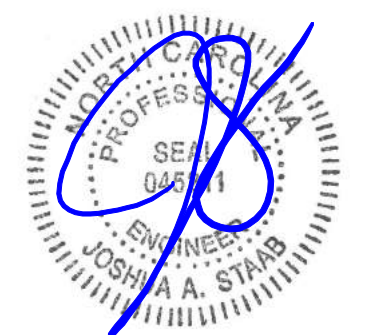
### PROPOSED STYMIELOCK DETAIL

SCALE: N.T.S.

FLANS PREPARED FOR.

FLAINS PREPARED FOR.

SEAL:



August 7, 2017

						DRAWN BY:	TD5	CHECKED BY:	9CB
						REV	DATE	ISSUED FOR:	
						O	06-15-17	PRELIMINARY	
						I	06-21-17	CONSTRUCTION	
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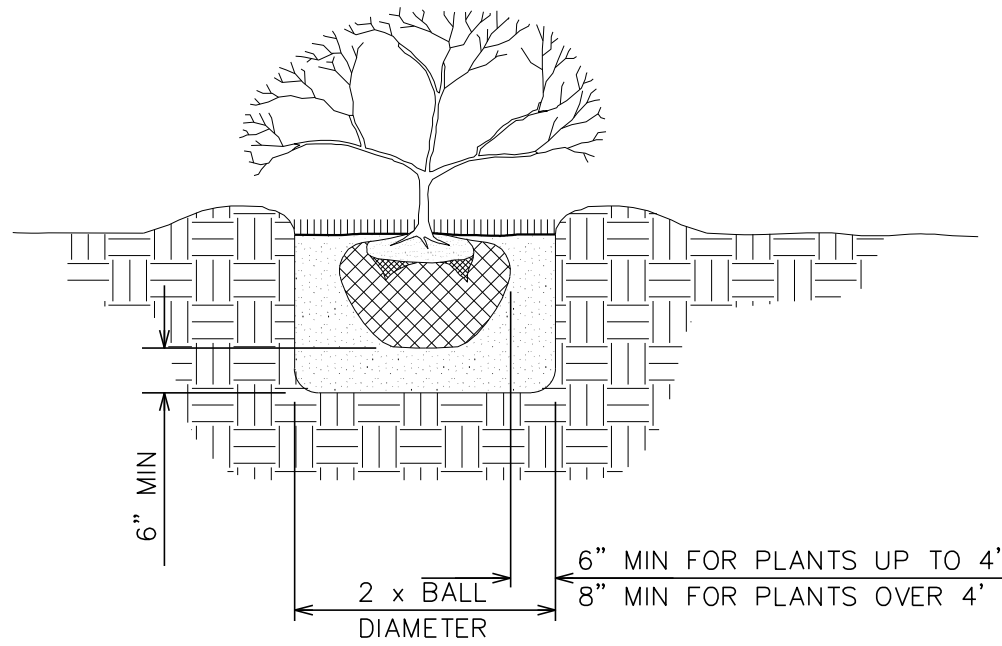
**BEATTIES FORD RD  
(MCDOWELL CREEK  
WATER TREATMENT)  
NC-0010002  
TMO ID: 5CT09320  
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HUNTERSVILLE, NC 28078  
(MECKLENBURG COUNTY)**

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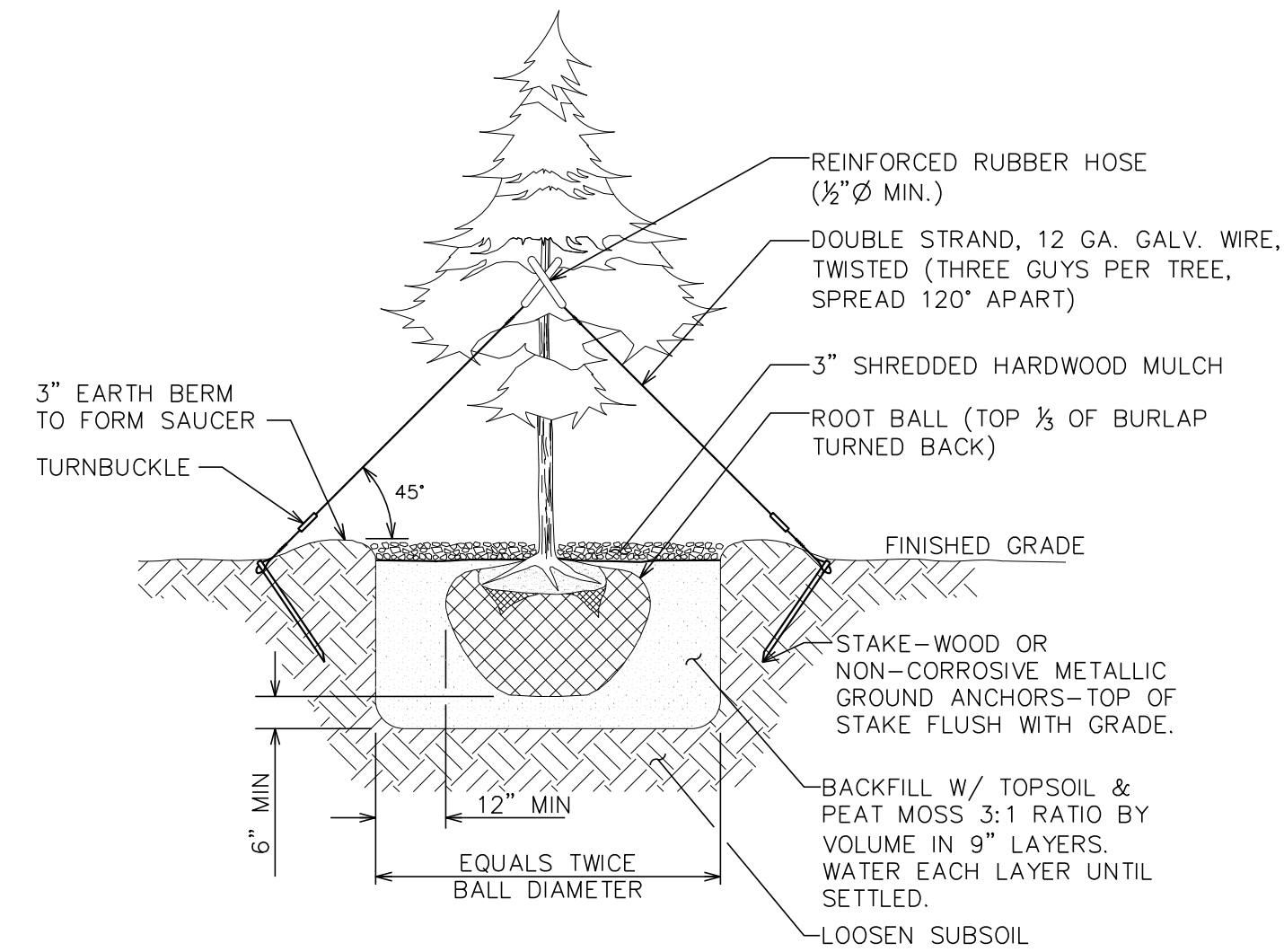
**ACCESS DRIVE &  
CATTLE GATE  
DETAILS**





## LANDSCAPING DETAILS I

SCALE: N.T.S.



## LANDSCAPING DETAILS II

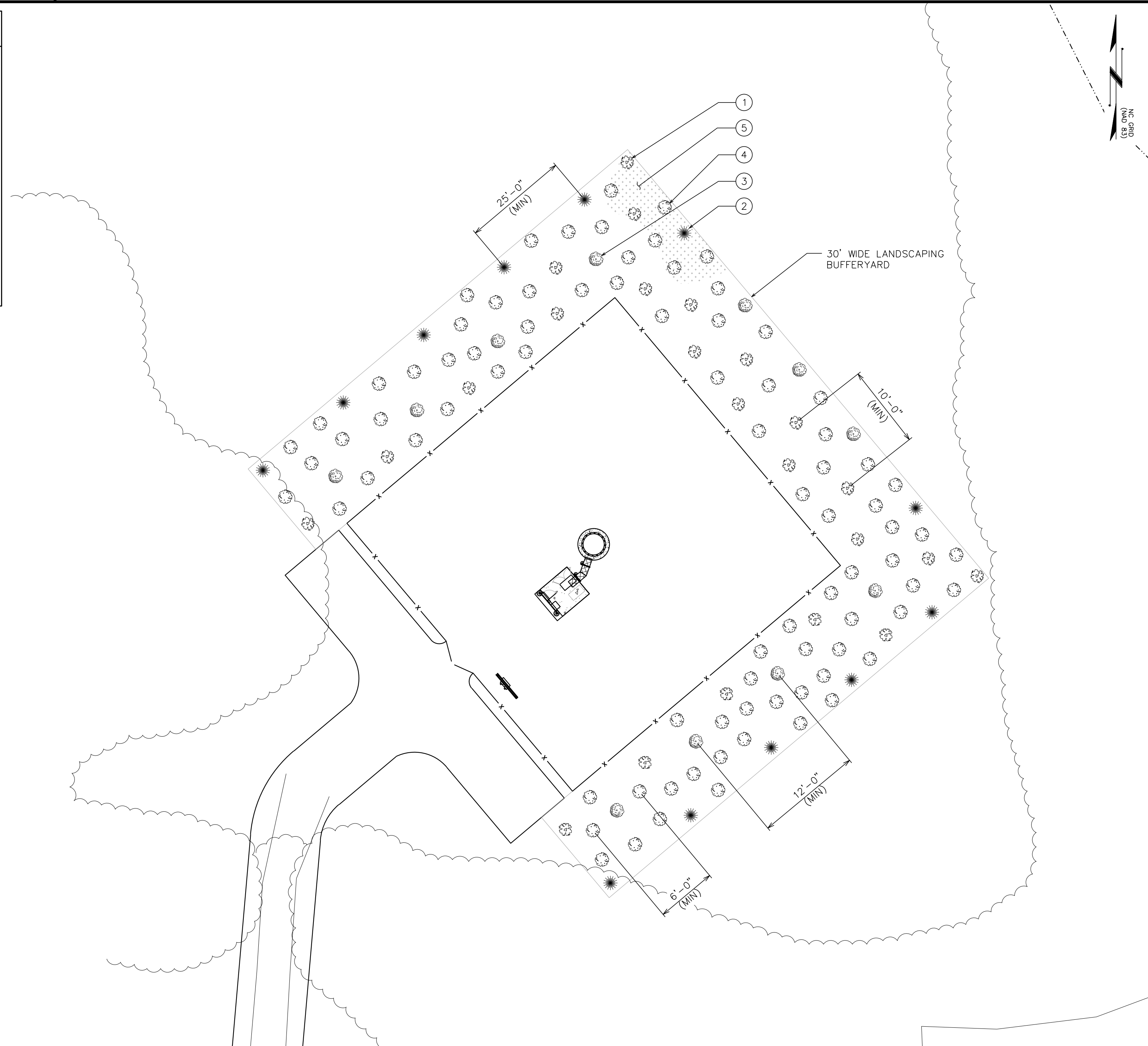
SCALE: N.T.S.

### PLANTING SCHEDULE

ITEM	QTY.	BOTANICAL NAME	COMMON NAME	HEIGHT @ PLANTING	HEIGHT @ MATURITY	SPACING	REMARKS
DECIDUOUS TREE							
1	23	(Quercus robur "Fastigiata")	FASTIGIATE ENGLISH OAK	N/A	35'-0" (MIN)	10' (MIN)	SHOWN AS
EVERGREEN TREE							
2	12	(Pinus Nigra)	AUSTRIAN PINE	N/A	35'-0" (MIN)	25' (MIN)	SHOWN AS
3	11	(Cupressocyparis leylandii)	LEYLAND CYPRESS	N/A	35'-0" (MIN)	12' (MIN)	SHOWN AS
EVERGREEN SHRUB							
4	81	(Ilex x "Emily Bruner")	EMILY BRUMER HOLLY	3'-0" (MIN)	15'-0" (MIN)	6' (MIN)	SHOWN AS
MULCH							
5	-	-	MULCH	-	-	-	APPLY 3"-4" DEEP WITHIN BUFFERYARD FOR GROUND COVER.

### LANDSCAPE NOTES:

- TOPSOIL TO BE PROVIDED BY SITE CONTRACTOR IN ROUGH GRADE TO WITHIN 1" OF FINISH GRADE.
- EACH PLANT TO BE IN THE TOP OF ITS CLASS AFTER SHEARING AND PRUNING.
- EACH PLANT TO BE FREE FROM DISEASE, INSECT INFESTATION, AND MECHANICAL INJURIES, AND IN ALL RESPECTS BE SUITABLE FOR FIELD PLANTING.
- ALL PLANTS TO BE FULLY GUARANTEED (LABOR AND MATERIALS) FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF INSTALLATION.
- ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1-1973 IN REGARD TO SIZING, GROWING, AND B&B SPECIFICATIONS.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING TREES AND SHRUBS WITHIN THE CONSTRUCTION AREA IDENTIFIED AS "TO REMAIN" FROM DAMAGE BY EQUIPMENT AND CONSTRUCTION ACTIVITIES.



## LANDSCAPING PLAN

SCALE: 1" = 20'

0 20 40  
SCALE IN FEET

PLANS PREPARED FOR:  
**CTG**  
15720 BRYHAM HILL AVENUE, SUITE 300  
CHARLOTTE, NC 28277  
PHONE: (919) 345-4789

PLANS PREPARED FOR:  
**T-Mobile**  
185 FAIRCHILD STREET  
CHARLESTON, SC 29492

SEAL:  
  
October 10, 2017

REV	DATE	ISSUED FOR:	CHECKED BY:
0	06-15-17	PRELIMINARY	SCB
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2	08-07-17	CONSTRUCTION	
3	09-14-17	CONSTRUCTION	
4	10-10-17	CONSTRUCTION	

PROJECT INFORMATION:  
**BEATTIES FORD RD  
(MCDOWELL CREEK  
WATER TREATMENT)  
NC-0010002  
TMO ID: 5CT095320**  
5824 JIM KIDD RD  
HUNTERSVILLE, NC 28078  
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PLANS PREPARED BY:  
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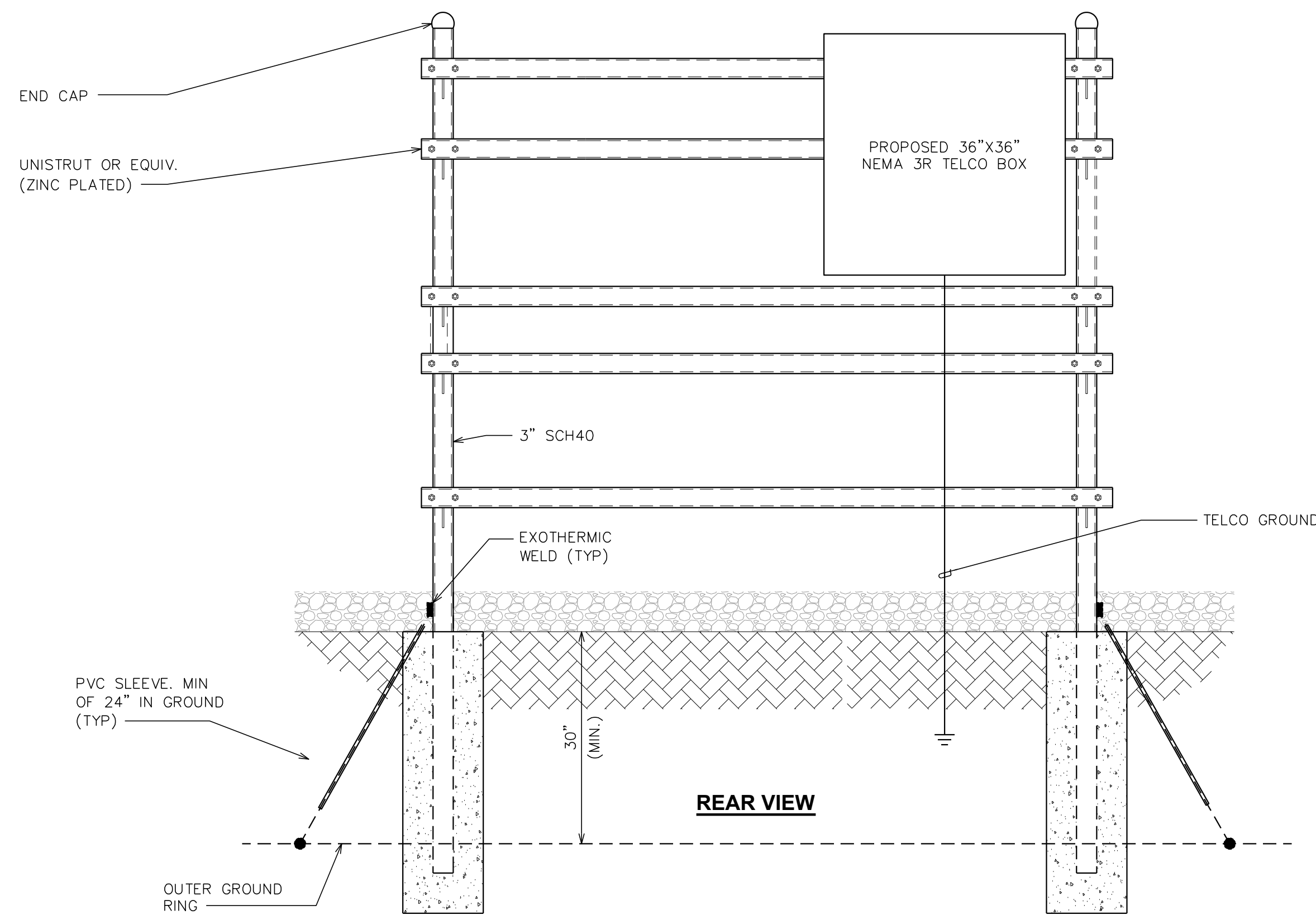
SHEET TITLE:  
**LANDSCAPING PLAN  
& DETAILS**  
SHEET NUMBER:  
**L-1**  
REVISION:  
**4**  
TEP #: 75646



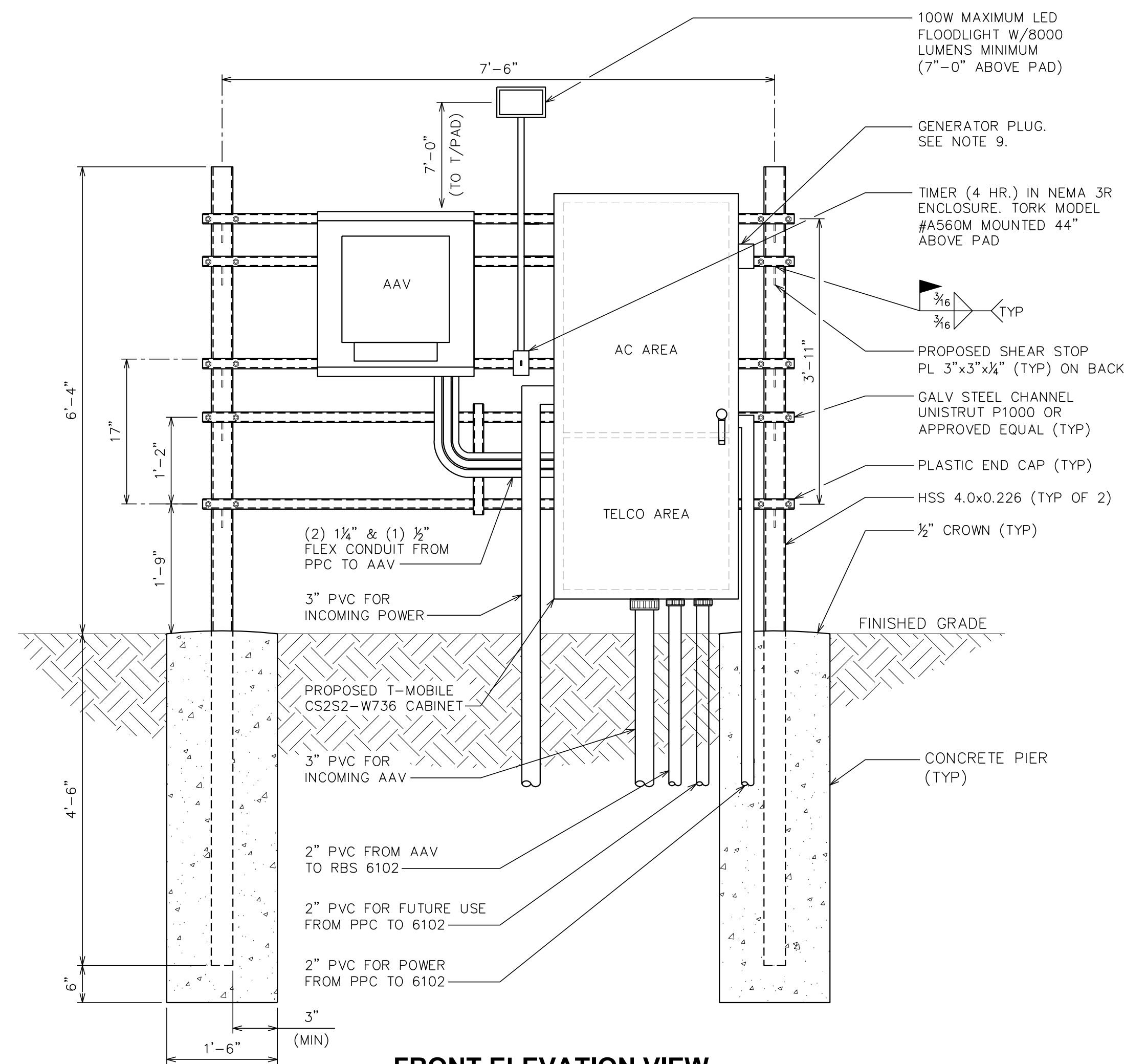




1. ELECTRIC SERVICE: 240/120V, 1ø, 3W, 800A UNDERGROUND SERVICE TO POLE RISER.
2. USE COPPER STRANDED, 600V, TYPE THW/THWN, WITH CROSS-LINKED POLYETHYLENE INSULATION FOR #8 AWG AND LARGER WIRE.
3. UNDERGROUND CONDUITS SHALL BE SCHEDULE 40 PVC (MEET UL STANDARDS G51 AND NEMA TC2-1990). EXPOSED CONDUITS SHALL BE PVC U/V RESISTANT OR RIGID GALVANIZED STEEL. ALL CONDUIT BENDS SHALL BE A MINIMUM OF 36" RADIUS.
4. GROUNDING CONDUCTOR SHALL BE 2 AWG SOLID BARE TINNED COPPER UNLESS OTHERWISE NOTED.
5. 6 GANG METER BASE CABINET FOR 200A EA120/240V, 1ø SERVICE WITH SERVICE ENTRANCE RATED, CIRCUIT BREAKER TYPE DISCONNECT SWITCH. UTILITY COMPANY TO PROVIDE METERS. PROVIDE IN ACCORDANCE WITH UTILITY COMPANY REQUIREMENTS.
6. GROUNDING OF ELECTRICAL EQUIPMENT AT METER STATION SHOULD BE AS PER NEC, MUNICIPAL AND UTILITY COMPANY REQUIREMENTS.
7. CONTRACTOR IS TO FURNISH AND INSTALL 200A BREAKER IN METER BASE IF NONE EXISTS.
8. ALL NEW STRUCTURAL STEEL SHALL BE HOT DIP GALVANIZED IN ACCORDANCE WITH ASTM A123 G90 AFTER FABRICATION.
9. FIELD ABRASIONS SHALL BE TOUCH UP PAINTED WITH ZINC RICH GALVANIZING REPAIR IN ACCORDANCE WITH ASTM A780.
10. ALL EXPOSED ENDS OF CONDUITS SHALL HAVE WEATHERPROOF CAPS.
11. PROVIDE 200LB. TEST PULL WIRES IN EACH TELEPHONE AND POWER CONDUIT. STUB CONDUITS INTO ENCLOSURE AND LABEL..
12. THE POWER COMPANY SHALL TERMINATE THE POWER CABLES (SUPPLIED AND INSTALLED BY THE POWER COMPANY) AT THE UTILITY METERS LOCATED ON THE EQUIPMENT RACK.
13. CONTRACTOR TO VERIFY RACK DIMENSIONS AND STRUT SPACING RELATIVE TO METER BASE MODEL NUMBER.
14. GROUNDING ELECTRODE IS SIZED FOR SINGLE 200A SERVICE ONLY. IF METER BANK SHARES A COMMON NEUTRAL/GROUND POINT, CONTRACTOR WILL INSTALL (1) 3/0 COPPER GEC INSTEAD.



N.T.S.



### FRONT ELEVATION VIEW

N.T.S

1. ACTUAL SEPARATION OF CONDUITS TO BE DETERMINED BY SITE SPECIFIC REQUIREMENTS.
2. PROVIDE PVC CONDUIT BELOW GRADE EXCEPT AS NOTED BELOW.
3. PROVIDE RGS CONDUIT AND ELBOWS AT STUB UP LOCATIONS (I.E. SERVICE POLES, EQUIPMENT, ETC.)
4. PROVIDE RGS CONDUIT FOR INSTALLATIONS BELOW PARKING LOTS AND ROADWAYS.



## SCALE: N.T.S.

1. ALL EQUIPMENT SHALL BE GROUNDED
2. ALL ELECTRICAL ENCLOSURES TO BE NEMA 3R RATED
3. SEE SITE PLAN FOR GENERAL ROUTING OF ALL CONDUITS. DETERMINE EXACT ROUTING FIELD.
4. ELECTRICAL EQUIPMENT SHALL BE A MIN. 3'-0" FROM ANY STRUCTURE
5. ALL COVERPLATES TO BE WEATHERPROOF
6. INSTALL CAPS ON ALL OPEN POSTS
7. INSTALL UNISTRUT BEHIND SUPPORT POST AS SHOWN
8. ALL LBS MUST BE RIGID METALLIC
9. IF GENERATOR PLUG IS ON THE LEFT SIDE OF THE PPC REVERSE H-FRAME LAYOUT

**CTG**

15720 BRIXHAM HILL AVENUE, SUITE 300  
CHARLOTTE, NC 28277  
PHONE: (919) 345-4789

LEANS AND RAIL TON.

**T-Mobile**

185 FAIRCHILD STREET  
CHARLESTON, SC 29492

June 21, 2017

	I	06-21-17	CONSTRUCTION
	O	06-15-17	PRELIMINARY
	REV	DATE	ISSUED FOR:
DRAWN BY: TDS			CHECKED BY: SCB

**BEATTIES FORD RD  
(MCDOWELL CREEK  
WATER TREATMENT)  
NC-0010002  
TMO ID: 5CT09320**

5824 JIM KIDD RD  
HUNTERSVILLE, NC 28078  
(MECKLENBURG COUNTY)

**TOWER ENGINEERING PROFESSIONALS**  
326 TRYON ROAD  
RALEIGH, NC 27603-3530  
OFFICE: (919) 661-6351  
FAX: (919) 661-6350

N.C. LICENSE # C-1794

SHEET TITLE:

SERVICE RACK

DETAILS

SHEET NUMBER:

E-2

REVISION:

1

TEP #: 75-848



GROUNDING NOTES:

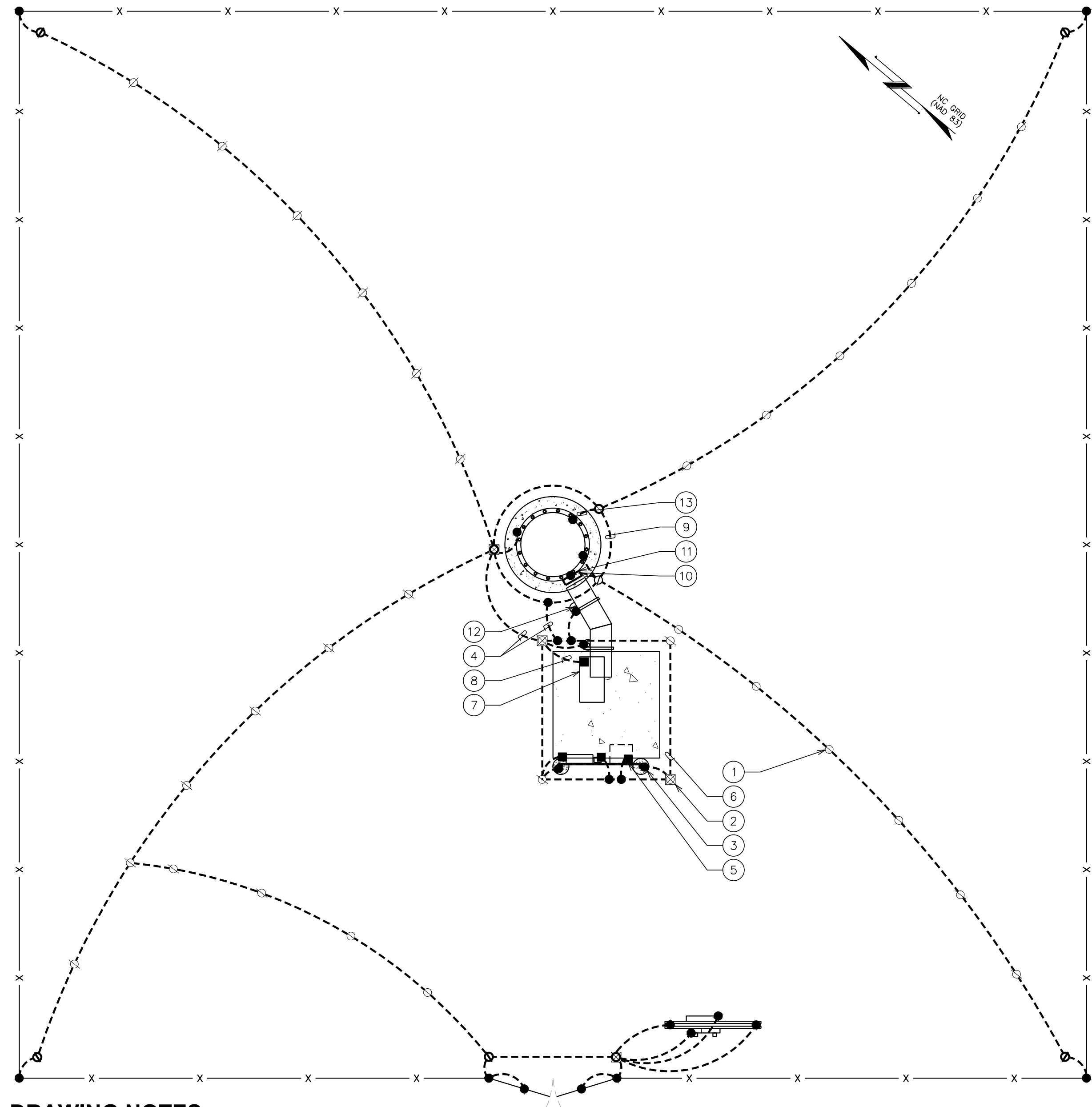
1. CONTRACTOR SHALL VERIFY THAT GROUNDING ELECTRODES SHALL BE CONNECTED IN A RING USING #2 AWG BARE TINNED COPPER WIRE. THE TOP OF THE GROUND RODS AND THE RING CONDUCTOR SHALL BE 2 FEET BELOW FINISHED GRADE. GROUNDING ELECTRODES SHALL BE DRIVEN ON 10'-0" CENTERS (PROVIDE AND INSTALL AS REQUIRED. REQUIRED PER PLAN BELOW).

2. BONDING OF THE GROUNDED CONDUCTOR (NEUTRAL) AND THE GROUNDING CONDUCTOR SHALL BE AT THE SERVICE DISCONNECTING MEANS. BONDING JUMPER SHALL BE INSTALLED PER N.E.C. ARTICLE 250.30.

3. GROUND RING CONNECTION CONDUCTORS SHALL BE OF EQUAL LENGTH, MATERIAL, AND BONDING TECHNIQUE.
3. CONTRACTOR SHALL ENSURE GROUND RING IS WITHIN 12 TO 36 INCHES OF THE EQUIPMENT PAD, PROVIDE AND INSTALL GROUNDING CONNECTIONS SHOWN BELOW AS NEEDED PER EXISTING SITE GROUNDING SYSTEM. CONTRACTOR SHALL VERIFY ALL EXISTING SITE GROUNDING CONDITIONS BEFORE STARTING WORK OR PURCHASING EQUIPMENT

4. BOND GROUND BAR TO EXTERNAL GROUND RING WITH 1 RUN OF #2 BARE, TINNED, SOLID COPPER CONDUCTOR IN PVC. CONNECT BAR END WITH 2 HOLE LUG, AND "CADWELD" THE OTHER END TO THE EXTERNAL GROUND ROD. ALL DOWN CONDUCTORS MUST GO DOWN

5. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER WHEN THE GROUNDING SYSTEM IS COMPLETE. THE CONSTRUCTION MANAGER SHALL INSPECT THE GROUNDING SYSTEM PRIOR TO BACKFILLING



DRAWING NOTES:

- 1 GROUND ROD 5/8"x10' LONG (TYP)

2 GROUND ROD WITH INSPECTION WELL (TYP)

3 CADWELD (TYP)

4 #2 TINNED SOLID COPPER GROUND WIRE FROM TOWER GROUND RING TO GROUND ROD IN EQUIPMENT GROUND RING. IF DISTANCE IS GREATER THAN 20' BUT LESS THAN 30' INSTALL A GROUND ROD AT THE CENTER.

5 2-HOLE LUG MECHANICAL CONNECTION (TYP)
- 6 #2 TINNED SOLID COPPER EQUIPMENT GROUND RING

7 PROPOSED EQUIPMENT CABINET

8 #2 TINNED SOLID COPPER GROUND WIRE FROM GROUND RING TO BUSS BAR INSIDE CABINET.

9 PROPOSED TOWER GROUND RING.
- 10 #2 TINNED SOLID COPPER GROUND WIRE FROM GROUND BAR TO TOWER GROUND RING

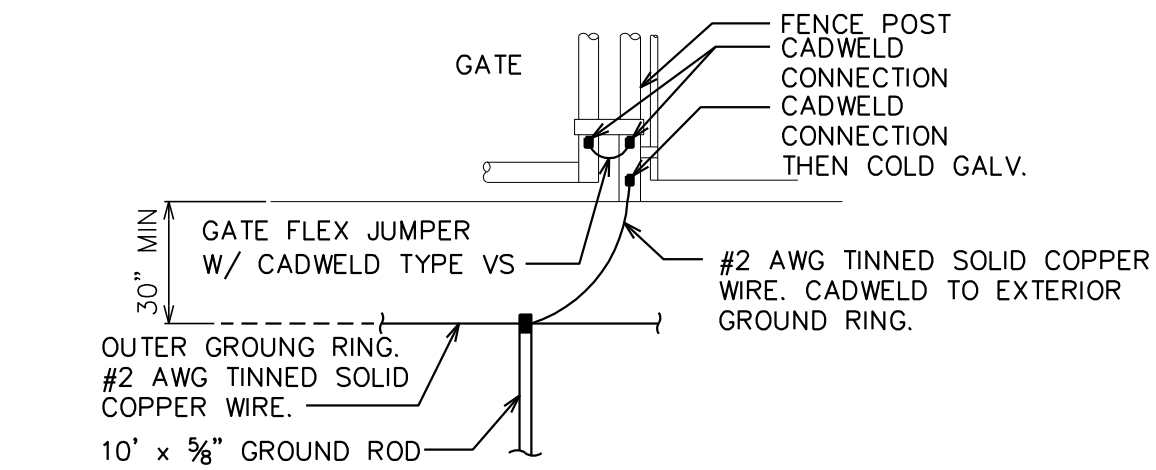
11 ISOLATED BOTTOM TOWER GROUND BAR

12 ICE BRIDGE POST

13 GROUND LEAD FROM TOWER TO TOWER GROUND RING (TYP)

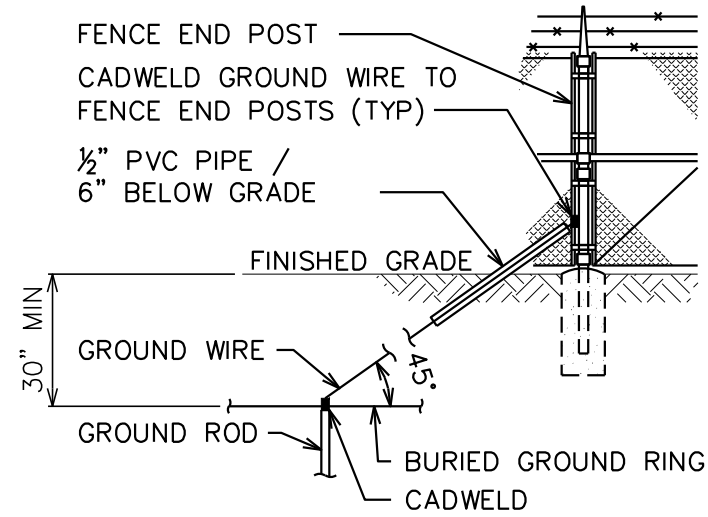
TOWER GROUNDING PLAN

SCALE: 1/8" = 1'-0"



TYPICAL GATE POST GROUNDING DETAIL

SCALE: N.T.S.

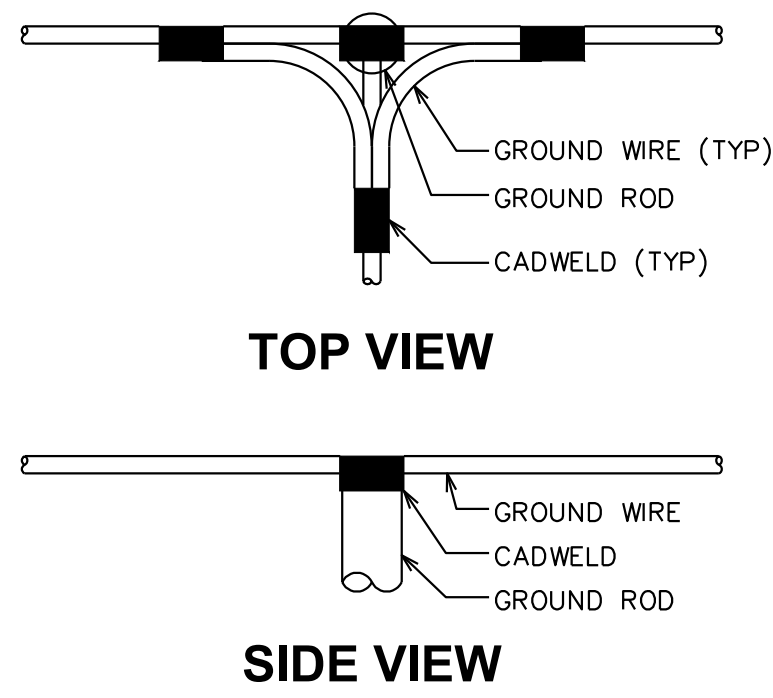


TYPICAL FENCE GROUNDING DETAIL

SCALE: N.T.S.

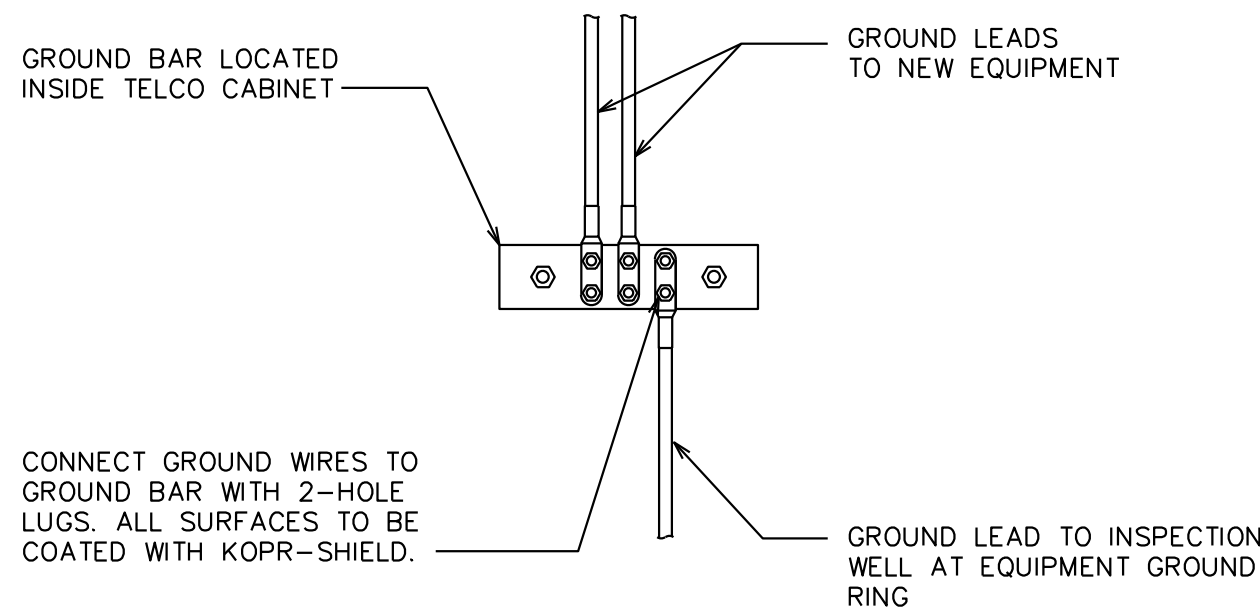
NOTE:

MINIMUM SPACING OF 12" BETWEEN ALL CADWELDS



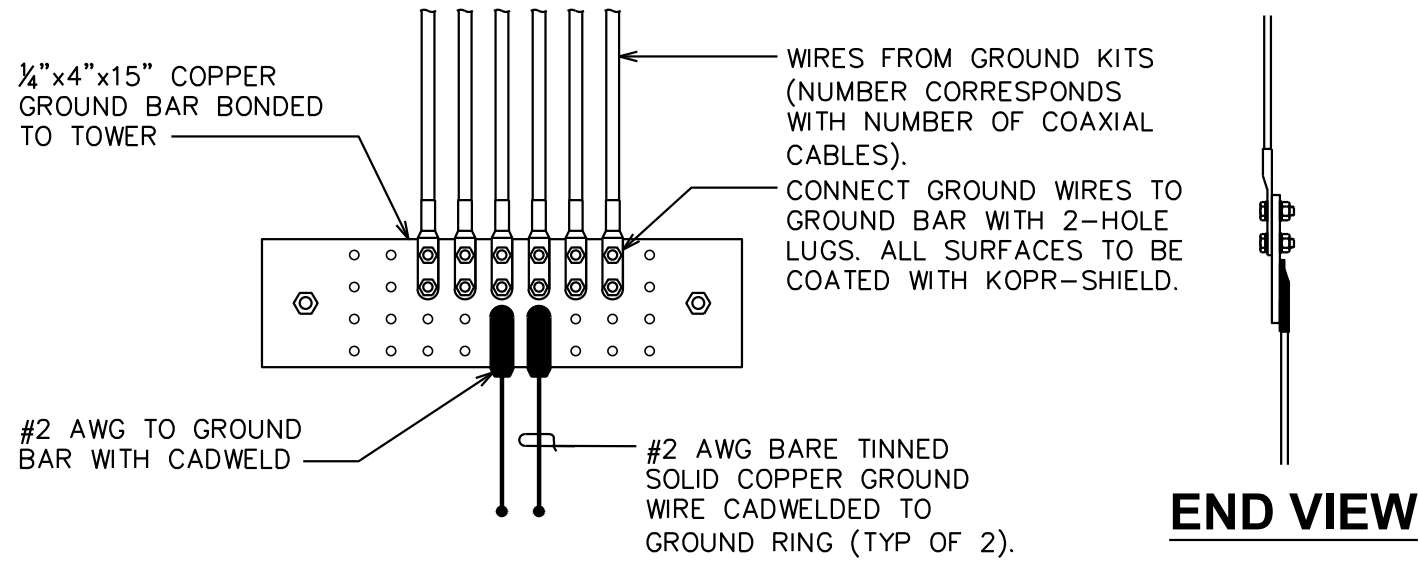
CADWELD GROUNDING DETAIL

SCALE: N.T.S.



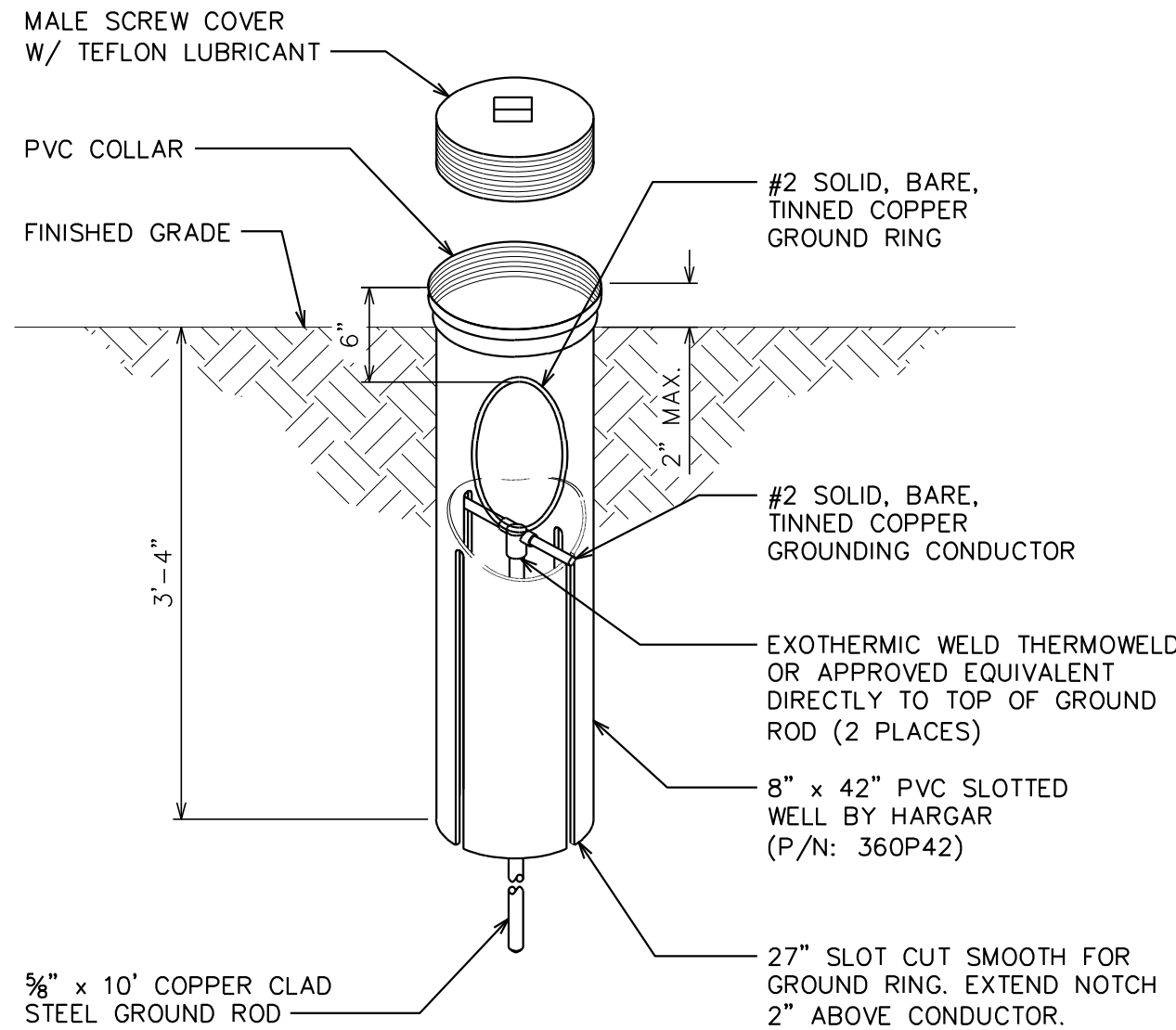
GROUND BAR IN TELCO CABINET

SCALE: N.T.S.



LOWER GROUND BAR DETAIL

SCALE: N.T.S.

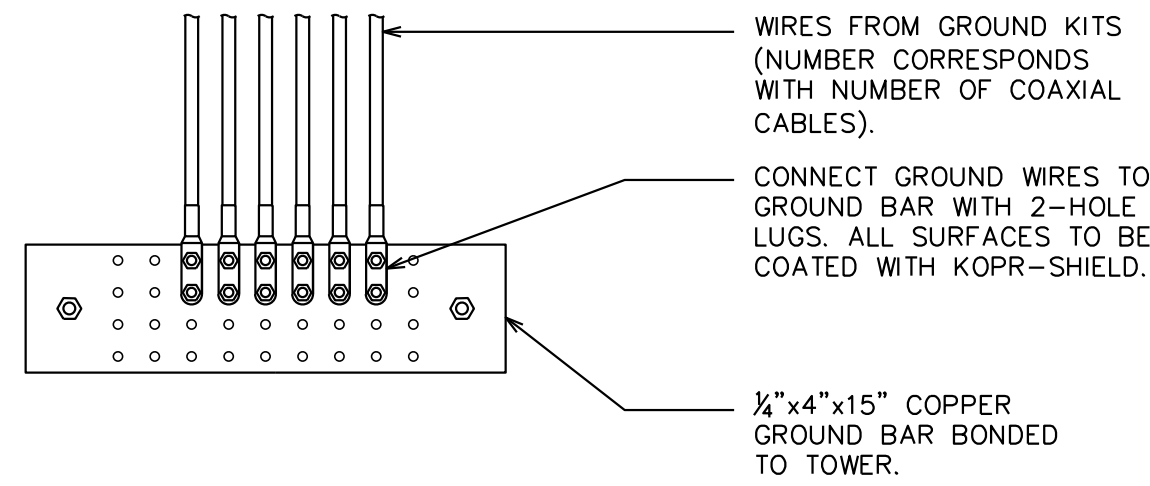


GROUND ROD WITH INSPECTION WELL DETAIL

SCALE: N.T.S.

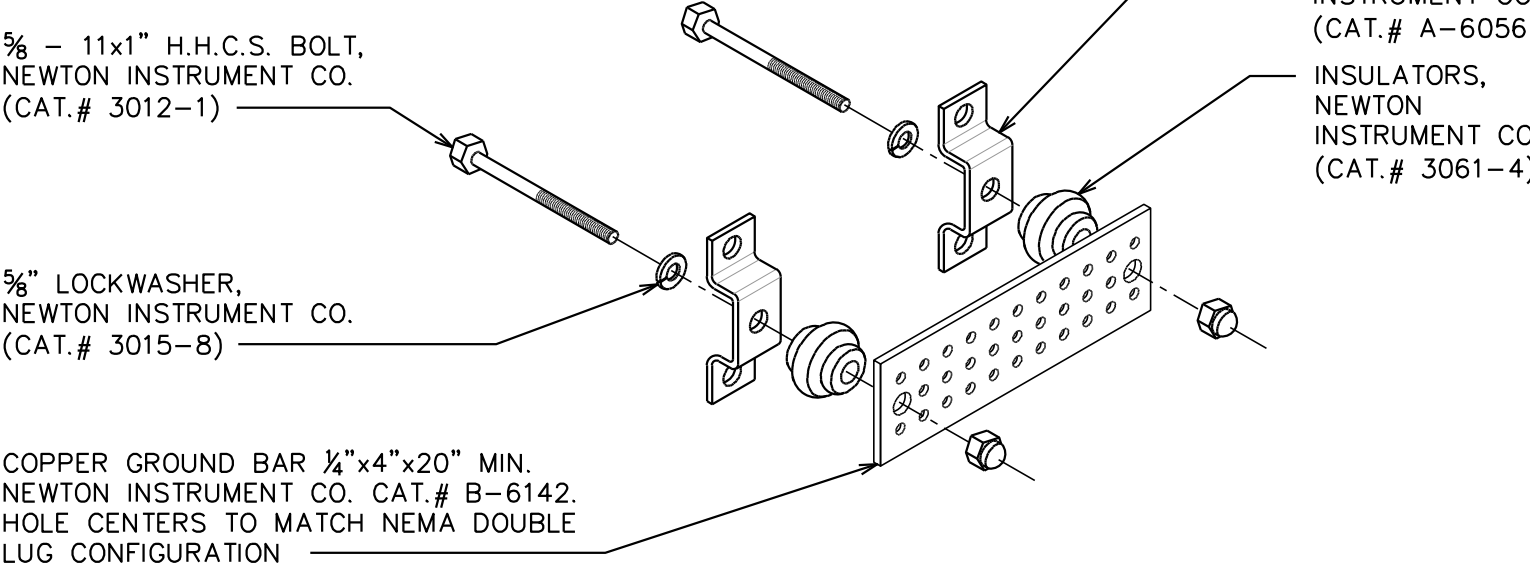
NOTE:

THE CONTRACTOR SHALL UTILIZE AN INTERMEDIATE GROUND BAR FOR ANTENNA RAD CENTERS OVER 200'.



UPPER / INTERMEDIATE GROUND BAR DETAIL

SCALE: N.T.S.

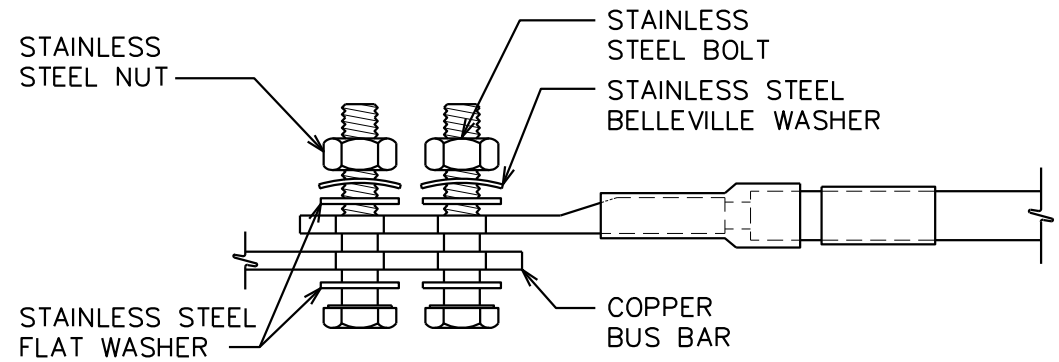


NOTE:

GROUND BAR SHALL BE SIZED TO ACCOMMODATE ALL GROUNDING CONNECTIONS REQUIRED PLUS PROVIDE 50% SPARE CAPACITY.

STANDARD GROUND BAR DETAIL

SCALE: N.T.S.

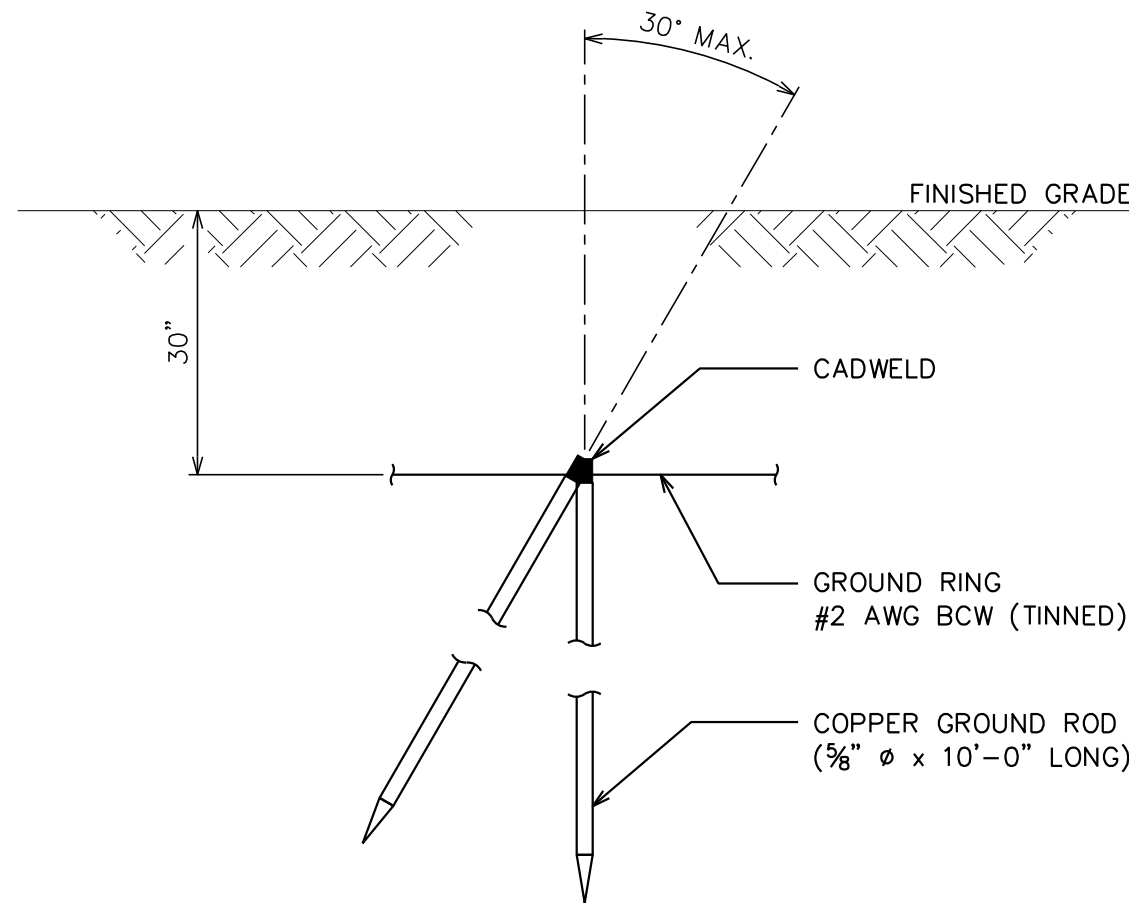


NOTES:

1. ALL HARDWARE SHALL BE 18-8 STAINLESS STEEL, INCLUDING THE BELLEVILLE WASHERS. COAT ALL SURFACES WITH KOPR-SHIELD BEFORE MATING.
2. FOR GROUND BOND TO STEEL ONLY; INSERT A DRAGON TOOTH WASHER BETWEEN THE LUG AND STEEL. COAT ALL SURFACES WITH KOPR-SHIELD.

LUG DETAIL

SCALE: N.T.S.



COPPER-CLAD STEEL GROUND ROD DETAIL

SCALE: N.T.S.

PLANS PREPARED FOR:

15720 BRYHAM HILL AVENUE, SUITE 300  
CHARLOTTE, NC 28217  
PHONE: (919) 345-4789

PLANS PREPARED FOR:

185 FAIRCHILD STREET  
CHARLESTON, SC 29492

SEAL:

August 7, 2017

DATE	REVISION	ISSUED FOR:	CHECKED BY:
08-07-17	2	CONSTRUCTION	SCB
06-21-17	1	PRELIMINARY	
06-15-17	0	DATE	

PROJECT INFORMATION:

BEATTIES FORD RD  
(MCDOWELL CREEK  
WATER TREATMENT)  
NC-0070002  
TMO ID: 5CT095320  
5824 JIM KIDD RD  
HUNTERSVILLE, NC 28078  
(MECKLENBURG COUNTY)

PLANS PREPARED BY:

TOWER ENGINEERING PROFESSIONALS  
326 TRYON ROAD  
RALEIGH, NC 27603-3530  
OFFICE: (919) 661-6351  
FAX: (919) 661-6350  
N.C. LICENSE # C-1794

SHEET TITLE:

GROUNDING  
NOTES & DETAILS I

SHEET NUMBER:  
E-3

REVISION:  
2

TEP #: 75646





SCALE: N.T.S.



**E-4**

SHEET NUMBER:	REVISION:
	<b>1</b>
TEP #: 75848	



# **PHOTO PRESENTATION**

## ***Communications Tower Group LLC***

### ***Wireless Communications Facility Documentation***

*The proposed 195.0' AGL Telecommunications Facility is to be located at or near 5824 Jim Kidd Road, Huntersville, NC 28078. The site coordinates are N 35° 23' 25.11" W 80° 56' 39.77". The site elevation is 755.6 ft AMSL.*

*The tower as simulated is at One Hundred Ninety-Five Feet (195 feet in height/altitude) above ground, at the centerline of the proposed tower facility location.*

**GRAHAM HERRING COMMERCIAL REAL ESTATE GRAPHIC SERVICES**  
**PROVIDING PROFESSIONAL SPECIALTY SERVICES TO THE TELECOMMUNICATIONS INDUSTRY**





**CTG SITE # NC-0010002**  
**BEATTIES FORD ROAD**  
**(MCDOWELL CREEK WATER TREATMENT)**  
**HUNTERVILLE, NC**





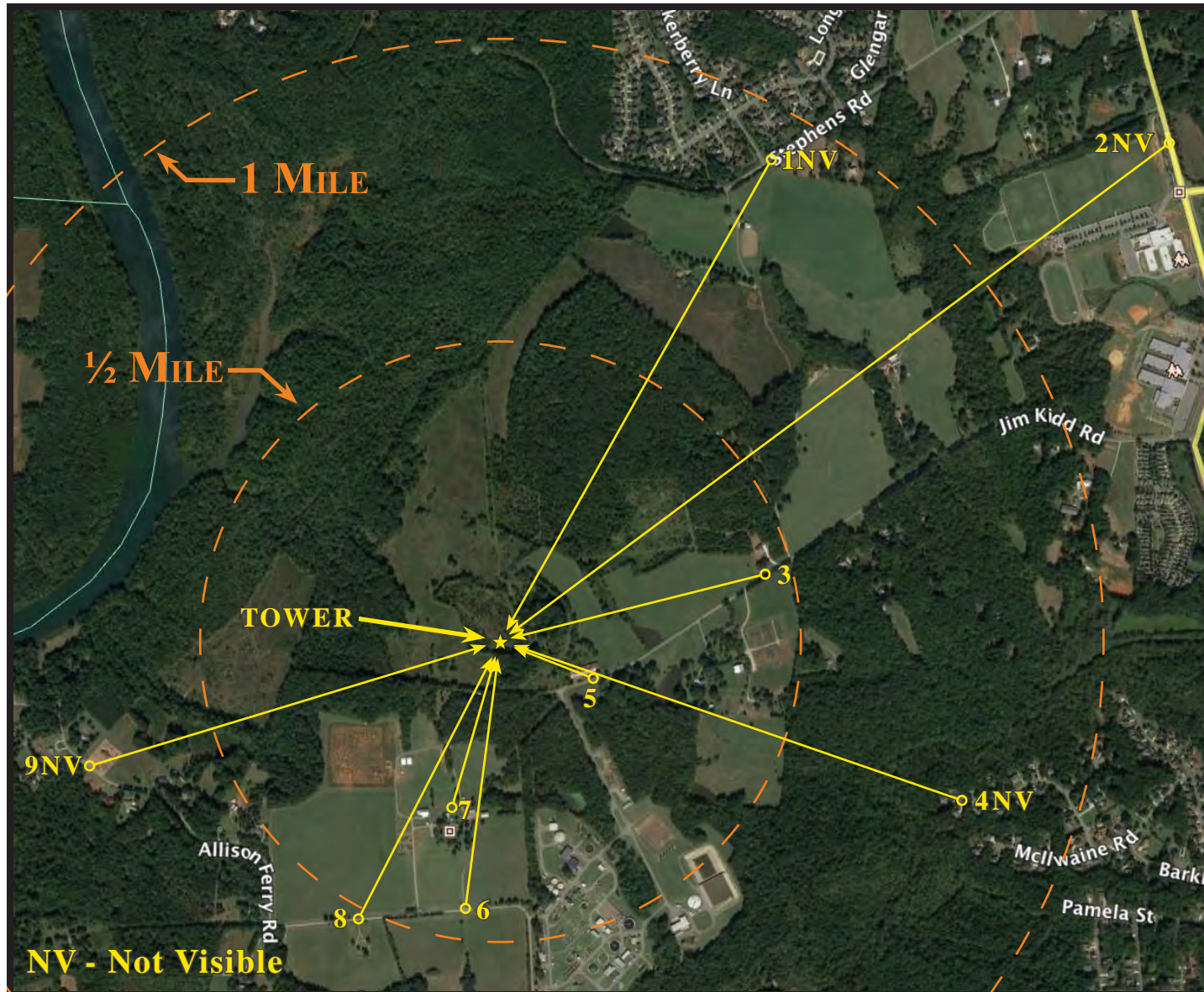


# CTG SITE # NC-0010002

## BEATTIES FORD ROAD

### (MCDOWELL CREEK WATER TREATMENT)

### HUNTERSVILLE, NC



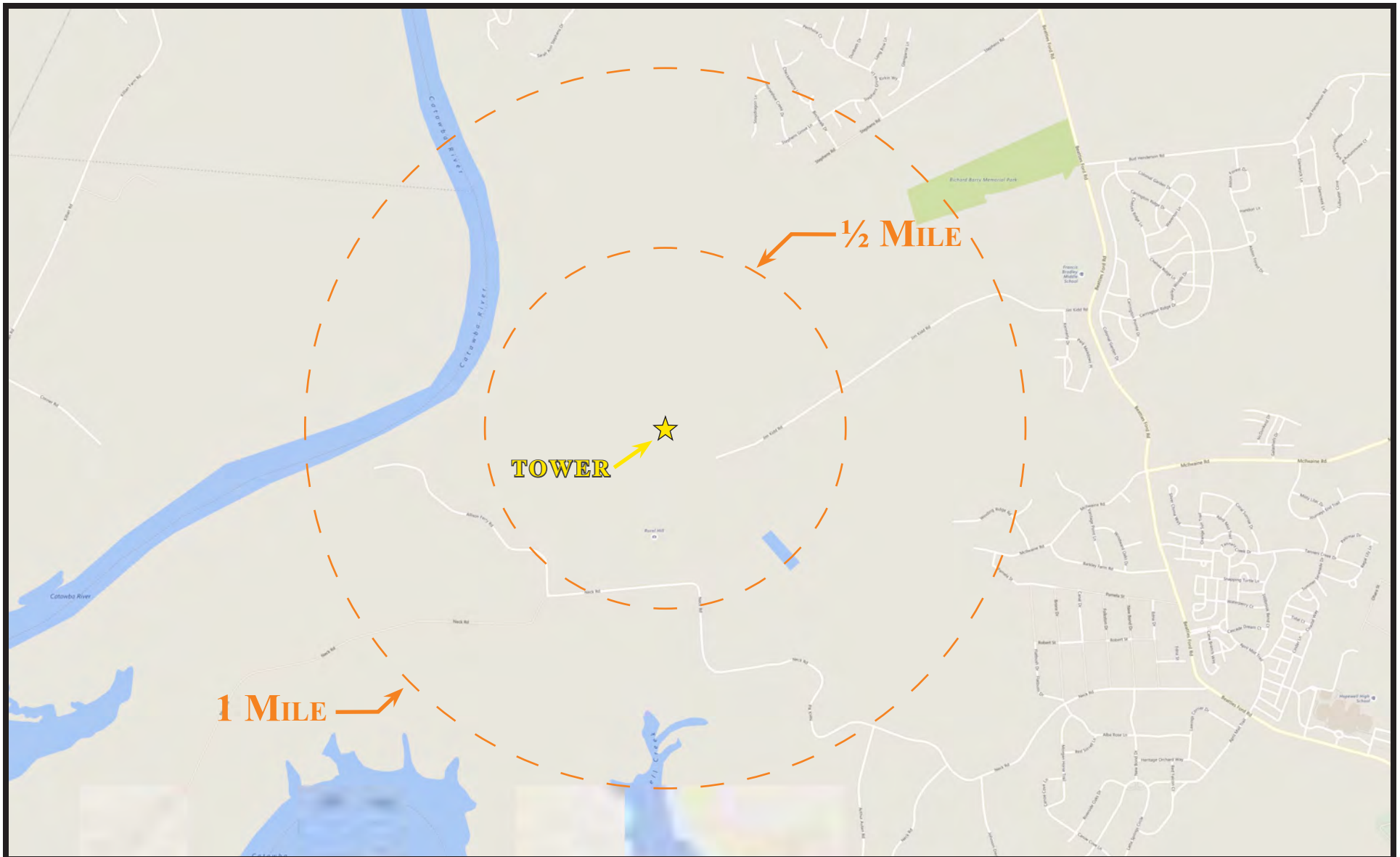
- 1 - **Not visible.** Looking south by southwest towards site from Stephens Rd at Birchwalk Dr. (0.92mi)
- 2 - **Not visible.** Looking southwest towards site from Beatties Ford Rd north of Bud Henderson Rd. (1.39mi)
- 3 - Looking west by southwest towards site from Jim Kidd Rd. (0.46mi)
- 4 - **Not visible.** Looking west by northwest towards site from end of Winding Ridge Rd. (0.82mi)
- 5 - Looking west by northwest towards site from Jim Kidd Rd near treatment plant access road. (0.17mi)
- 6 - Looking north by northeast towards site from Neck Rd at entrance to Historic Rural Hill. (0.45mi)
- 7 - Looking north by northeast towards site from field in Historic Rural Hill. (0.29mi)
- 8 - Looking north by northeast towards site from Neck Rd at cemetery. (0.52mi)
- 9 - **Not visible.** Looking east by northeast towards site from Allison Ferry Rd. (0.72mi)

**NV = Not Visible**





**CTG SITE # NC-0010002**  
**BEATTIES FORD ROAD**  
**(MCDOWELL CREEK WATER TREATMENT)**  
**HUNTERVILLE, NC**







**CTG SITE # NC-0010002  
BEATTIES FORD ROAD  
(MCDOWELL CREEK WATER TREATMENT)  
HUNTERVILLE, NC**



**NV - Not Visible**

**VIEW FROM LOCATION 1**





**CTG SITE # NC-0010002**  
**BEATTIES FORD ROAD**  
**(MCDOWELL CREEK WATER TREATMENT)**  
**HUNTERSVILLE, NC**



**NV- Not Visible**

**VIEW FROM LOCATION 2**





**CTG SITE # NC-0010002**  
**BEATTIES FORD ROAD**  
**(MCDOWELL CREEK WATER TREATMENT)**  
**HUNTERSVILLE, NC**



**VIEW FROM LOCATION 3**





**CTG SITE # NC-0010002**  
**BEATTIES FORD ROAD**  
**(MCDOWELL CREEK WATER TREATMENT)**  
**HUNTERVILLE, NC**

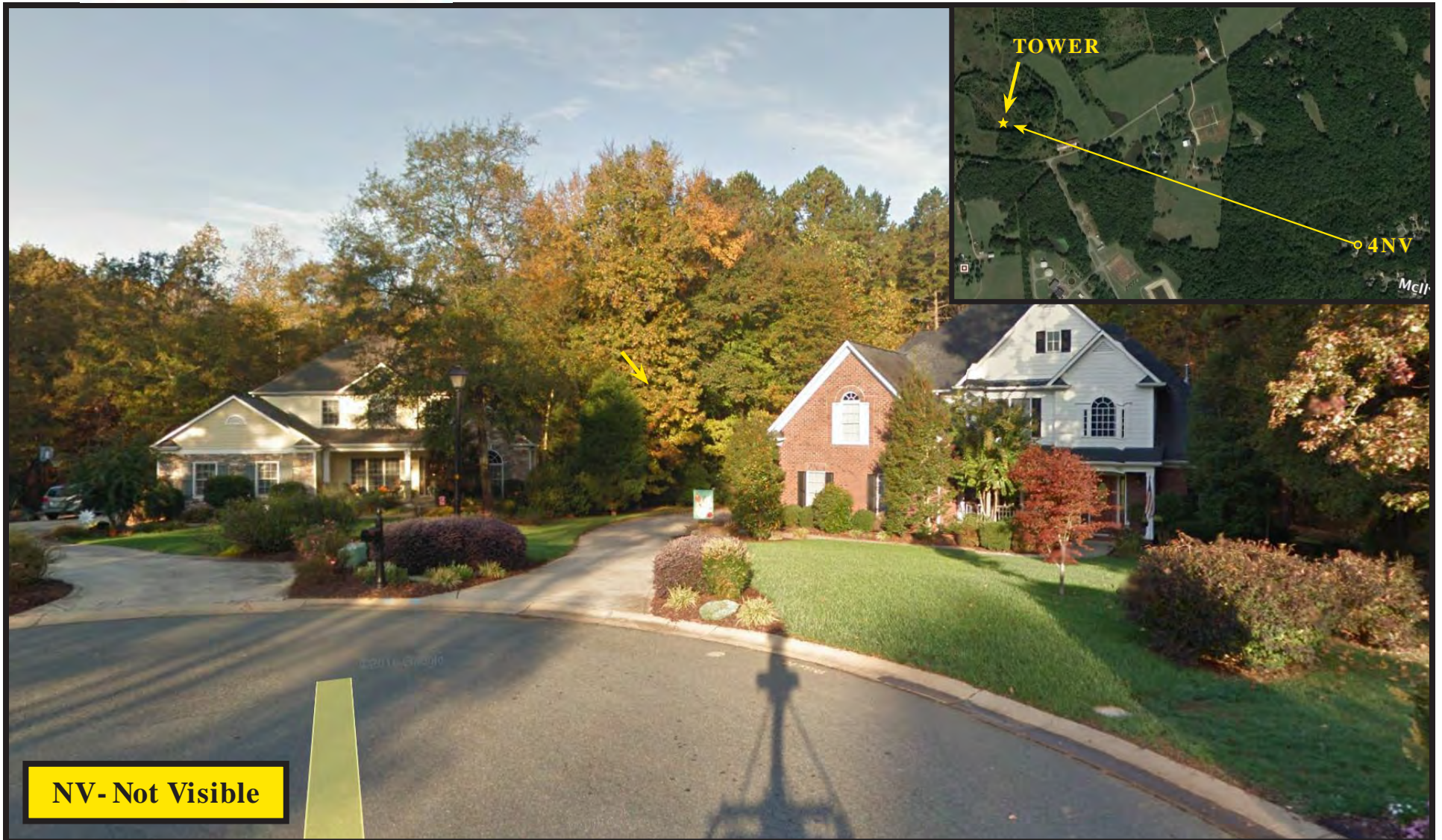


**SIMULATED VIEW FROM LOCATION 3**





**CTG SITE # NC-0010002**  
**BEATTIES FORD ROAD**  
**(MCDOWELL CREEK WATER TREATMENT)**  
**HUNTERSVILLE, NC**



**VIEW FROM LOCATION 4**





**CTG SITE # NC-0010002**  
**BEATTIES FORD ROAD**  
**(MCDOWELL CREEK WATER TREATMENT)**  
**HUNTERSVILLE, NC**



**VIEW FROM LOCATION 5**





**CTG SITE # NC-0010002  
BEATTIES FORD ROAD  
(MCDOWELL CREEK WATER TREATMENT)  
HUNTERVILLE, NC**



**SIMULATED VIEW FROM LOCATION 5**





**CTG SITE # NC-0010002**  
**BEATTIES FORD ROAD**  
**(MCDOWELL CREEK WATER TREATMENT)**  
**HUNTERVILLE, NC**



**VIEW FROM LOCATION 6**





**CTG SITE # NC-0010002**  
**BEATTIES FORD ROAD**  
**(MCDOWELL CREEK WATER TREATMENT)**  
**HUNTERSVILLE, NC**



**SIMULATED VIEW FROM LOCATION 6**





**CTG SITE # NC-0010002**  
**BEATTIES FORD ROAD**  
**(MCDOWELL CREEK WATER TREATMENT)**  
**HUNTERSVILLE, NC**



**VIEW FROM LOCATION 7 (122% ZOOM)**





**CTG SITE # NC-0010002  
BEATTIES FORD ROAD  
(MCDOWELL CREEK WATER TREATMENT)  
HUNTERVILLE, NC**



**SIMULATED VIEW FROM LOCATION 7 (122% ZOOM)**





**CTG SITE # NC-0010002**  
**BEATTIES FORD ROAD**  
**(MCDOWELL CREEK WATER TREATMENT)**  
**HUNTERSVILLE, NC**



**VIEW FROM LOCATION 8**





**CTG SITE # NC-0010002**  
**BEATTIES FORD ROAD**  
**(MCDOWELL CREEK WATER TREATMENT)**  
**HUNTERVILLE, NC**



**SIMULATED VIEW FROM LOCATION 8**





**CTG SITE # NC-0010002  
BEATTIES FORD ROAD  
(MCDOWELL CREEK WATER TREATMENT)  
HUNTERVILLE, NC**



**VIEW FROM LOCATION 9**



**Town of Huntersville  
PLANNING BOARD  
11/21/2017**

**To:** Planning Board Members  
**From:** Brian Richards/Jack Simoneau  
**Subject:** S17-01 Frankie's Fun Park - Bryton Special Sign District

---

**Sign District:** S17-01 is a request by the Doug Godly to revise the Bryton Special Sign District for Frankie's Fun Park at 10621 Bryton Corporate Center Dr. Special Purpose-Conditional District (SP-CD).

**ACTION RECOMMENDED:**

Make a recommendation to the Town Board.

**FINANCIAL IMPLICATIONS:**

**ATTACHMENTS:**

Description	Type
☐ S17-01 PB Staff Report	Staff Report
☐ A - Application	Exhibit
☐ B - Article 10.11 Sign Ordinance	Exhibit
☐ C - Frankie's Sign Package 11-1-17	Exhibit
☐ D - Neighborhood Meeting	Exhibit
☐ E - Bryton Sign Plan	Exhibit

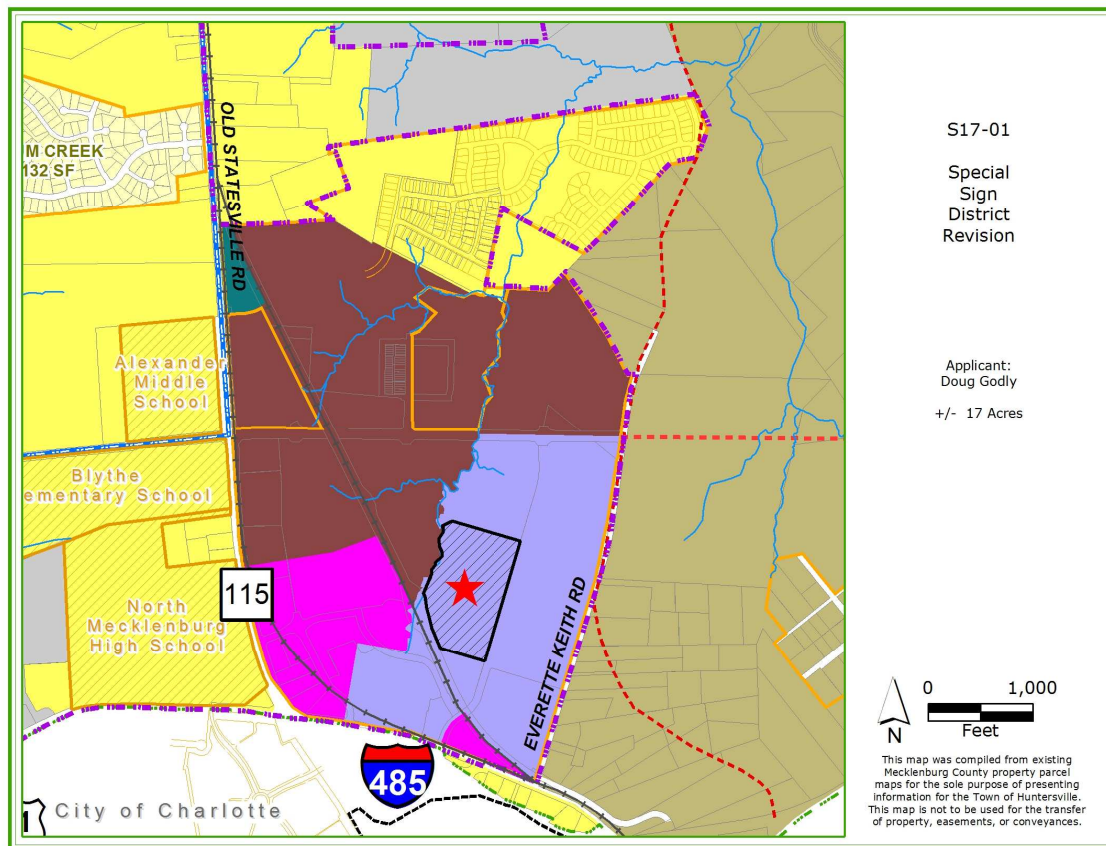


## Frankie's Fun Park - Bryton Special Sign District Overlay

### Project Description

Frankie's Fun Park (Frankie's) is requesting to amend the Bryton Special Sign District per Article 10.10.11. The Special Sign District was established to provide sign design flexibility for areas of unique character and special development potential.

Bryton is located to the northeast of the intersection of Eastfield Rd and Old Statesville Rd (NC 115). The subject property is zoned Special Purpose Conditional District (SP-CD).



### Details of the Special Sign District Overlay

Due to the unique architecture of Frankie's and the Zoning Ordinances definition of a Sign (see below) the blue "Fin" accent features are deemed to be a sign and are included in the requested sign area. Staff and the Petitioner have also provided the dimensions of a Typical Sign design for a percentage comparison.

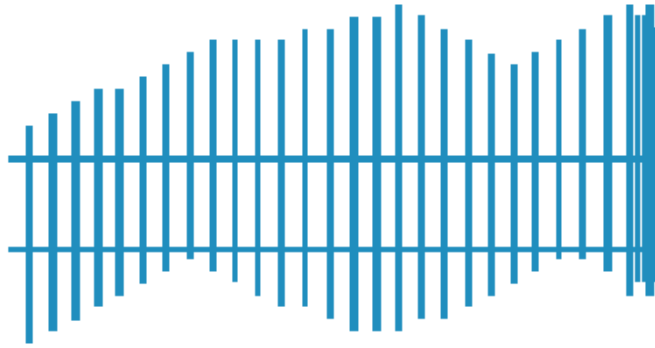
#### Definition:

Sign. Any object, device, structure, or part thereof, situated outdoors, which is used to advertise, identify, display, direct, or attract attention to an object, person, institution, organization, business, product, service, event or location by any means, including words,



letters, figures, designs, symbols, fixtures, colors, illumination, or projected images. Signs do not include the flag or emblem of any nation, organization of nations, state, city, or of any fraternal, religious or civic organization; works of art which in no way identify a product; or scoreboards located on athletic fields.

Fin Sign Example:

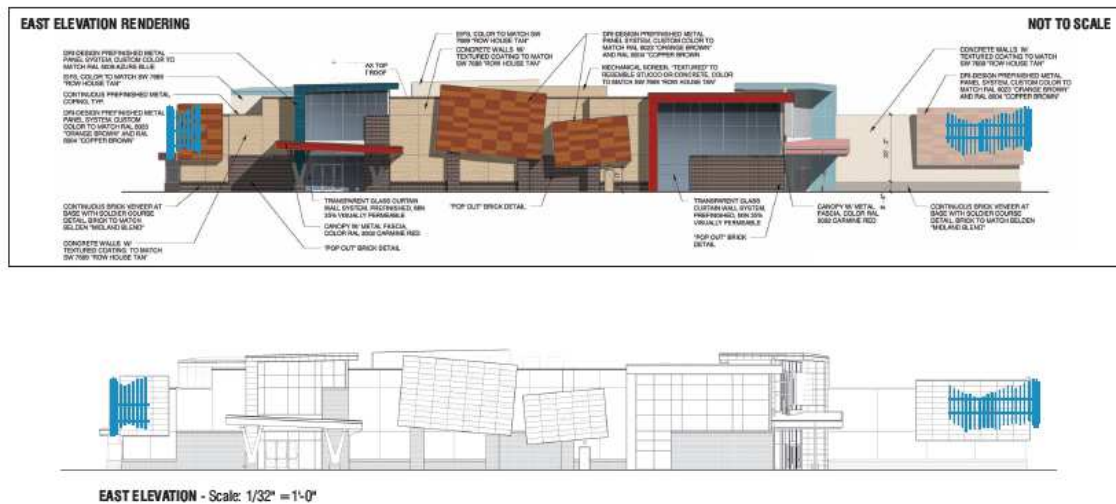
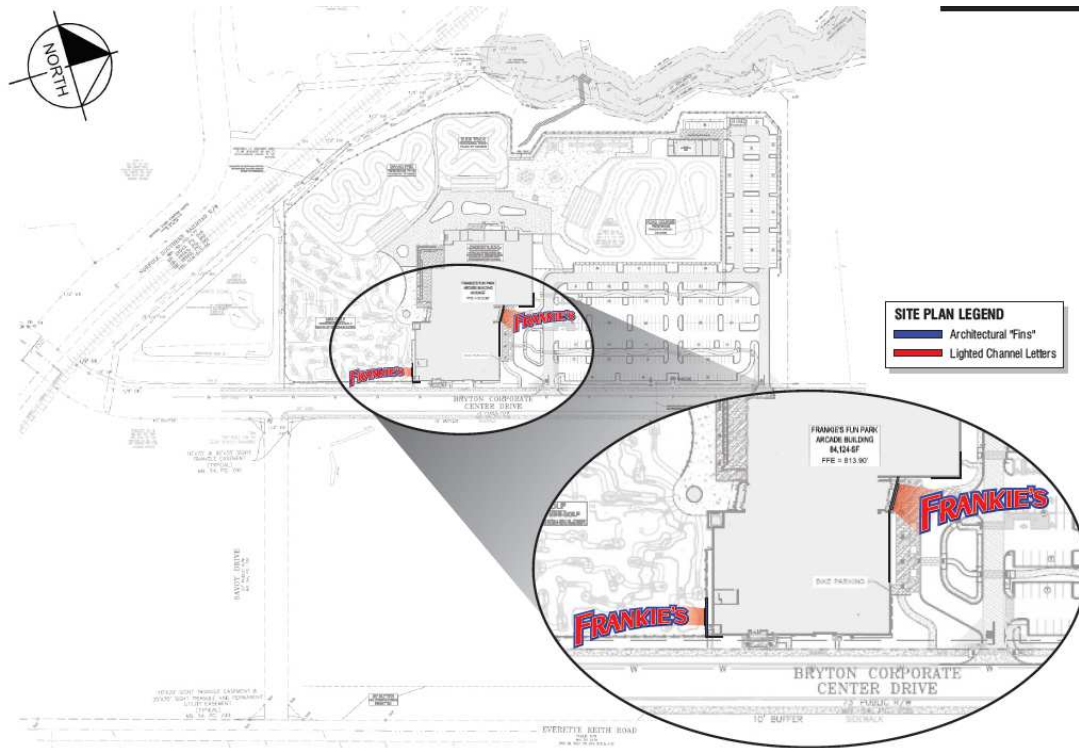


Typical Sign Example:



1. **Street fronting Wall Signs (East Facing Wall).** Frankie's is requesting to allow for an increased size of Street fronting Wall Signs.

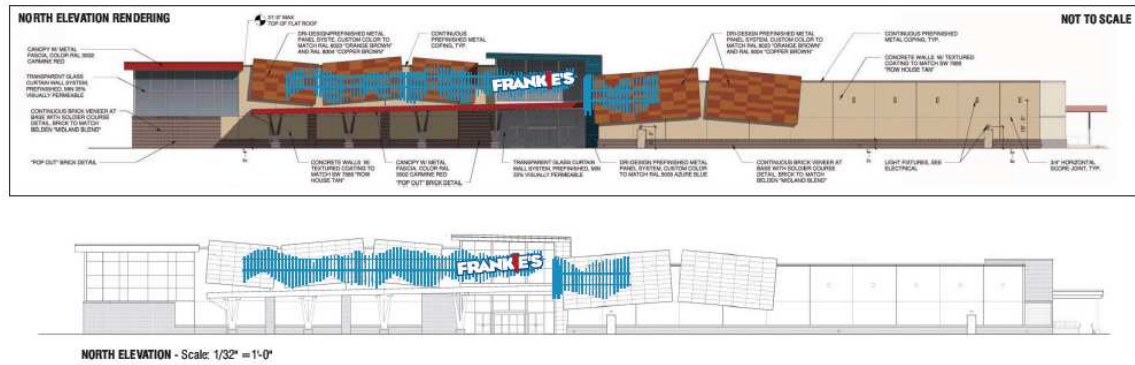




The East Elevation is 6,507 sf in area. The requested "Fin" sign area is 664 sf or 10.2%. The Sign Ordinance standard is 10% of the Wall Face area not to exceed 128 sf.

2. **Non Street fronting Wall Signs (North and South Facing Walls).** Frankie's is requesting to allow for an increased size of two Non Street fronting Wall Signs.





The North Elevation is 10,800 sf in area. The requested “Fin” sign area is 2,072 sf or 19.2%. The “Frankie’s” sign area is 272 sf or 2.5%. The Sign Ordinance allows for Non Street fronting Walls allows for up to 32 sf of sign area.



The South Elevation is 10,800 sf in area. The requested “Fin” sign area is 672 sf or 6.2%. The “Frankie’s” sign area is 110 sf or 1%. The Sign Ordinance allows for Non Street fronting Walls allows for up to 32 sf of sign area.

3. All other signs at Frankie’s would comply with current ordinance.

### Staff Recommendation

As a prerequisite to the establishment of such a special sign district, it must be determined that the modified rules established for said district shall:

- a) Preserve and enhance the special character of the particular area; and
- b) Not contravene the intent of this ordinance; and
- c) Cause no disturbance to neighboring property lying outside the proposed district.

Due to the unique nature and architecture of Frankie’s Staff supports the increase in allowed sign area. In doing so would not cause a disturbance to neighboring properties outside of the Bryton development.



<b>Planning Board Recommendation</b>
--------------------------------------

TBD.

<b>Attachments/Enclosures</b>
-------------------------------

Attachments

A – Application

B – Zoning Ordinance Article 10.11.1

C – Frankie’s Fun Park Sign Plan

D – Neighborhood Meeting

E – Bryton Special Sign District

**STATEMENT OF CONSISTENCY**

Per the North Carolina General Statutes § 160A-383 and Article 11.4.7 b-d of the Town of Huntersville Zoning Ordinance, rezoning actions must be accompanied by a *Statement of Consistency*. Two statements are provided below that need to be incorporated into the motion either to approve or deny the petitioner’s request.

**[Approve]**

In considering the proposed Special Sign District Overlay for the Bryton development the Town Board of Commissioners finds that it is consistent with the Town of Huntersville Zoning Ordinance and Community Plan. We recommend approving the Special Sign District, Petition S11-01, as presented. It is reasonable and in the public interest to approve the Special Sign District plan because..... (*Explain*)

OR

**[Deny]**

In considering the proposed Special Sign District Overlay for the Bryton development the Town Board of Commissioners finds that it contravenes the intent of the Town of Huntersville Zoning Ordinance and Community Plan. We recommend denial of the Special Sign District, Petition S11-01, as presented. It is not reasonable and not in the public interest to approve the Special Sign District plan because..... (*Explain*)





# General Application

***Incomplete submissions will not be accepted. Please check all items carefully.***

## 1. Application Type

Please indicate the type of application you are submitting. If you are applying for two (2) actions, provide a separate application for each action. **In addition to the application, the submission process for each application type can be found at**

<http://www.huntersville.org/Departments/Planning/PermitsProcess.aspx>

- ☐ CHANGE OF USE
- ☐ COMMERCIAL SITE PLAN
- ☐ CONDITIONAL REZONING
- ☐ GENERAL REZONING
- ☐ MASTER SIGNAGE PROGRAM
- ☒ REVISION to BRYTON MASTER SIGNAGE PROGRAM
- ☐ SPECIAL USE PERMIT

SUBDIVISION CATEGORIES: *Per the Huntersville Subdivision Ordinance*

- ☐ SKETCH PLAN
- ☐ PRELIMINARY PLAN
- ☐ FINAL PLAT (includes minor and exempt plats)
- ☐ FINAL PLAT REVISION
- ☐ FARMHOUSE CLUSTER

## 2. Project Data

Date of Application 07.31.17

Name of Project Frankie's of Huntersville Phase # (if subdivision) n/a

Location 10621 Bryton Corporate Center Drive Huntersville, NC 28078

Parcel Identification Number(s) (PIN) 019-131-49

Current Zoning District SP(CD) - Special Purpose District Proposed District (for rezonings only) n/a

Property Size (acres) 18.73 acres Street Frontage (feet) 1230 ft

Current Land Use HC

Proposed Land Use(s) HC

Is the project within Huntersville's corporate limits?

Yes ☒ No ☐ If no, does the applicant intend to voluntarily annex? \_\_\_\_\_

## 3. Description of Request

Briefly explain the nature of this request. If a separate sheet is necessary, please attach to this application.

Revision to the Master Sign program for Bryton to include the signage design for Frankie's, a family entertainment venue located within the development.

## 4. Site Plan Submittals

Consult the particular type of *Review Process* for the application type selected above. These can be found at <http://www.huntersville.org/Departments/Planning/PermitsProcess.aspx>.

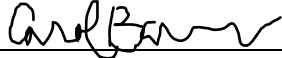


## 5. Outside Agency Information

Other agencies may have applications and fees associated with the land development process. The *Review Process* list includes plan documents needed for most town and county reviewing agencies.


For major subdivisions, commercial site plans, and rezoning petitions please enclose a copy of the Charlotte-Mecklenburg Utility *Willingness to Serve* letter for the subject property.

## 6. Signatures

\*Applicant's Signature  Printed Name Carol Bacon

Address of Applicant 2815 Coliseum Centre Drive, Suite 500 Charlotte, NC 28217

Email cbacon@adwarchitects.com

Property Owner's Signature (if different than applicant) 

Printed Name Doug Godley

Property Owner's Address 667 E. Bay St Charleston, SC 29403 Email dgodley@frankies.com

\* Applicant hereby grants permission to the Town of Huntersville personnel to enter the subject property for any purpose required in processing this application.

AAC	David Jarrett	7042954005	djarrett@aacusa.com
Development Firm	Name of contact	Phone	Email
ADW Architects	Carol Bacon	7043791923	cbacon@adwarchitects.com
Design Firm	Name of contact	Phone	Email

### If Applying for a General Rezoning:

Please provide the name and Address of owner(s) of fee simple title of **each** parcel that is included in this rezoning petition. If additional space is needed for signatures, attach an addendum to this application.

### If Applying for a Conditional Rezoning:

Every owner of each parcel included in this rezoning petition, or the owner (s) duly authorized agent, must sign this petition. If signed by an agent, this petition MUST be accompanied by a statement signed by the property owner (s) and notarized, specifically authorizing the agent to act on the owner (s) behalf in filing this petition. Failure of each owner, or their duly authorized agent, to sign, or failure to include the authority of the agent signed by the property owner, will result in an INVALID PETITION. **If additional space is needed for signatures, attach an addendum to this application.**

Signature, name, firm, address, phone number and email of Duly Authorized Agent by owner needed below:

### If Applying for a Subdivision:

By signature below, I hereby acknowledge my understanding that the Major Subdivision Sketch Plan Process is a quasi-judicial procedure and contact with the Board of Commissioners shall **only** occur under sworn testimony at the public hearing.

n/a

## Contact Information

Town of Huntersville	Phone:	704-875-7000
Planning Department	Fax:	704-992-5528
PO Box 664	Physical Address:	105 Gilead Road, Third Floor
Huntersville, NC 28070	Website:	<a href="http://www.huntersville.org/Departments/Planning.aspx">http://www.huntersville.org/Departments/Planning.aspx</a>



### 10.11 Master Signage Programs

Master signage programs establish two alternatives in providing latitude to develop appropriate signage designs for new or existing areas with special unifying features. The alternatives are the Special Sign Districts and the Planned Development Flexibility option. Special Sign Districts require approval by the Board of Commissioners following review and recommendation by the Huntersville Planning Board.

#### 10.11.1 Special Sign Districts

For the purpose of establishing, enhancing, preserving, and developing the character, quality, and property values of areas of unique character and special development potential, districts in which signs are regulated by special provisions may be established subject to the following conditions:

.1 As a prerequisite to the establishment of such a special sign district, it must be determined that the modified rules established for said district shall:

*a) Preserve and enhance the special character of the particular area; and*

*b) Not contravene the intent of this ordinance; and*

*c) Cause no disturbance to neighboring property lying outside the proposed district.*

.2 Without changing the basic structure of this ordinance, the modified rules for a special sign district may impose sign regulations which provide greater latitude or more stringent limitations than those provided elsewhere in this ordinance.

.3 The special sign district constitutes an overlay district and shall conform to the procedures of [Article 11](#) for purposes of adoption and administration. Districts for which special sign regulations may be imposed include, but shall not be limited to the Town Center District, the Neighborhood Center District, the TND-U and TND-R districts, and any future Historic District Overlay(s).



# FRANKIE'S

## Charlotte, North Carolina

### EXTERIOR SIGNAGE SUBMITTAL

Submitted: July 28th, 2016  
Revised: November 1st, 2017



Submitted By:

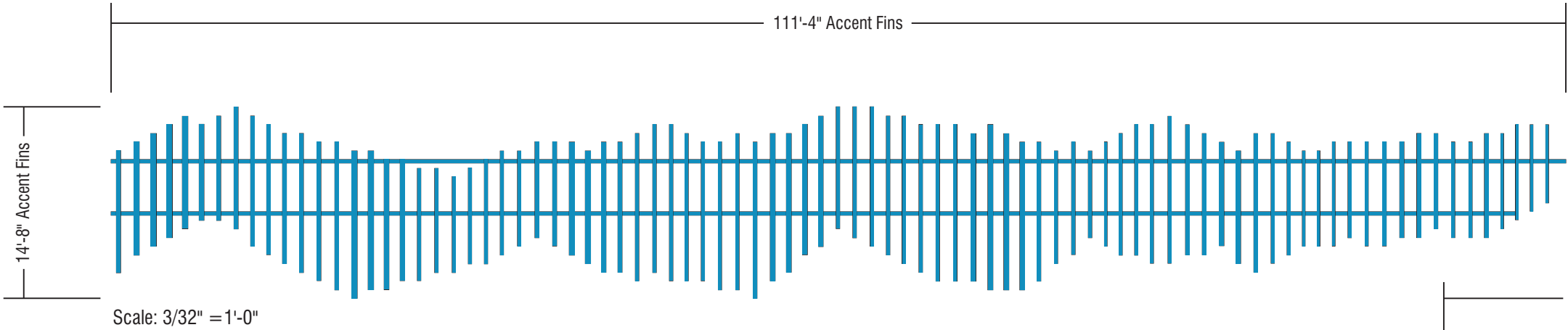
CAPITAL SIGN SOLUTIONS

adwarchitects  
environmentsforlife




$(14'-8" \times 111'-4" = 1,632.89 \text{ Sq Ft}) + (15'-4" \times 28'-8" = 439.56 \text{ Sq Ft}) = 2,072.45 \text{ Sq Ft PROPOSED}$

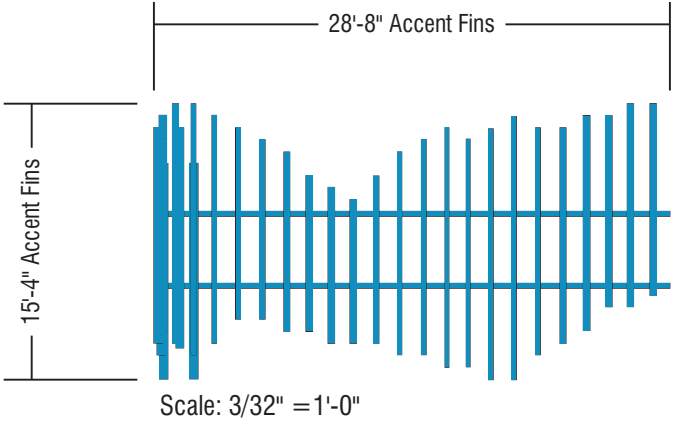
NORTH ELEVATION



Non-lighted Building Accent "Fins" constructed of aluminum and finished to match PANTONE 89-1-4 C.

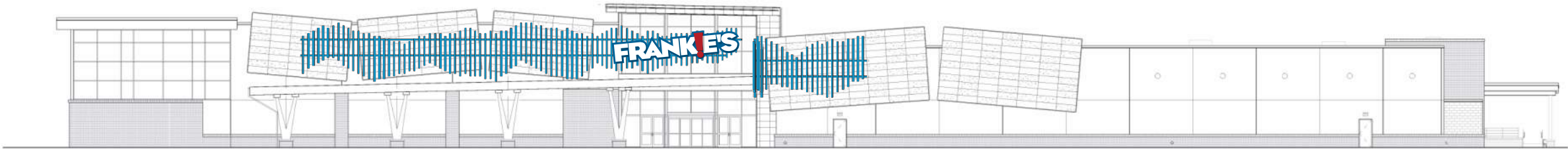
Accent "Fins" mounted to Building Fascia via aluminum sub-frame and non-corrosive fasteners. Exact Mounting Details TBD.

 Accent "Fins": painted to match PANTONE 89-1-4 C (finish TBD)



NORTH ELEVATION RENDERING

NOT TO SCALE



NORTH ELEVATION - Scale: 1/32" = 1'-0"



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Raleigh, NC 27616  
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Client:



Filename:

Frankies Charlotte  
Exterior Signage (6)

Date:

07-27-16

Designer:

HH

Drawing No:

H-QT4678-1

Scale:

As Noted

Revision 1:

09/14/16

Revision 2:

09/29/16

Revision 3:

03/28/17

Revision 4:

04/03/17

Revision 5:

11/01/17

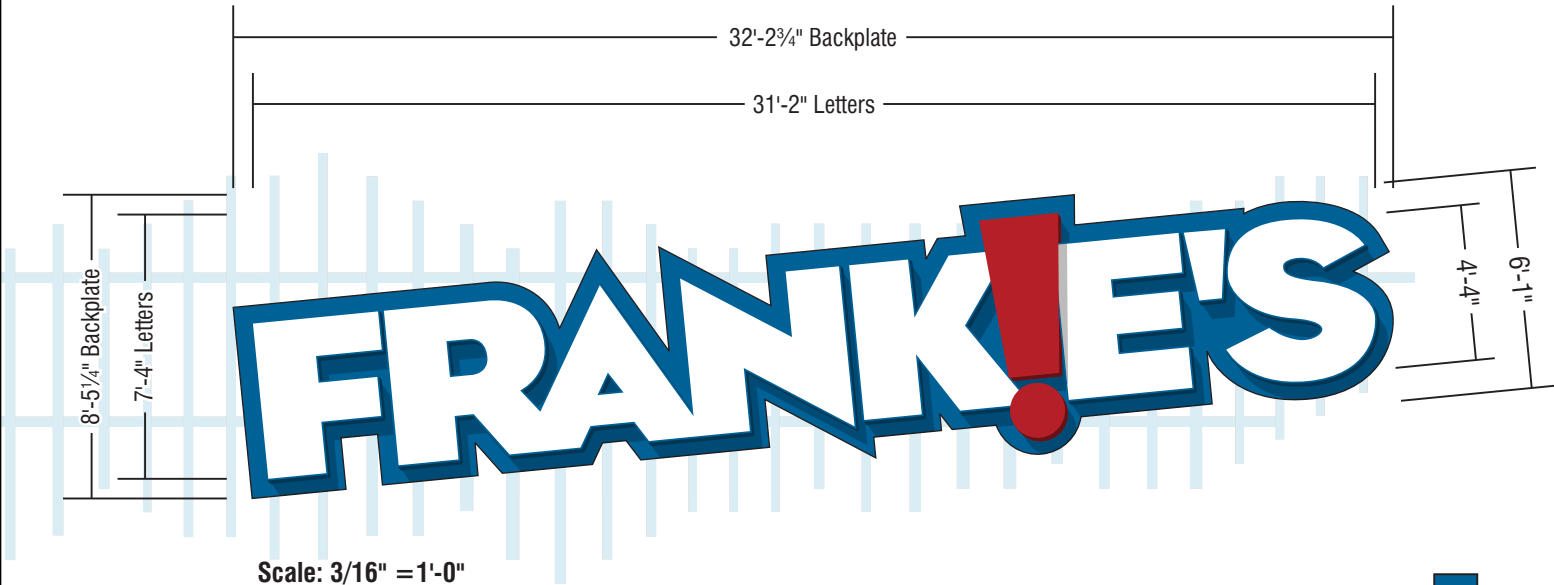
Revision 6:

Client Approval:

Landlord Approval:



8'-5¼" x 32'-2¾" = 271.93 Sq Ft PROPOSED  
(Note that this Letter Sq Ft is contained within the Accent "Fins" Sq Ft)

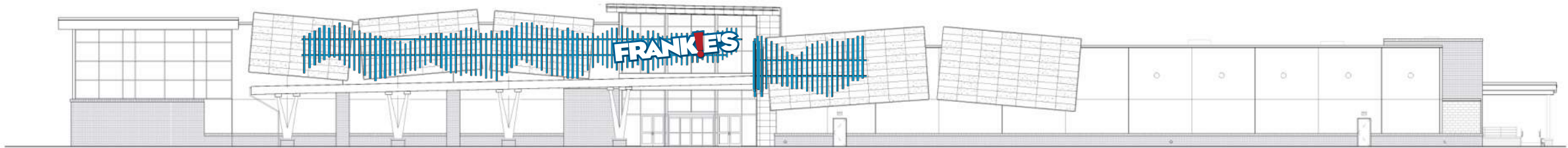
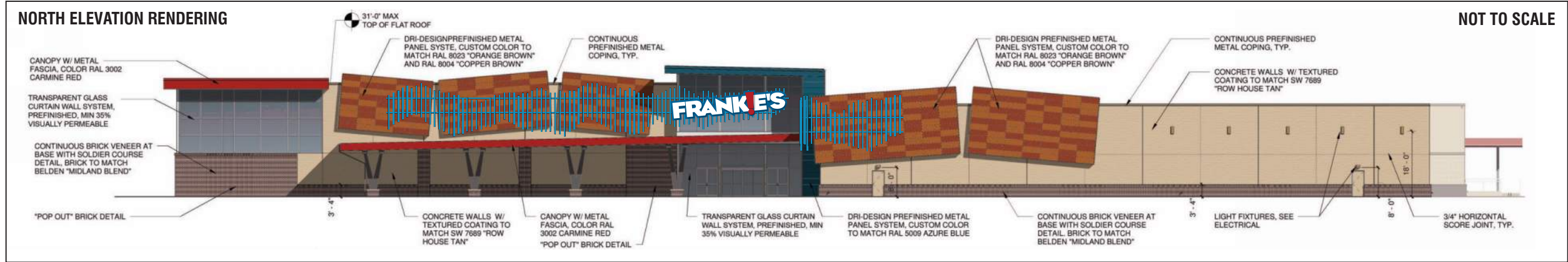
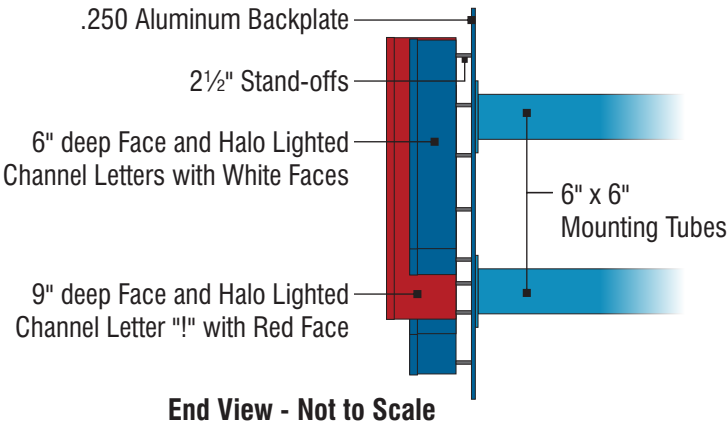


(1) Set of Face/Halo Lighted Channel Letters constructed of aluminum (6" deep & 9" deep for "!"). Letters finished to match PMS 7691 Blue. "!" finished to match PMS 7621 Red. Trimcap to match Returns. Letter faces of White Acrylic (! to have translucent Red Vinyl). Letter Backs of Clear Lexan (for Halo Illumination). Face illumination via White LEDs. Halo illumination via Blue LEDs. 120 Volts. All wiring UL approved.

Letters mounted to .250 Aluminum Backplate with 2½" stand-off spacers. Backplate mounted to curved fascia via 6" x 6" Sq Tubes with non-corrosive fasteners. Specific Mounting Details TBD.

- Letter Returns: painted to match PMS 7691 Blue (satin finish)
- Letter Trimcap: 1" Jewelite Trim to match PMS 7691 Blue
- Letter Faces: White Acrylic
- !" Returns: painted to match PMS 7621 Red (satin finish)
- !" Trimcap: 1" Jewelite Trim to match PMS 7621 Red
- !" Face: White Acrylic with 3M 3630-73 Dark Red Vinyl
- Face Illumination: White LEDs
- Halo Illumination: Blue LEDs
- Backplate: painted to match PMS 7691 Blue (satin finish)
- Mounting Tubes/Plates: painted to match PANTONE 89-1-4 C (finish TBD)

NORTH ELEVATION



NORTH ELEVATION - Scale: 1/32" = 1'-0"



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Client:



Filename:  
**Frankies Charlotte  
Exterior Signage (6)**

Date:  
**07-27-16**

Designer:  
**HH**

Drawing No:  
**H-QT4678-2**

Scale:  
**As Noted**

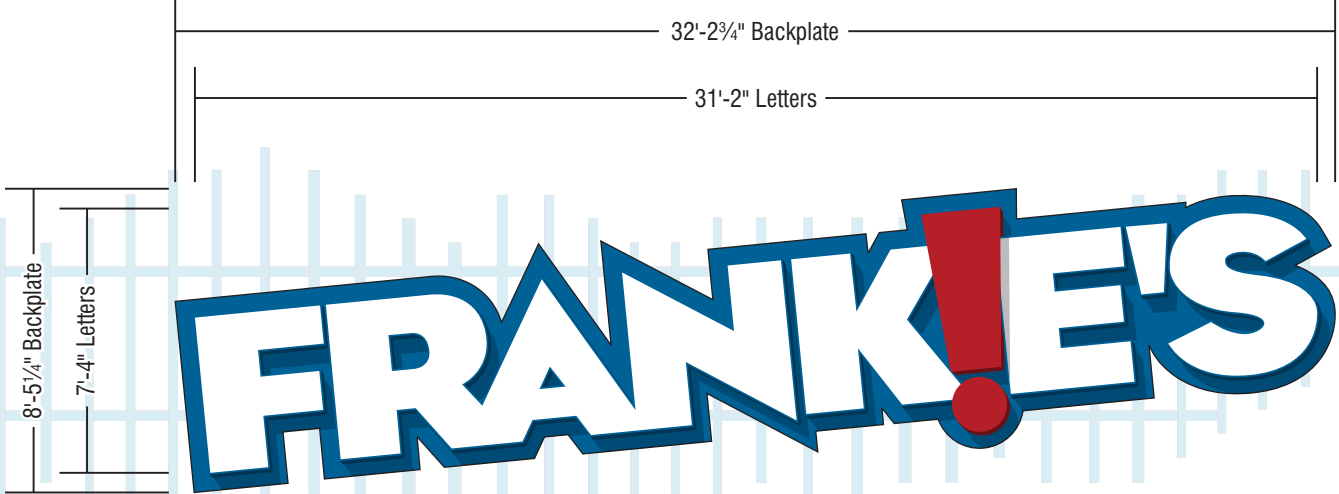
Revision 1: **09/14/16**  
Revision 2: **09/29/16**  
Revision 3: **03/28/17**  
Revision 4: **04/03/17**  
Revision 5: **09/22/17**  
Revision 6: **11/01/17**

Client Approval:

Landlord Approval:



NORTH ELEVATION



Scale: 3/16" = 1'-0"



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Filename:  
**Frankies Charlotte  
Exterior Signage (6)**

Date:  
**11-01-17**

Designer:  
**HH**

Drawing No:  
**H-QT4678-3**

Scale:  
**As Noted**

- Revision 1:
- Revision 2:
- Revision 3:
- Revision 4:
- Revision 5:
- Revision 6:

Client Approval:

Landlord Approval:



18'-8" x 36'-0" = 672.0 Sq Ft PROPOSED

SOUTH ELEVATION



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Client:



Filename:

Frankies Charlotte  
Exterior Signage (6)

Date:

07-27-16

Designer:

HH

Drawing No:

H-QT4678-4

Scale:

As Noted

Revision 1:

09/14/16

Revision 2:

03/28/17

Revision 3:

04/03/17

Revision 4:

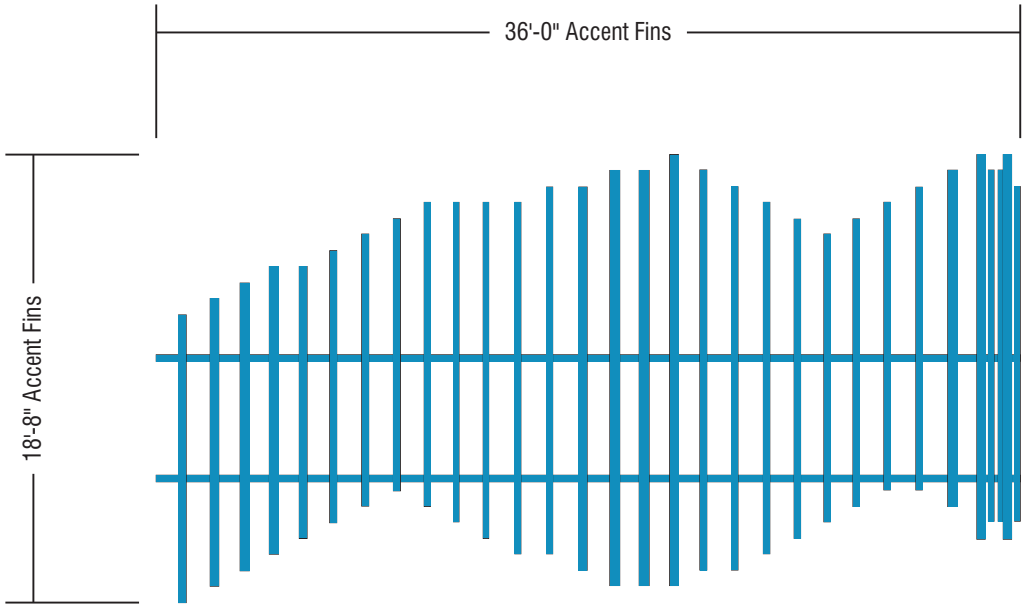
11/01/17

Revision 5:

Revision 6:

Client Approval:

Landlord Approval:

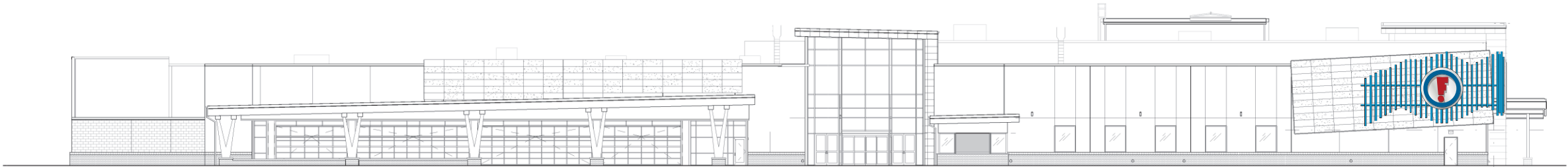
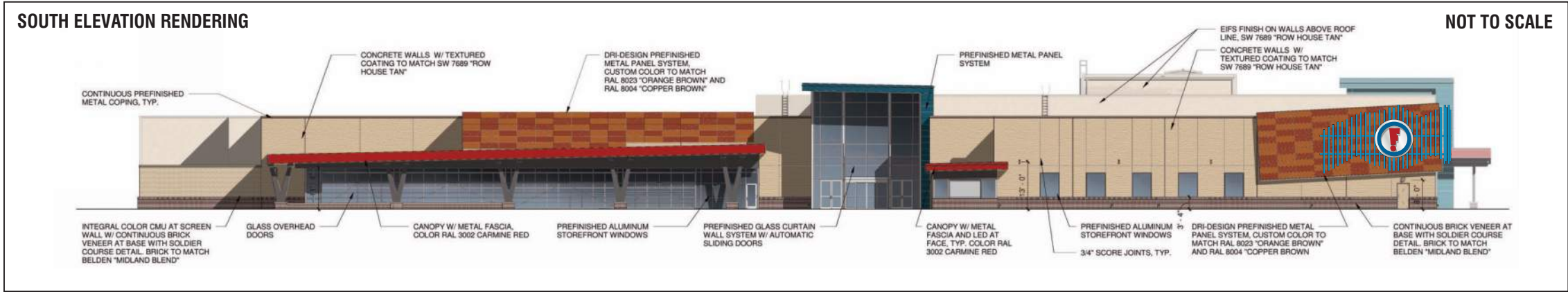


Scale: 1/8" = 1'-0"

Non-lighted Building Accent "Fins" constructed of aluminum and finished to match PANTONE 89-1-4 C.

Accent "Fins" mounted to Building Fascia via aluminum sub-frame and non-corrosive fasteners. Exact Mounting Details TBD.

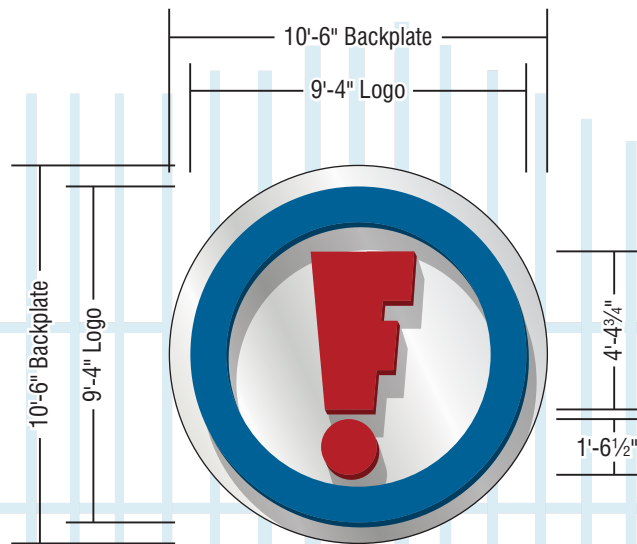
Accent "Fins": painted to match PANTONE 89-1-4 C (finish TBD)



SOUTH ELEVATION - Scale: 1/32" = 1'-0"



10'-6" x 10'-6" = 110.25 Sq Ft PROPOSED  
(Note that this Letter Sq Ft is contained within the Accent "Fins" Sq Ft)



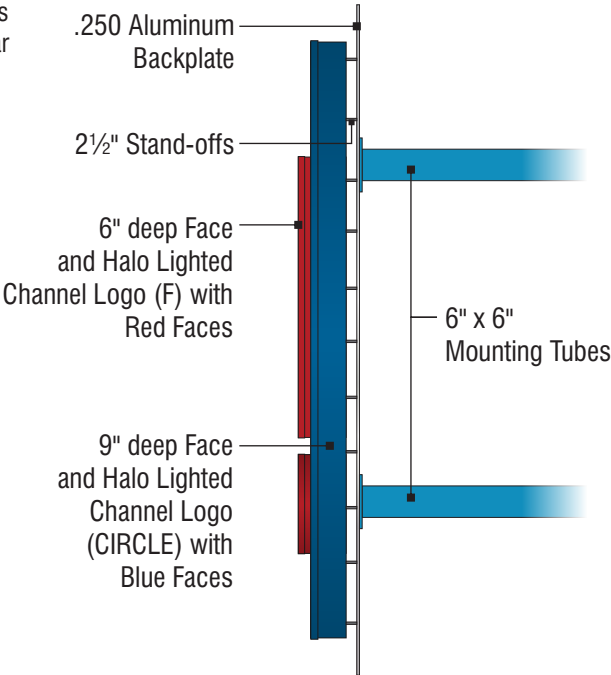
Scale: 3/16" = 1'-0"

(1) Face/Halo Lighted Channel Logo constructed of aluminum (Circle 6" deep, Letter 9" deep). Circle finished to match PMS 7691 Blue. Letter finished to match PMS 7621 Red. Trimcap to match Returns. Logo Faces of White Acrylic with translucent Red & Blue Vinyls). Logo Backs of Clear Lexan (for Halo Illumination). Face & Halo illumination via White LEDs. 120 Volts. All wiring UL approved.

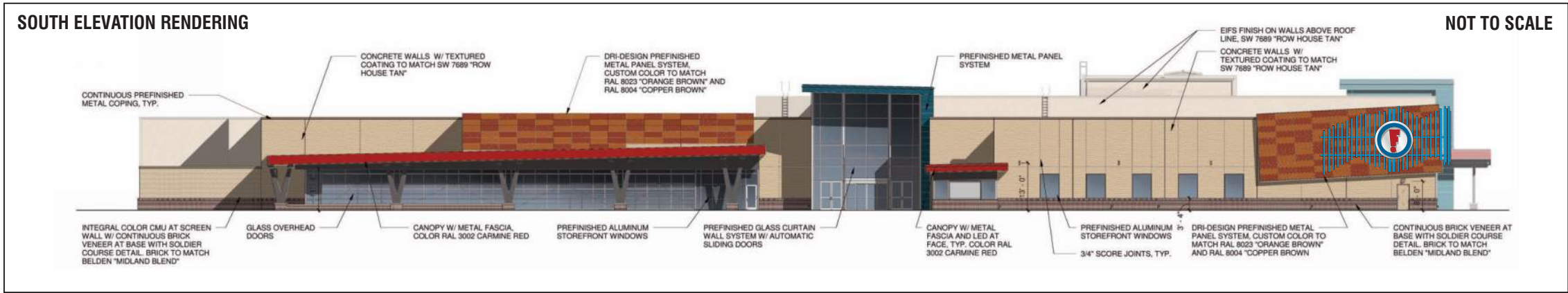
Logo mounted to .250 Aluminum Backplate with 2 1/2" stand-off spacers. Backplate mounted to curved fascia via 6" x 6" Sq Tubes with non-corrosive fasteners. Specific Mounting Details TBD.

- Circle Return: painted to match PMS 7691 Blue (satin finish)
- Circle Trimcap: 1" Jewelite Trim to match PMS 7691 Blue
- Circle Face: White Acrylic with 3M 3630-147 Light European Blue Vinyl
- Letter Returns: painted to match PMS 7621 Red (satin finish)
- Letter Trimcap: 1" Jewelite Trim to match PMS 7621 Red
- Letter Faces: White Acrylic with 3M 3630-73 Dark Red Vinyl
- Face & Halo Illumination: White LEDs
- Backplate: Clear Anodized Aluminum
- Mounting Tubes/Plates: painted to match PANTONE 89-1-4 C (finish TBD)

SOUTH ELEVATION



End View - Not to Scale



SOUTH ELEVATION - Scale: 1/32" = 1'-0"



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Filename:  
Frankies Charlotte  
Exterior Signage (6)

Date:  
07-27-16

Designer:  
HH

Drawing No:  
H-QT4678-5

Scale:  
As Noted

- Revision 1: 09/14/16
- Revision 2: 03/28/17
- Revision 3: 04/03/17
- Revision 4: 09/22/17
- Revision 5: 11/01/17
- Revision 6:

Client Approval:

Landlord Approval:



SOUTH ELEVATION



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Client:



Filename:

**Frankies Charlotte  
Exterior Signage (6)**

Date:

**11-01-17**

Designer:

**HH**

Drawing No:

**H-QT4678-6**

Scale:

**As Noted**

Revision 1:

Revision 2:

Revision 3:

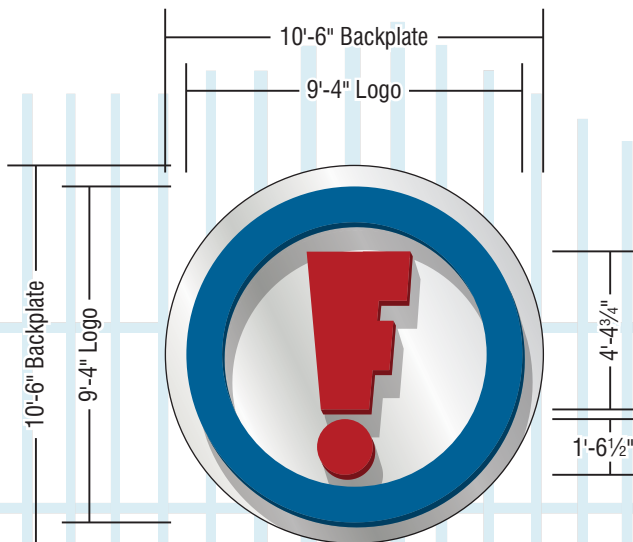
Revision 4:

Revision 5:

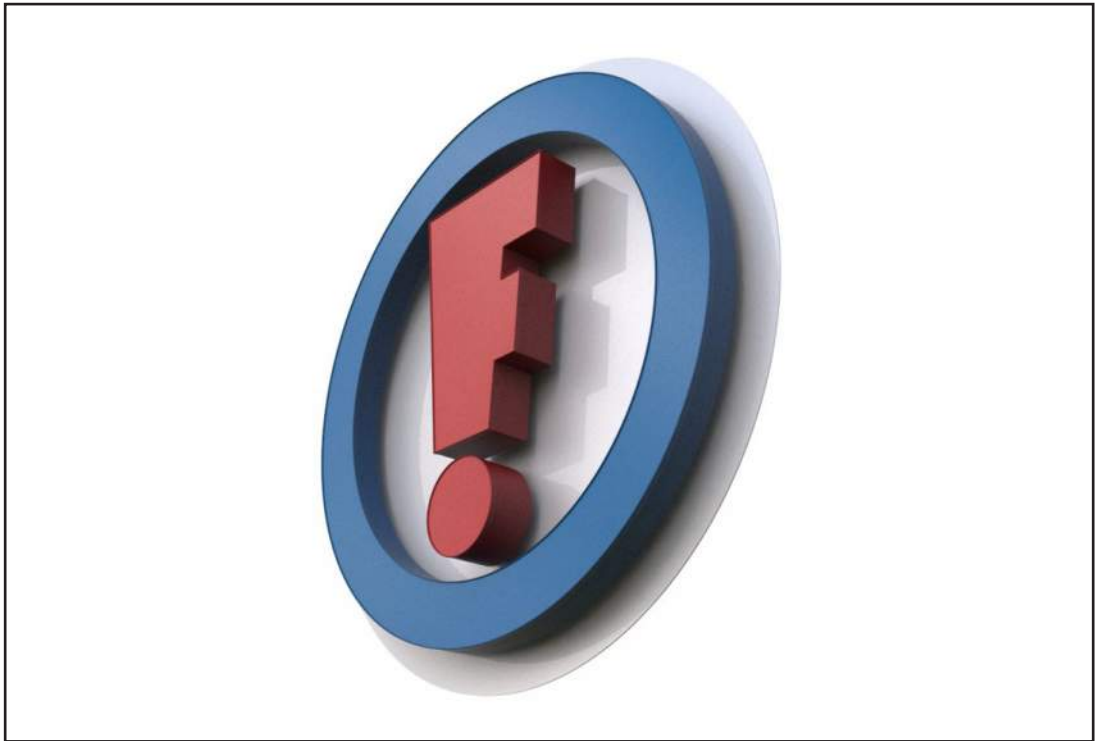
Revision 6:

Client Approval:

Landlord Approval:



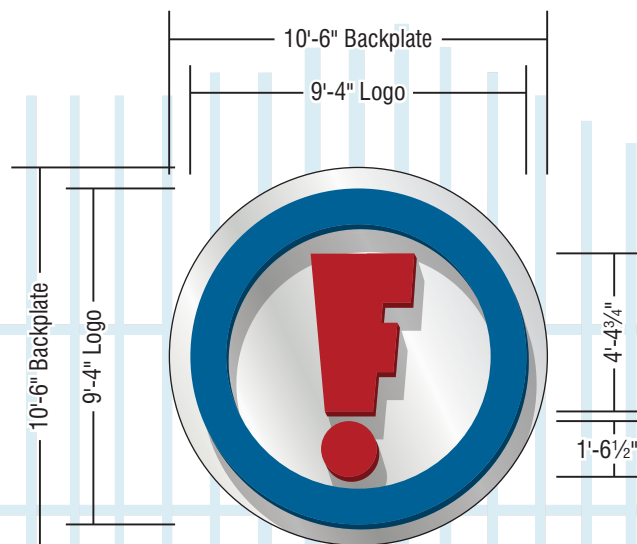
Scale: 3/16" = 1'-0"



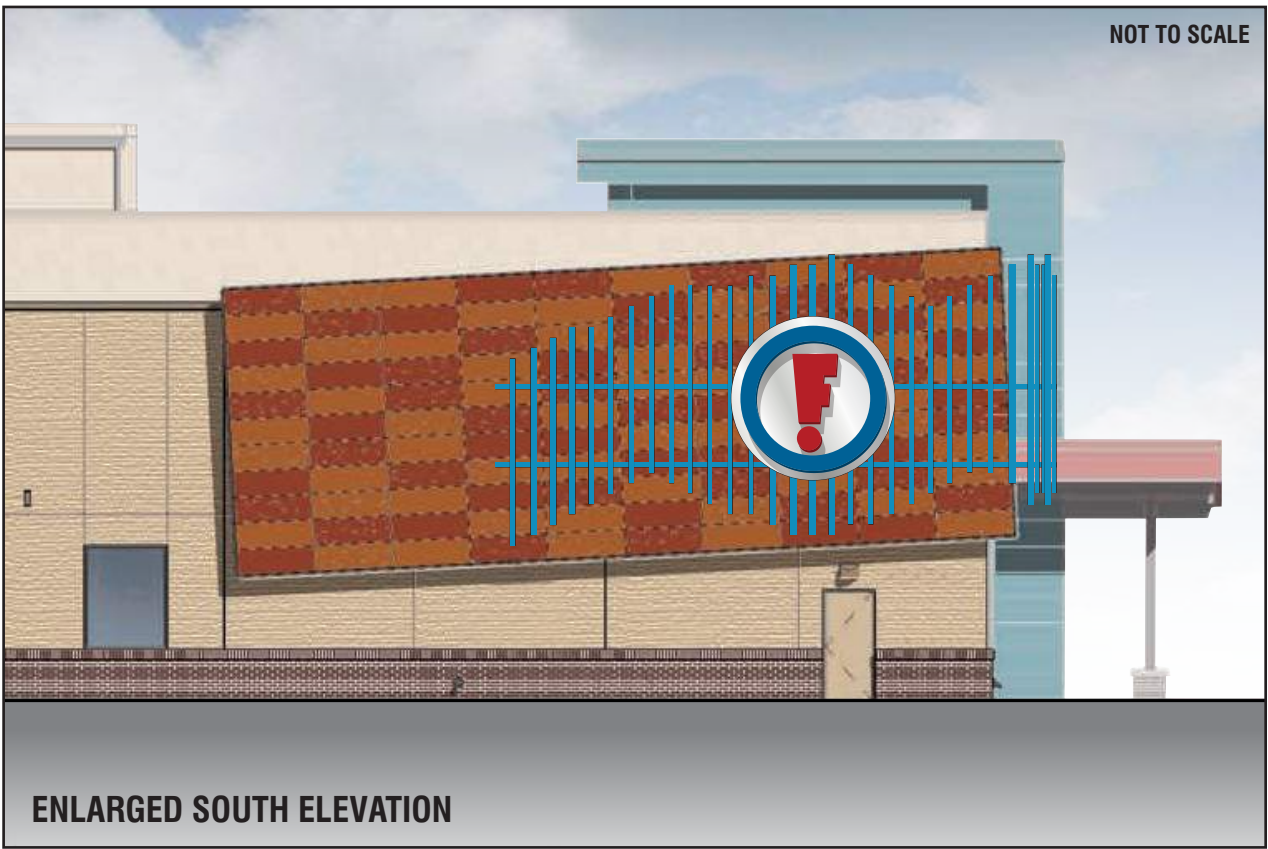


ALTERNATE OPTION SHOWN WITH BLUE & RED HALO

SOUTH ELEVATION



Scale: 3/16" = 1'-0"



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Client:



Filename:

**Frankies Charlotte  
Exterior Signage (6)**

Date:

**11-01-17**

Designer:

**HH**

Drawing No:

**H-QT4678-7**

Scale:

**As Noted**

Revision 1:

Revision 2:

Revision 3:

Revision 4:

Revision 5:

Revision 6:

Client Approval:

Landlord Approval:



COLOR OPTIONS

SOUTH ELEVATION

OPTION A

NOT TO SCALE

ENLARGED SOUTH ELEVATION

NIGHT-TIME VIEW

Red Face and Return for "F", Blue Face and Return for Circle, Annodized Aluminum Backplate - WHITE HALO

OPTION D

NOT TO SCALE

ENLARGED SOUTH ELEVATION

NIGHT-TIME VIEW

White Faces for "F" and Circle, Red Return for "F", Blue Return for Circle, Blue Backplate - BLUE & RED HALO

OPTION B

NOT TO SCALE

ENLARGED SOUTH ELEVATION

NIGHT-TIME VIEW

Red Face and Return for "F", Blue Face and Return for Circle, White Backplate - WHITE HALO

OPTION E

NOT TO SCALE

ENLARGED SOUTH ELEVATION

NIGHT-TIME VIEW

Red Face and Return for "F" and Circle, Annodized Aluminum Backplate - WHITE HALO

OPTION C

NOT TO SCALE

ENLARGED SOUTH ELEVATION

NIGHT-TIME VIEW

Red Face and Return for "F", White Face and Blue Return for Circle, Blue Backplate - BLUE & WHITE HALO

OPTION F

NOT TO SCALE

ENLARGED SOUTH ELEVATION

NIGHT-TIME VIEW

Blue Face and Return for "F" and Circle, Annodized Aluminum Backplate - WHITE HALO



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Client:



Filename:

Frankies Charlotte  
Exterior Signage (6)

Date:

11-01-17

Designer:

HH

Drawing No:

H-QT4678-8

Scale:

Not to Scale

Revision 1:

Revision 2:

Revision 3:

Revision 4:

Revision 5:

Revision 6:

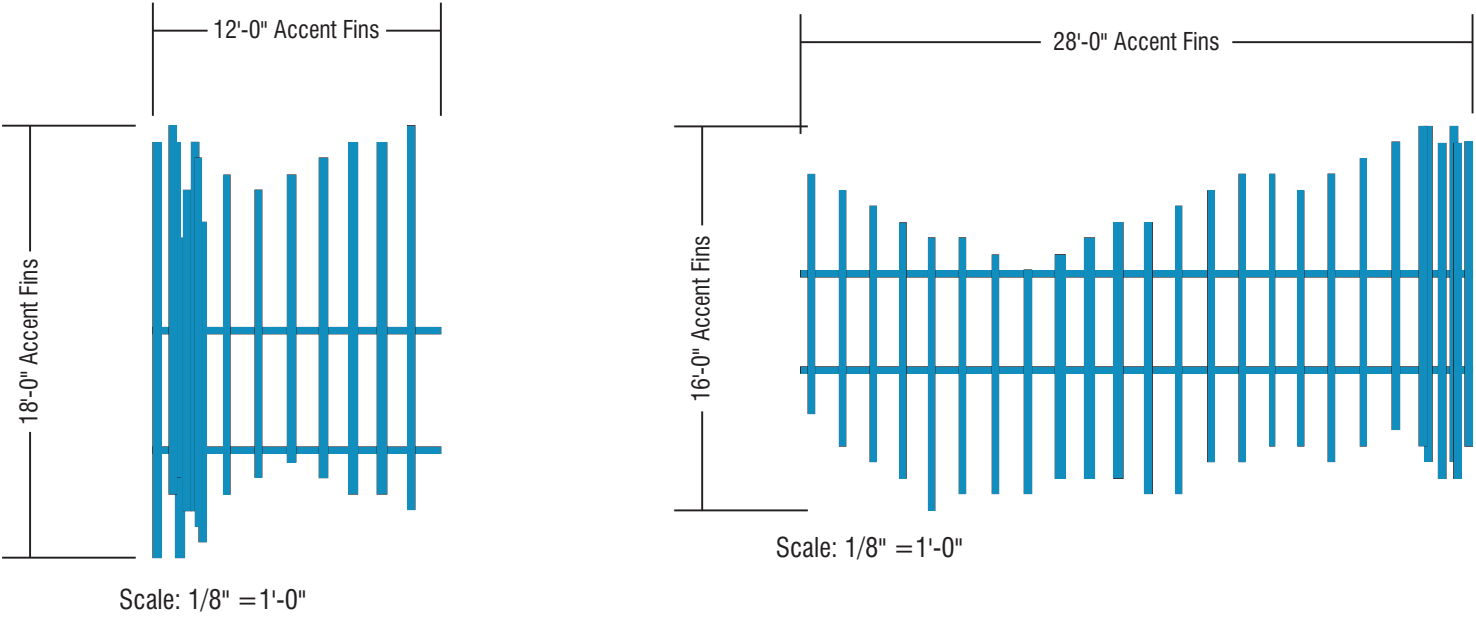
Client Approval:

Landlord Approval:



(18'-0" x 12'-0" = 216.0 Sq Ft) + (16'-0" x 28'-0" = 448.0 Sq Ft) = **664.0 Sq Ft PROPOSED**

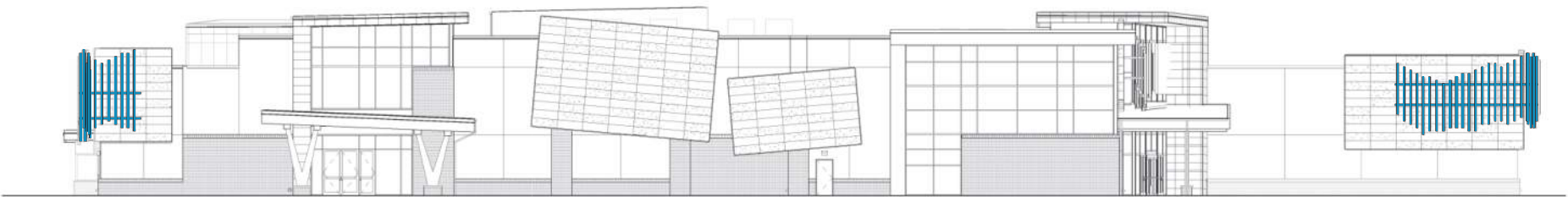
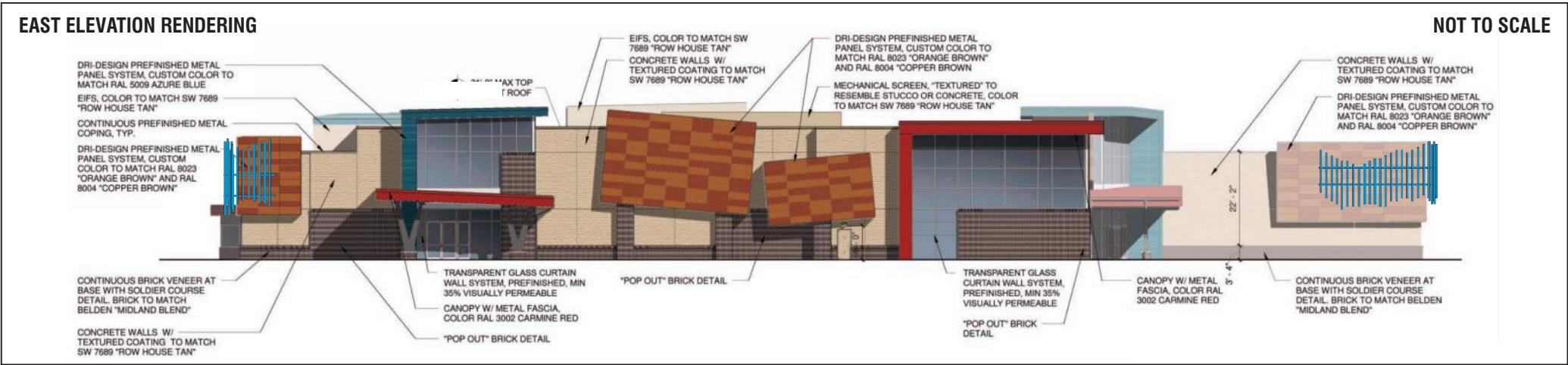
EAST ELEVATION



Non-lighted Building Accent "Fins" constructed of aluminum and finished to match PANTONE 89-1-4 C.

Accent "Fins" mounted to Building Fascia via aluminum sub-frame and non-corrosive fasteners. Exact Mounting Details TBD.

 Accent "Fins": painted to match PANTONE 89-1-4 C (finish TBD)



EAST ELEVATION - Scale: 1/32" = 1'-0"



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Client:



Filename:

Frankies Charlotte  
Exterior Signage (6)

Date:

07-27-16

Designer:

HH

Drawing No:

H-QT4678-9

Scale:

As Noted

Revision 1:

09/14/16

Revision 2:

09/29/16

Revision 3:

03/28/17

Revision 4:

04/03/17

Revision 5:

Revision 6:

Client Approval:

Landlord Approval:



“FINS” SUB-FRAME & SUPPORTS FOR LETTERS



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Client:



Filename:

**Frankies Charlotte  
Exterior Signage (6)**

Date:

**09-14-16**

Designer:

**HH**

Drawing No:

**H-QT4678-10**

Scale:

**Not to Scale**

Revision 1:

Revision 2:

Revision 3:

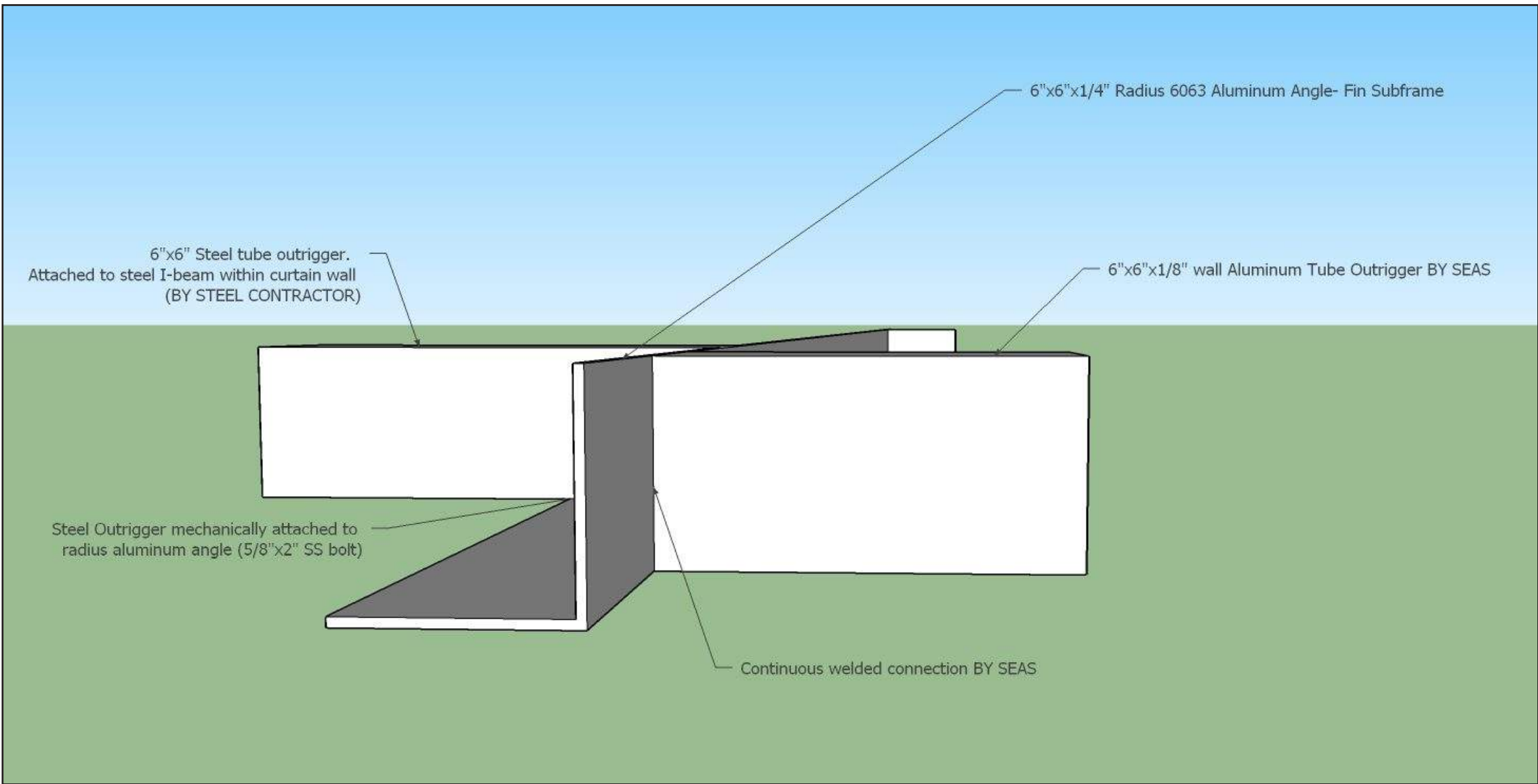
Revision 4:

Revision 5:

Revision 6:

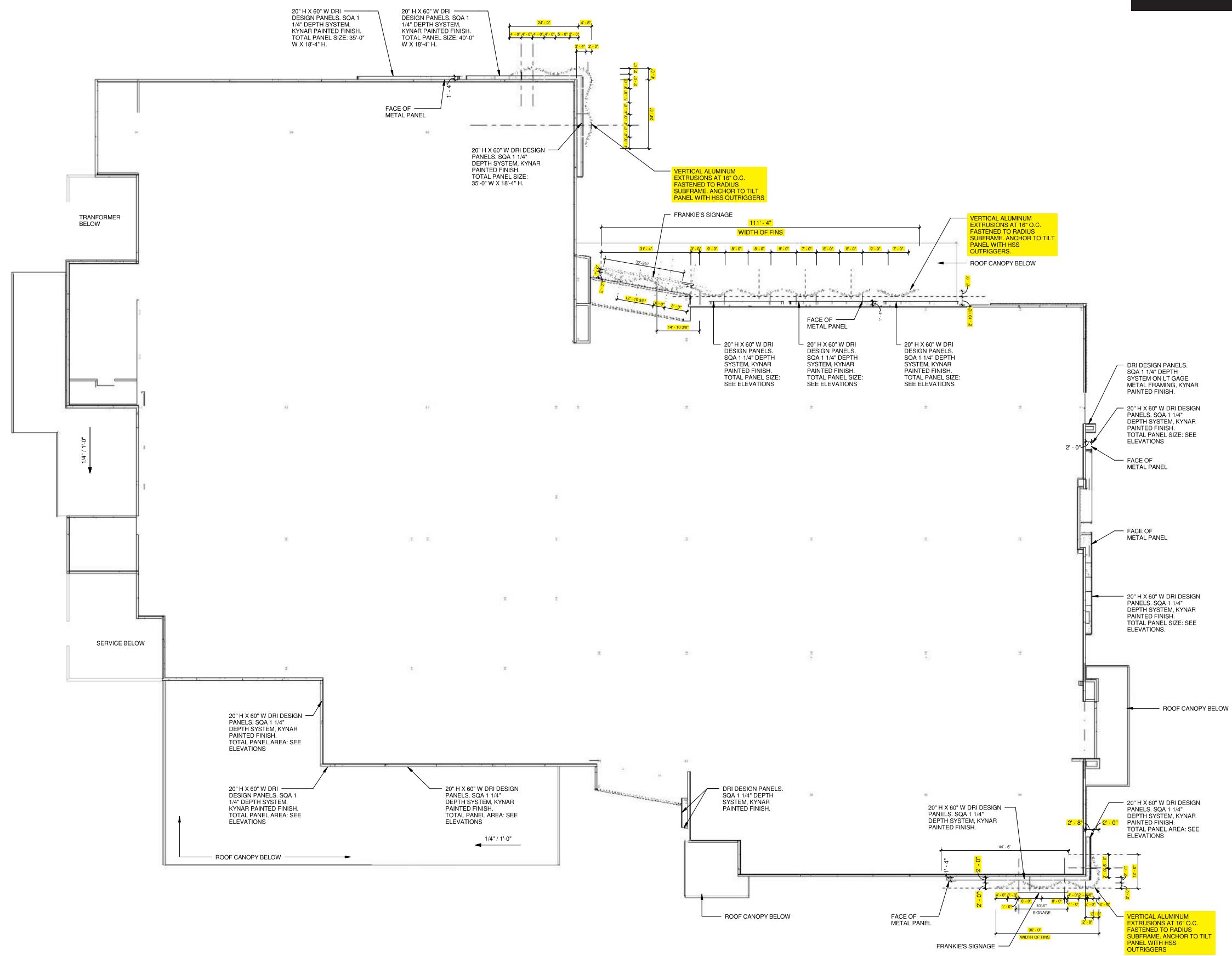
Client Approval:

Landlord Approval:





“FINS” SITE PLAN



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Client:



Filename:  
**Frankies Charlotte  
Exterior Signage (6)**

Date:  
**09-14-16**

Designer:  
**HH**

Drawing No:  
**H-QT4678-11**

Scale:  
**Not to Scale**

Revision 1: **04/03/17**

Revision 2: **11/01/17**

Revision 3:

Revision 4:

Revision 5:

Revision 6:

Client Approval:

Landlord Approval:



SITE PLAN



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Client:



Filename:

**Frankies Charlotte  
Exterior Signage (6)**

Date:

**07-27-16**

Designer:

**HH**

Drawing No:

**H-QT4678-12**

Scale:

**Not to Scale**

Revision 1:

**09/14/16**

Revision 2:

**09/29/16**

Revision 3:

**03/28/17**

Revision 4:

**04/03/17**

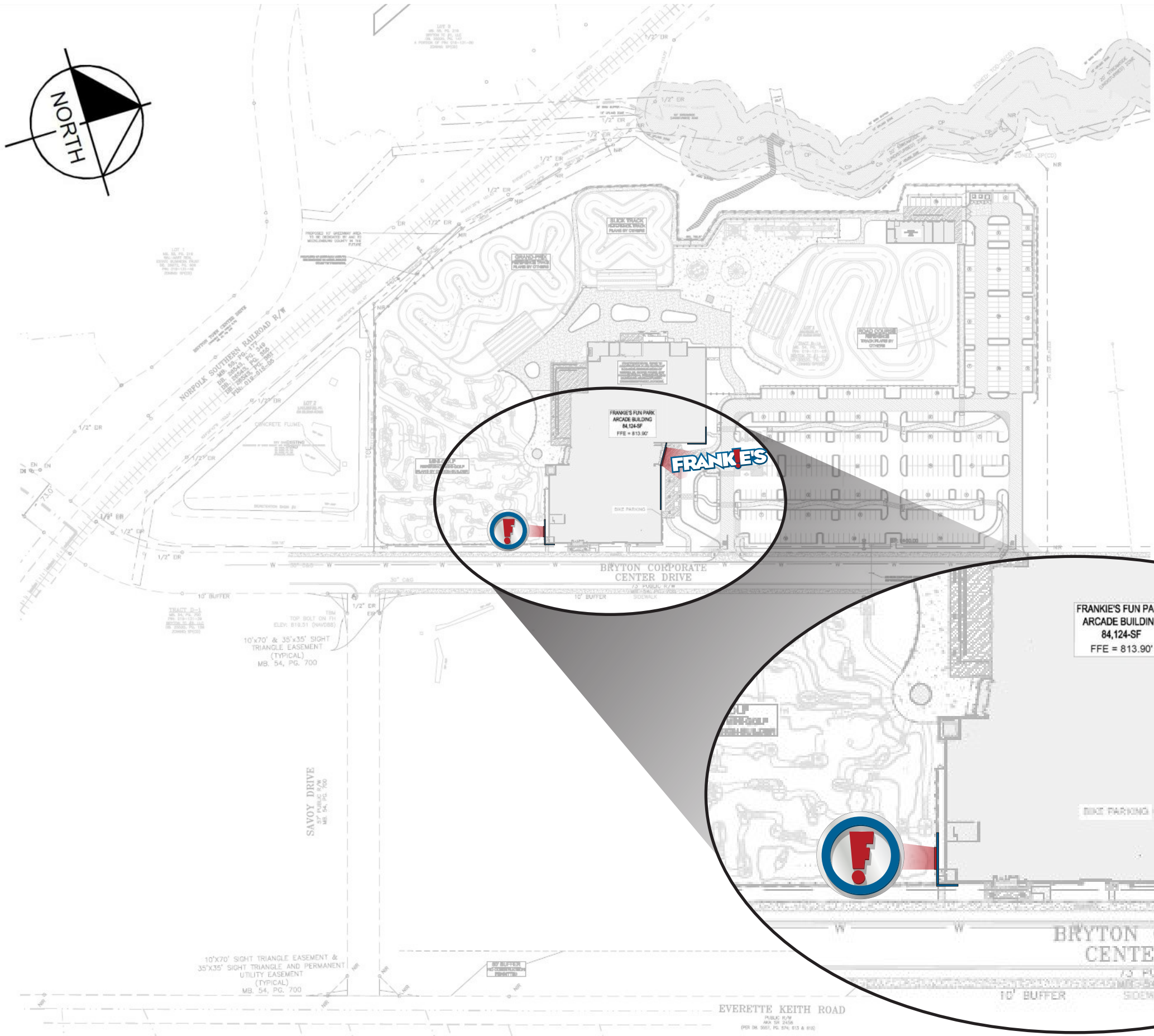
Revision 5:

**11/01/17**

Revision 6:

Client Approval:

Landlord Approval:



SITE PLAN LEGEND

- Architectural "Fins"
- Lighted Channel Letters



## Frankie's Fun Park

Bryton Corporate Center Parkway, Huntersville  
#16008

### Meeting Minutes

Meeting: Neighborhood Meeting for Proposed Amendment to Bryton Master Signage Program  
Date: Monday, September 25, 2017 at 5:30pm  
Location: Town of Huntersville – Town Hall  
101 Huntersville-Concord Rd  
Huntersville, NC 28078  
Issue Date: October 10, 2017

### Attendees:

Name	Initials	Company	Phone	E-mail
Brian Richards	BR	Town of Huntersville	704.766.2218	Brichards@huntersville.org
Carol Bacon	CB	ADW Architects	704.379.1919	<a href="mailto:cbacon@adwarchitects.com">cbacon@adwarchitects.com</a>
Bob Lauer	BL	ADW Architects	704.379.1919	<a href="mailto:blauer@adwarchitects.com">blauer@adwarchitects.com</a>
Dan Boone	DB	Commissioner, Town of Huntersville	704.948.1685	dboone@huntersville.org

The purpose of this meeting was to present the proposed amendment for the Bryton Master Sign Program for the exterior signage at Frankie's for the public to review. This was the first phase of the approval process with the Town of Huntersville Planning Department.

The following is a summary of the major items discussed at this meeting:

	Description	Action
<b>1</b>	<b>Review of Signage</b>	
1.1	CB/BR reviewed with DB the locations of the proposed exterior signage.	
1.2	The group discussed the typical requirements for signage under the Zoning Ordinance. BR explained that the signage amendment goes through the same process as a rezoning item.	
1.3	DB asked BR about any potential concerns or issues with the proposal. BR explained that the uniqueness and scale of the Frankie's project warrants a separate review for exterior signage. BR stated that he does not have any concerns about the proposed signage design.	

To the best of our knowledge, the items above were discussed as indicated. Should there be any additions or corrections necessary, please notify ADW Architects within seven days. We will otherwise consider these meeting minutes an accurate record for proceeding with the necessary "actions", unless informed otherwise.



Prepared by: Carol Bacon, ADW Architects, p.a.

Attachments:  
Sign-in Sheet

Copies via e-mail distribution: Attendees, David Jarrett (AAC)



SIGN-IN SHEET

DAN BOONE

317 South Lane Rd.



4-6-11

# UNIFIED SIGNAGE PACKAGE

## BRYTON

Prepared for:

**BRYTON**  
A Transit-Oriented Development  
Huntersville, North Carolina

American Asset Corporation  
Charlotte, North Carolina

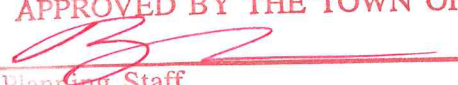
Rhein Medall Communities  
Charlotte, North Carolina

Prepared by:

LandDesign, Inc.  
Charlotte, North Carolina

WRG Design, Inc.  
Charlotte, North Carolina

April 2008  
Revised March 2011

COMMERCIAL SITE PLAN  
APPROVED BY THE TOWN OF HUNTERSVILLE  
 5/6/11  
Planning Staff Date



UNIFIED SIGNAGE PACKAGE  
BRYTON

Prepared for:



American Asset Corporation  
Charlotte, North Carolina

Rhein Medall Communities  
Charlotte, North Carolina

Prepared by:

LandDesign, Inc.  
Charlotte, North Carolina

WRG Design, Inc.  
Charlotte, North Carolina

April 2008  
Revised March 2011

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# UNIFIED SIGNAGE PACKAGE

## BRYTON

Table of Contents:	Page:
I. Signage Precedents	3
II. Signage Plan	
A. Overall Signage Masterplan	4-5
III. Signage Concepts	
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B. Major Neighborhood Monument Sign	7
C. Retail Signs	
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ii. Secondary Retail Sign	10
D. Corporate Signs	
i. Primary Corporate Sign	11
ii. Secondary Corporate Sign	12
E. Residential Signs	13-14
F. Directional Signs	15-17
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H. Trail Markers	20
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K. Building Signage	23-24
IV. Logos	25





# UNIFIED SIGNAGE PACKAGE

## BRYTON



Unified Development Sign



Painted Wall Sign



Wall/Plaque Sign



Hanging Sign

### SIGNAGE AND WAYFINDING

The family of signs that have been designed for Bryton reflect the community's personality and use common elements to create a cohesive wayfinding system. Stone, concrete, masonry, painted aluminum and the Bryton graphic are combined to present a distinctive look that defines this community.

The maximum amount of allowable wall mounted signage per individually constructed tenant space of on non-street fronting wall shall not exceed 25% of the area of the street fronting sign, up to a maximum of 32 square feet. This 25% increase may only be used on one non-street fronting wall.



Awnings on Main Street



Window Sign



Entry Monument



Banners and Awnings

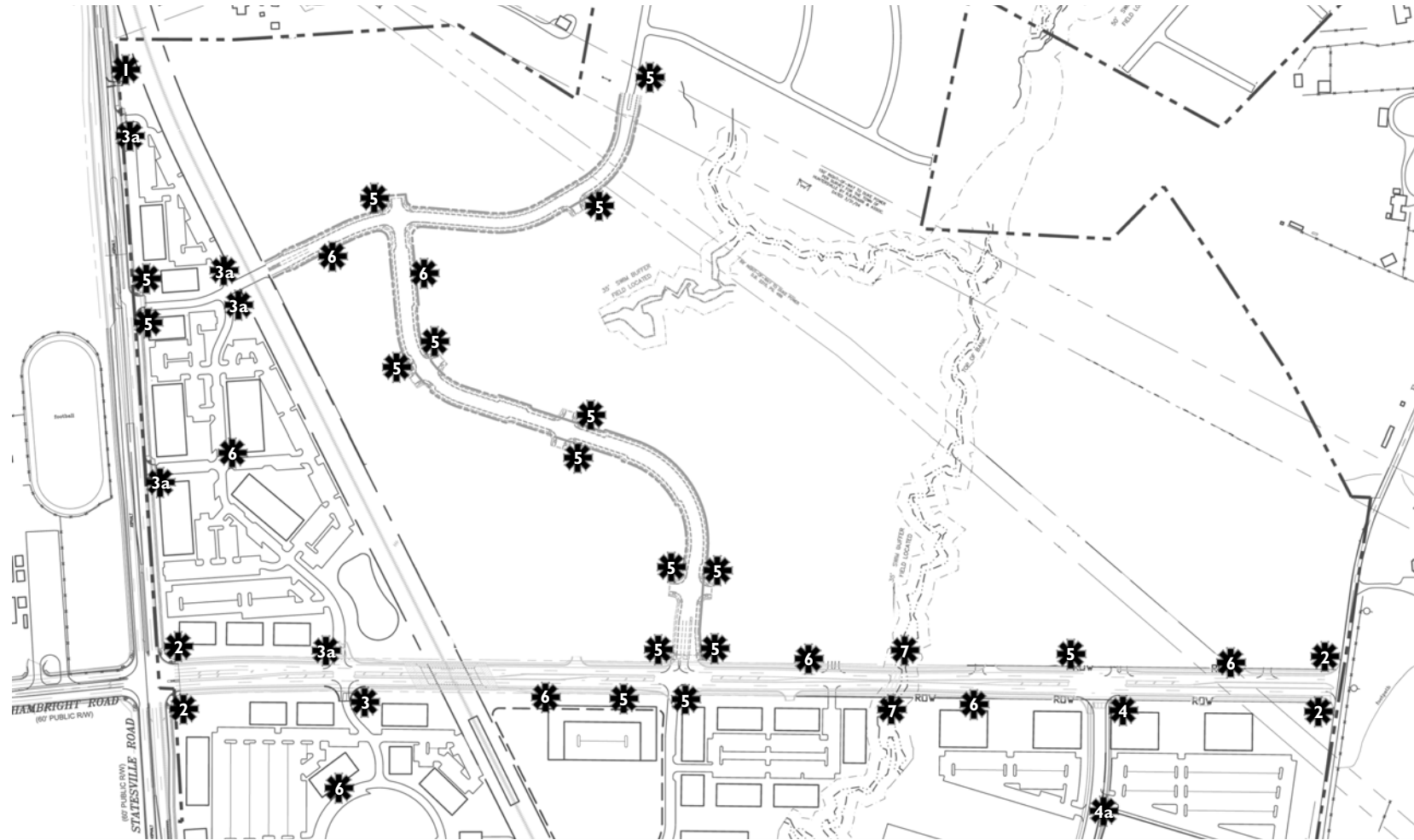


Park Monument



# UNIFIED SIGNAGE PACKAGE

## BRYTON



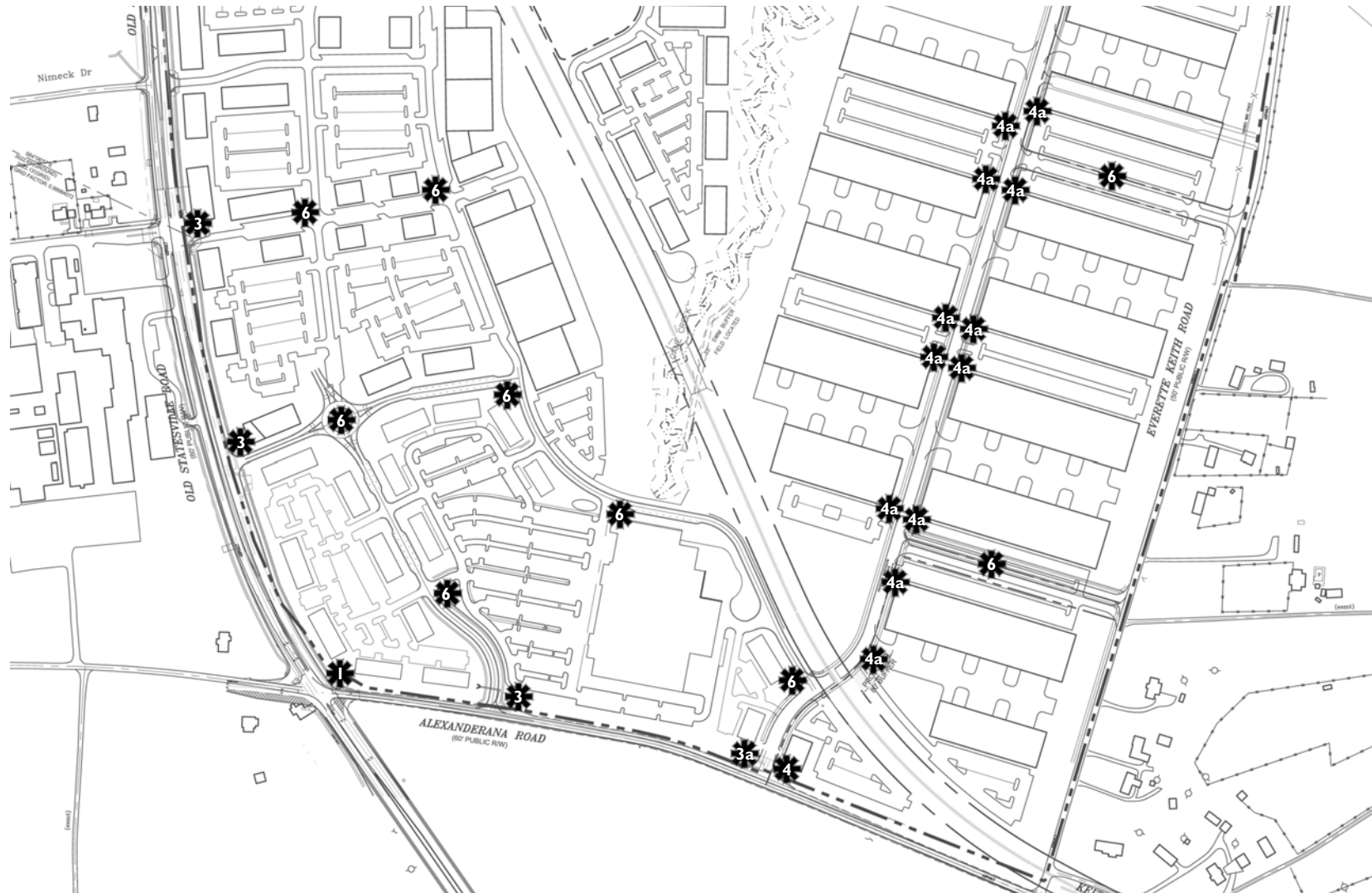
### LEGEND:

- |                             |                  |                     |                        |                       |
|-----------------------------|------------------|---------------------|------------------------|-----------------------|
| Gateway Monument            | Primary Retail   | Primary Corporate   | Residential            | Greenway Trail Marker |
| Major Neighborhood Monument | Secondary Retail | Secondary Corporate | Directional/Wayfinding |                       |



# UNIFIED SIGNAGE PACKAGE

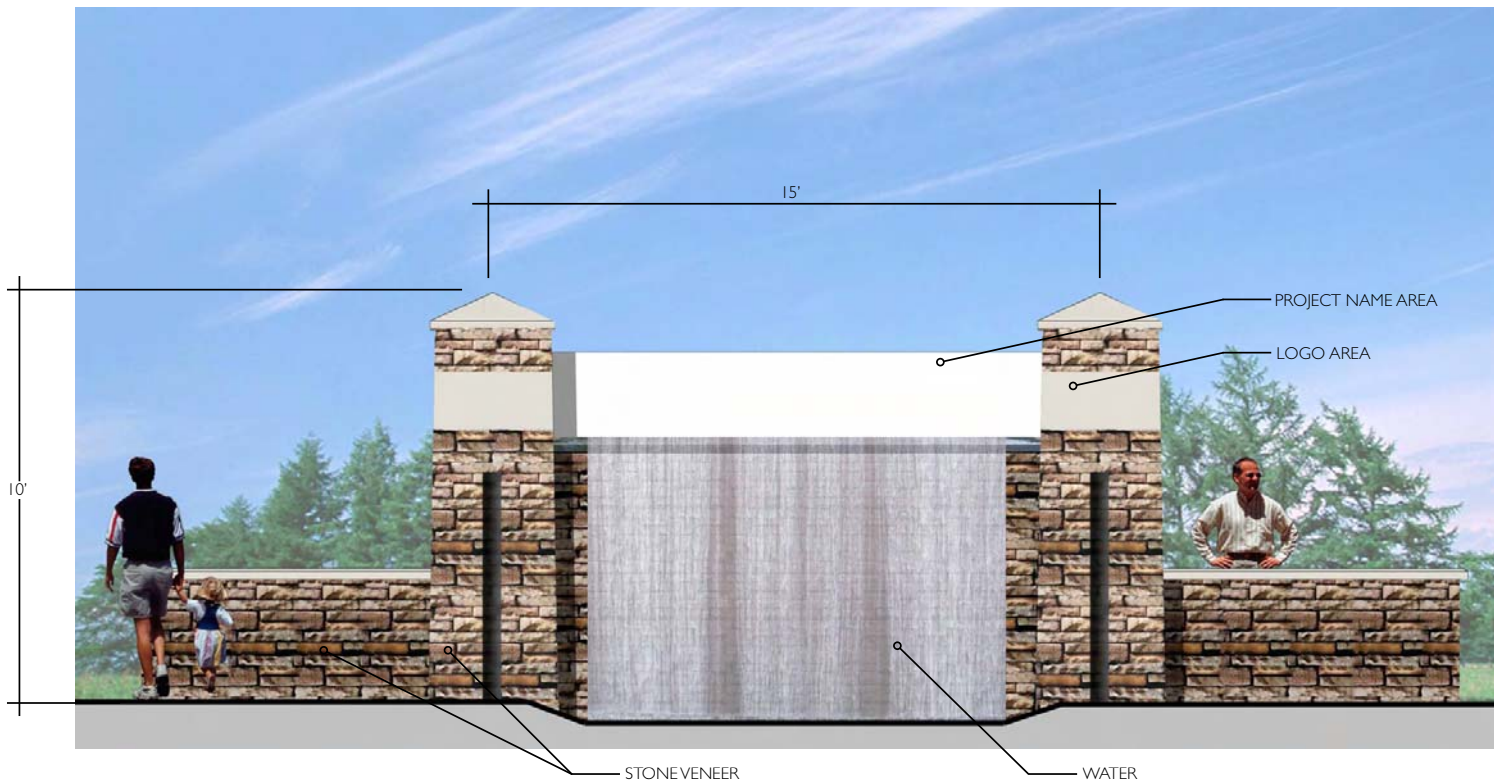
## BRYTON





# UNIFIED SIGNAGE PACKAGE

## BRYTON



Note: These illustrative drawings are schematic in nature and are intended to depict material, sizes and compositional relationships. These drawings can be modified at the discretion of the owner and approval of the town.

Gateway Monument Sign





# UNIFIED SIGNAGE PACKAGE

## BRYTON

### MAJOR NEIGHBORHOOD MONUMENT SIGN

American Asset Corporation and The developer will construct the primary entry monument located at the intersection of Old Statesville Road and Hambright Road. American Asset Corporation and The developer will provide construction documents, specifications and the appropriate files for artwork on all signs.



Major Neighborhood Monument Sign

Note: These illustrative drawings are schematic in nature and are intended to depict material, sizes and compositional relationships. These drawings can be modified at the discretion of the owner and approval of the town.

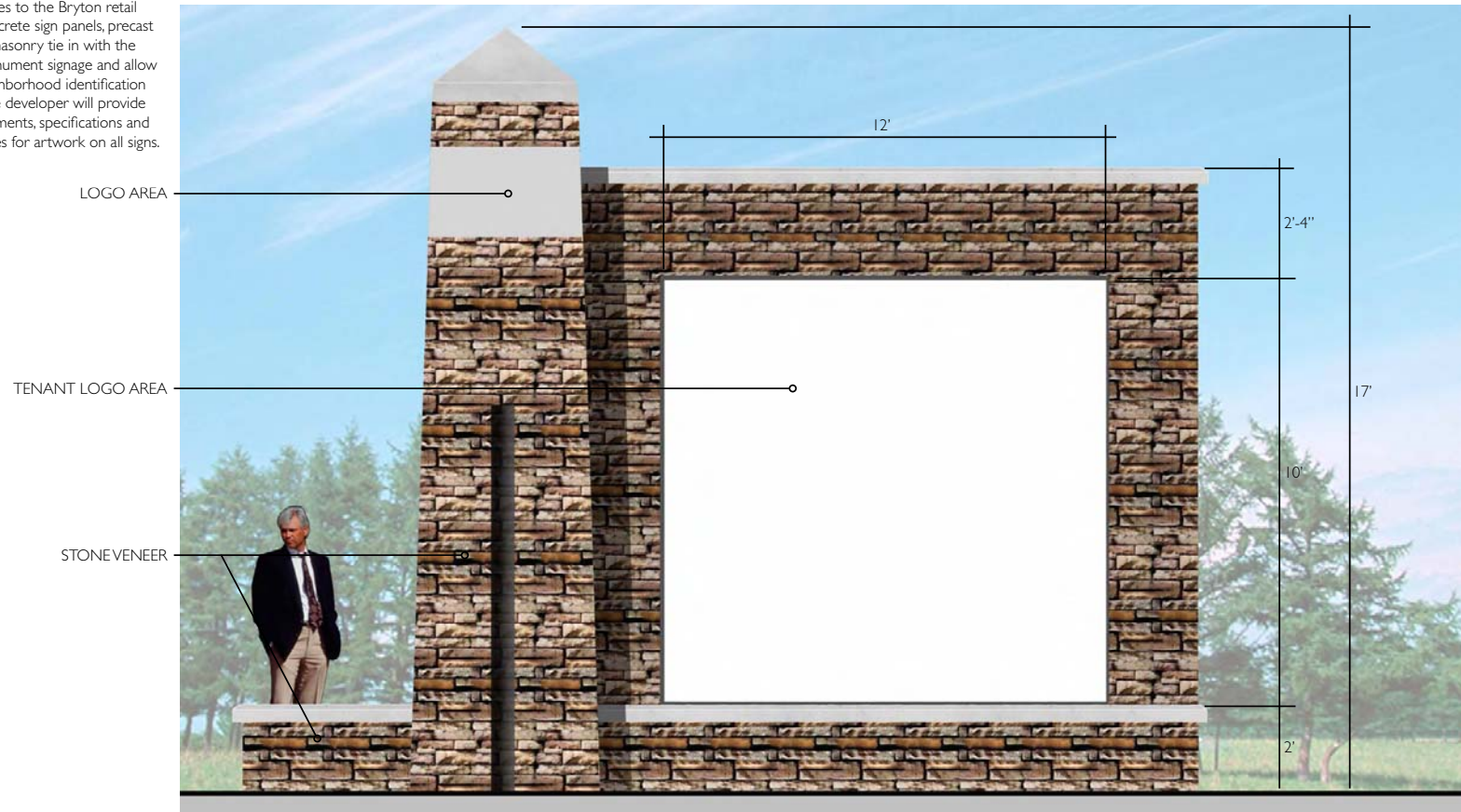


# UNIFIED SIGNAGE PACKAGE

## BRYTON

### PRIMARY RETAIL SIGN

These retail monument signs will be located at primary entrances to the Bryton retail center. Precast concrete sign panels, precast stacked stone or masonry tie in with the neighborhood monument signage and allow for a cohesive neighborhood identification signage system. The developer will provide construction documents, specifications and the appropriate files for artwork on all signs.



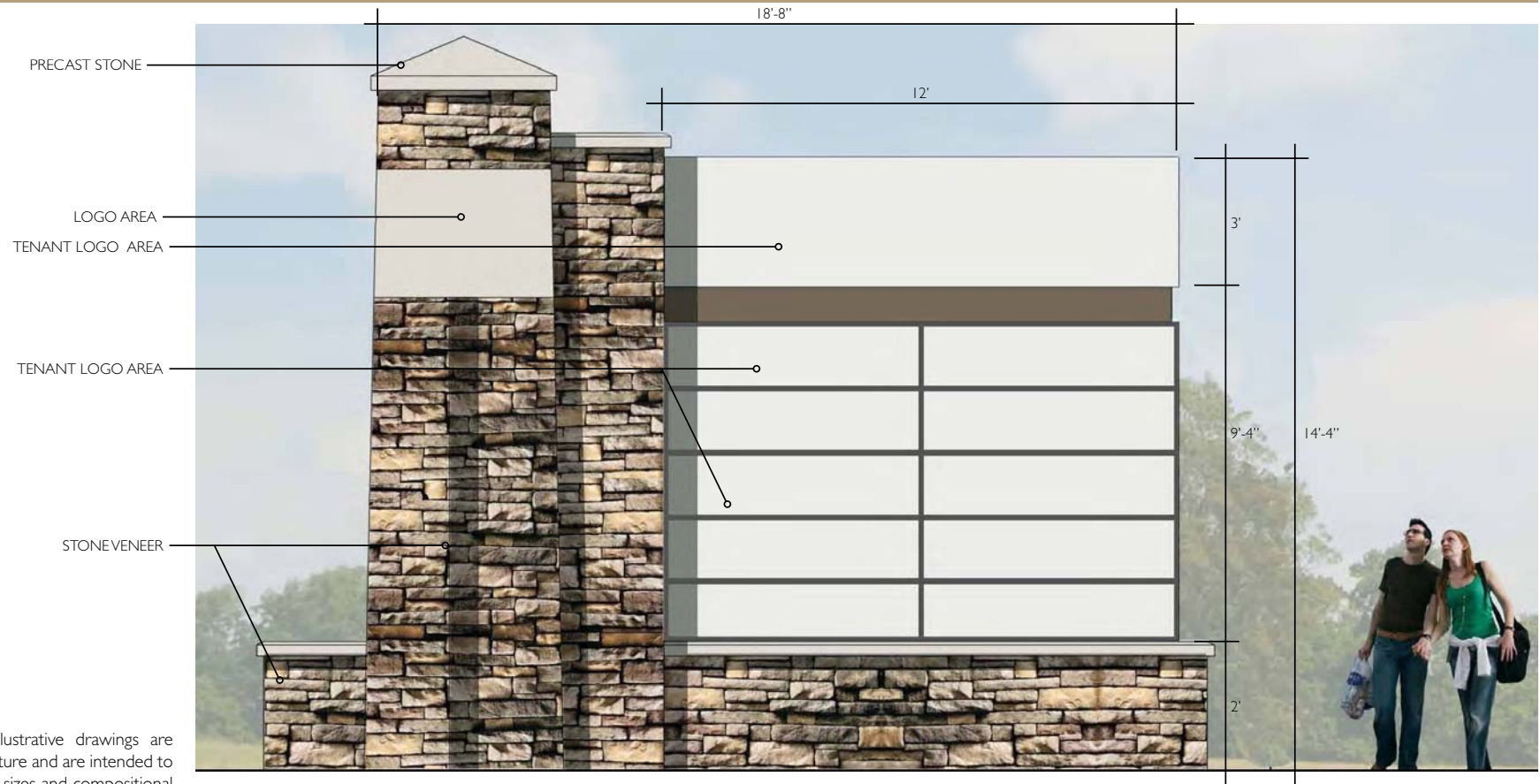
Note: These illustrative drawings are schematic in nature and are intended to depict material, sizes and compositional relationships. These drawings can be modified at the discretion of the owner and approval of the town.

Primary Retail Sign - Option 1



# UNIFIED SIGNAGE PACKAGE

## BRYTON



Note: These illustrative drawings are schematic in nature and are intended to depict material, sizes and compositional relationships. These drawings can be modified at the discretion of the owner and approval of the town.

Primary Retail Sign - Option 2

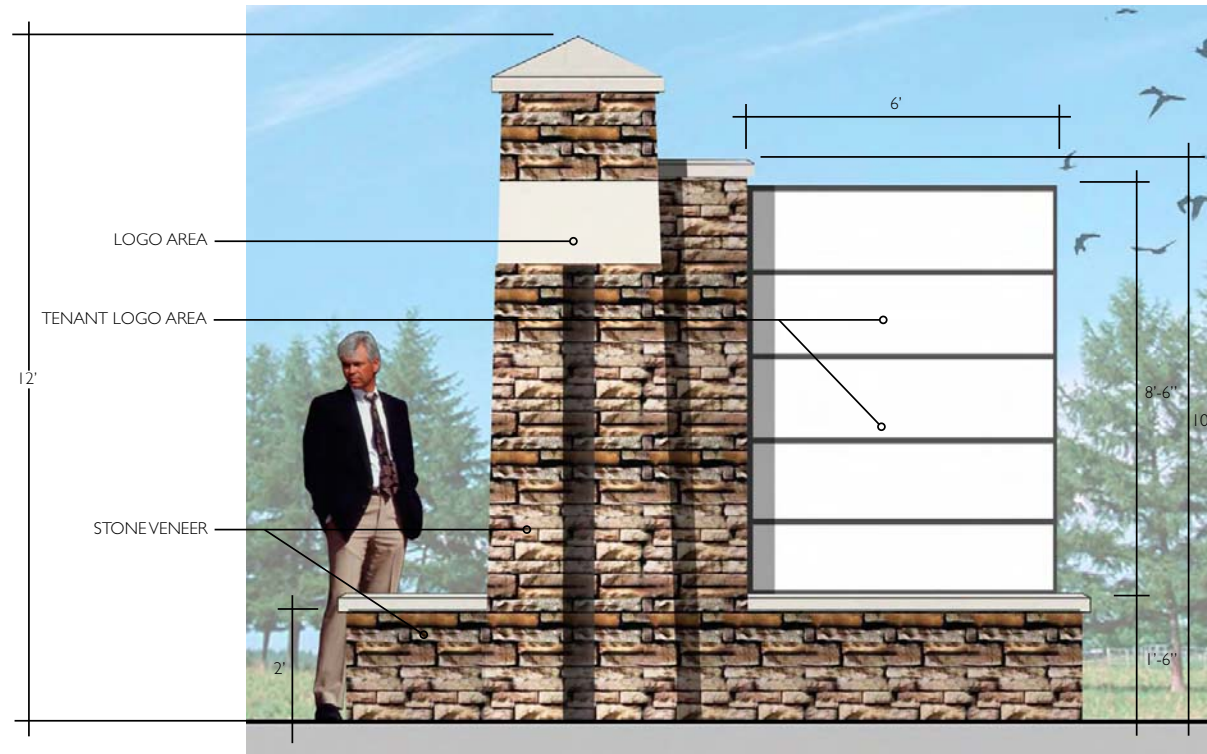


# UNIFIED SIGNAGE PACKAGE

## BRYTON

### SECONDARY RETAIL SIGN

The secondary retail monument signs will be located within the Bryton retail center to identify individual retail establishments. Precast concrete sign panels, precast stacked stone or masonry tie in with the primary retail signage and allow for a cohesive neighborhood identification signage system. The developer will provide construction documents, specifications and the appropriate files for artwork on all signs.



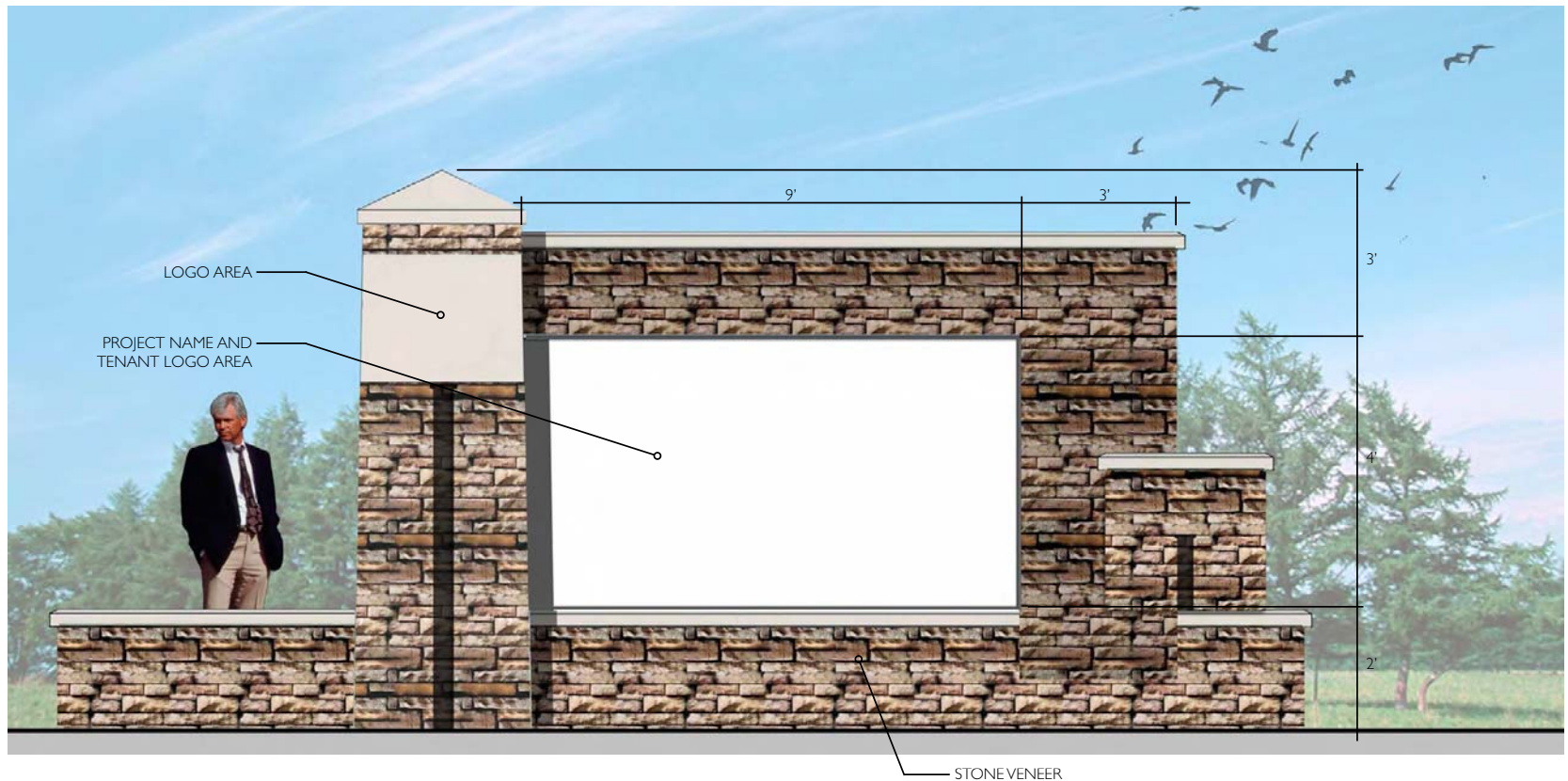
Note: These illustrative drawings are schematic in nature and are intended to depict material, sizes and compositional relationships. These drawings can be modified at the discretion of the owner and approval of the town.

Secondary Retail Sign



# UNIFIED SIGNAGE PACKAGE

## BRYTON



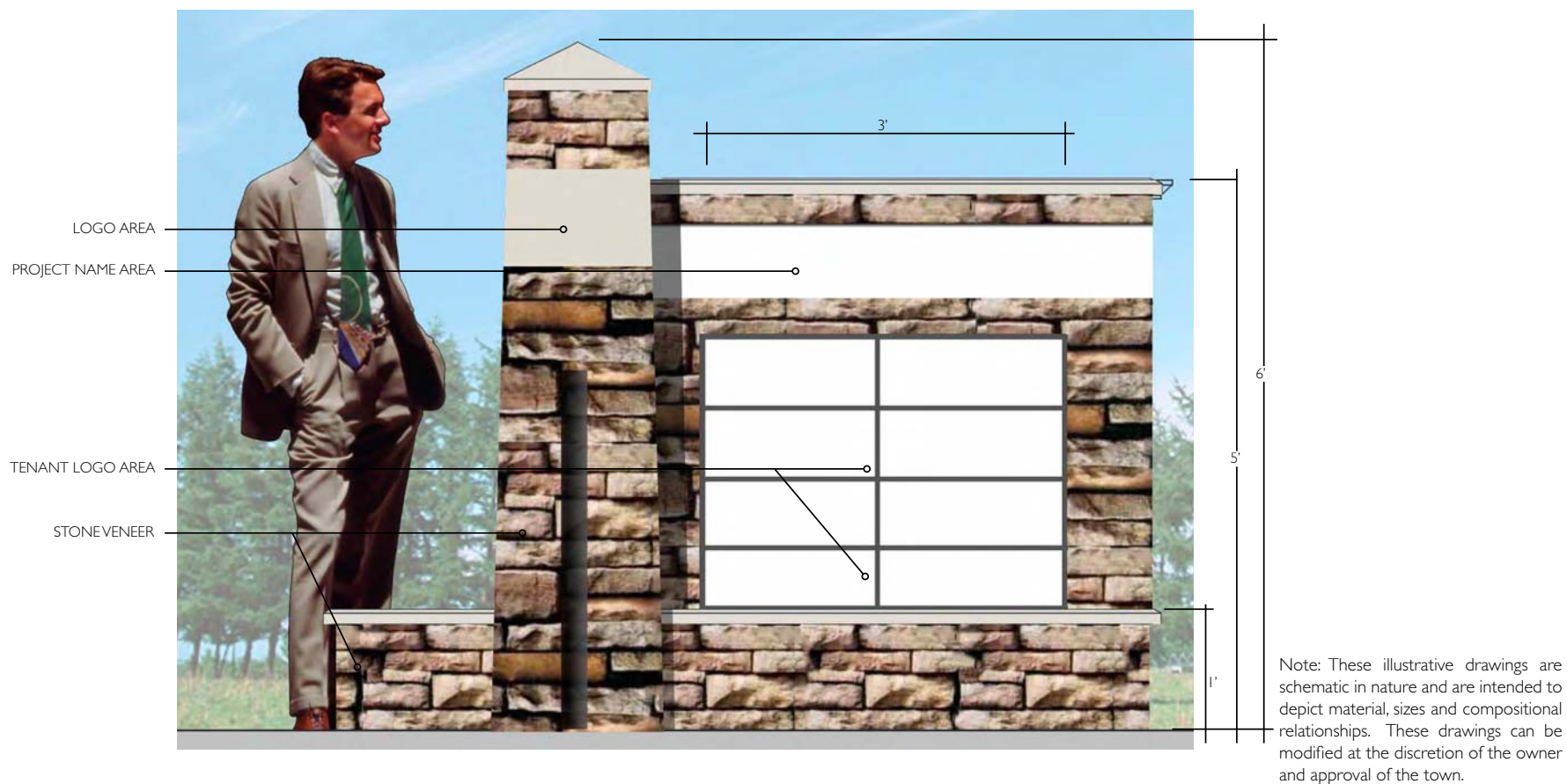
Note: These illustrative drawings are schematic in nature and are intended to depict material, sizes and compositional relationships. These drawings can be modified at the discretion of the owner and approval of the town.

Primary Corporate Center/Office Park Sign



# UNIFIED SIGNAGE PACKAGE

## BRYTON



Secondary Corporate Center/Office Park Sign

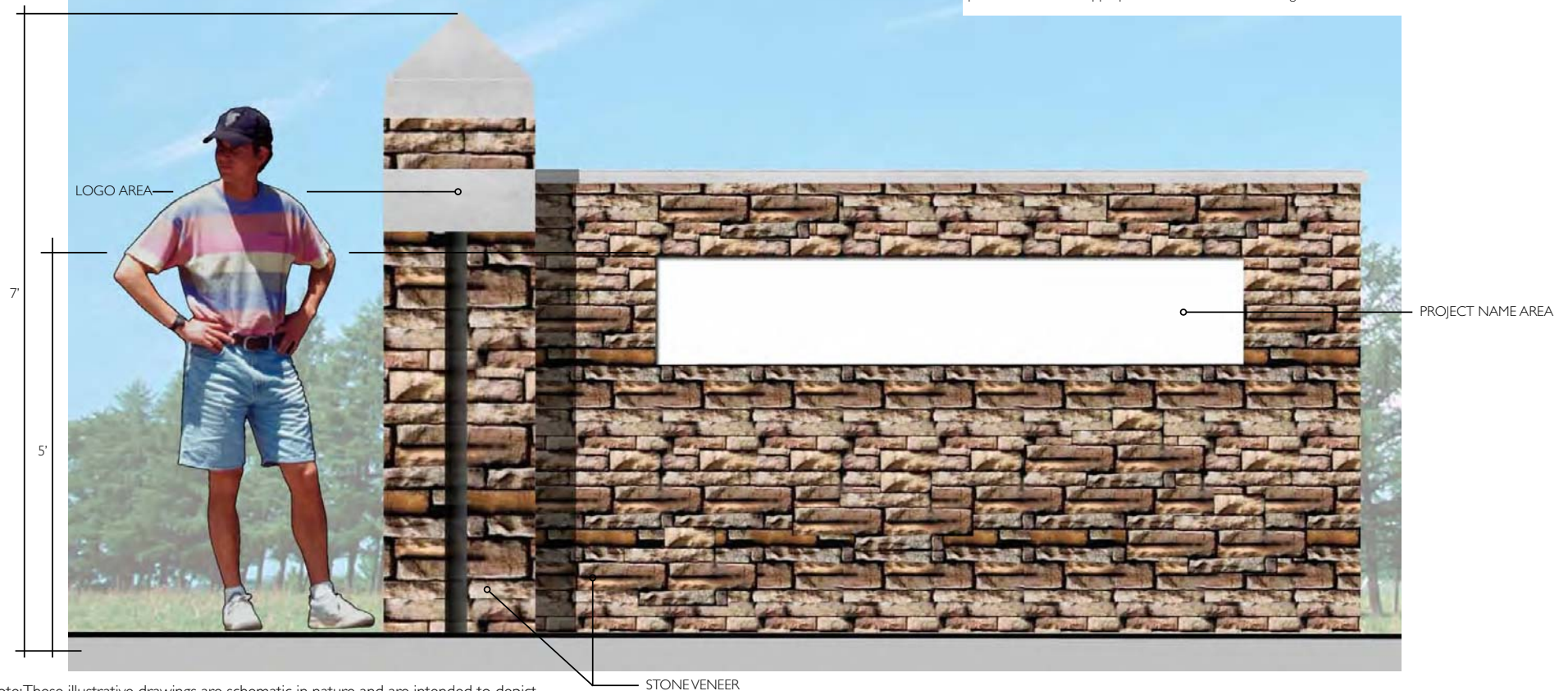


# UNIFIED SIGNAGE PACKAGE

## BRYTON

### PRIMARY RESIDENTIAL SIGN

These residential monument signs will be located at primary entrances for the Bryton neighborhood. Precast concrete sign panels, precast stacked stone or masonry tie in with the neighborhood monument signage and allow for a cohesive neighborhood identification signage system. The developer will provide construction documents, specifications and the appropriate files for artwork on all signs.



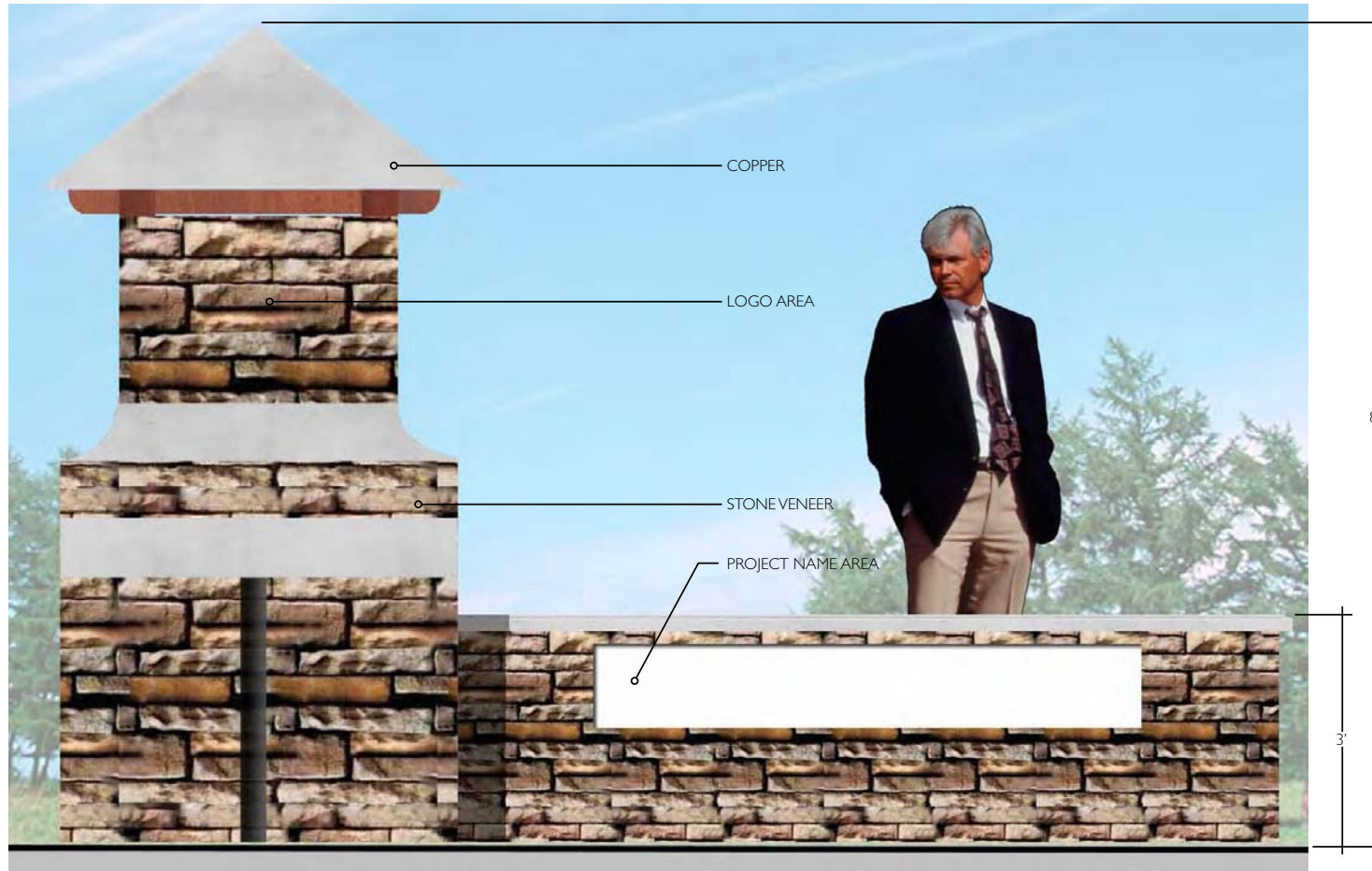
Note: These illustrative drawings are schematic in nature and are intended to depict material, sizes and compositional relationships. These drawings can be modified at the discretion of the owner and approval of the town.

Residential Sign - Option I



## UNIFIED SIGNAGE PACKAGE

### BRYTON



Residential Sign - Option 2

Note: These illustrative drawings are schematic in nature and are intended to depict material, sizes and compositional relationships. These drawings can be modified at the discretion of the owner and approval of the town.



# UNIFIED SIGNAGE PACKAGE

## BRYTON

### DIRECTIONAL SIGN

For the purposes of directing and informing pedestrian and vehicular traffic to parking, shops and other amenities within the Bryton neighborhood a series of signs have been designed to create a cohesive and unified system for wayfinding throughout the community. Directional signs to be painted aluminum panels with vinyl lettering and symbols (typical). American Asset Corporation and The developer will provide construction documents, specifications and the appropriate files for artwork on all signs.



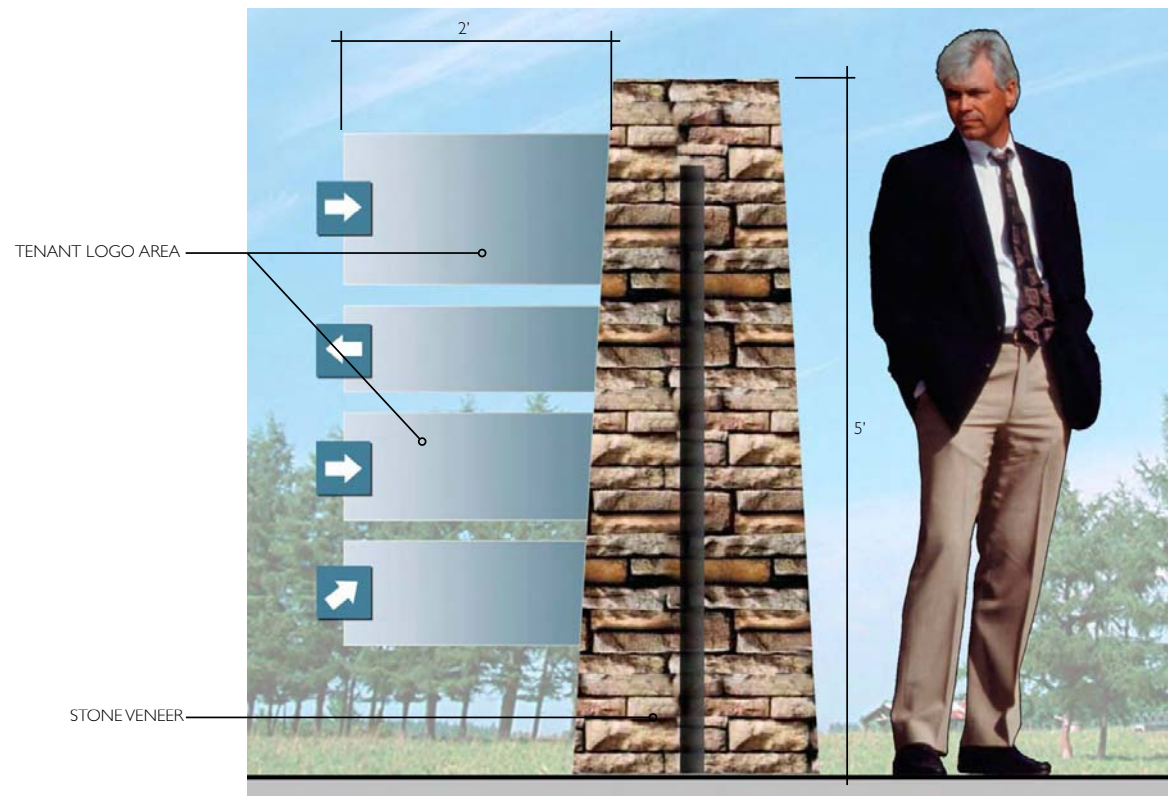
Note: These illustrative drawings are schematic in nature and are intended to depict material, sizes and compositional relationships. These drawings can be modified at the discretion of the owner and approval of the town.

Directional Sign - Option I



## UNIFIED SIGNAGE PACKAGE

### BRYTON



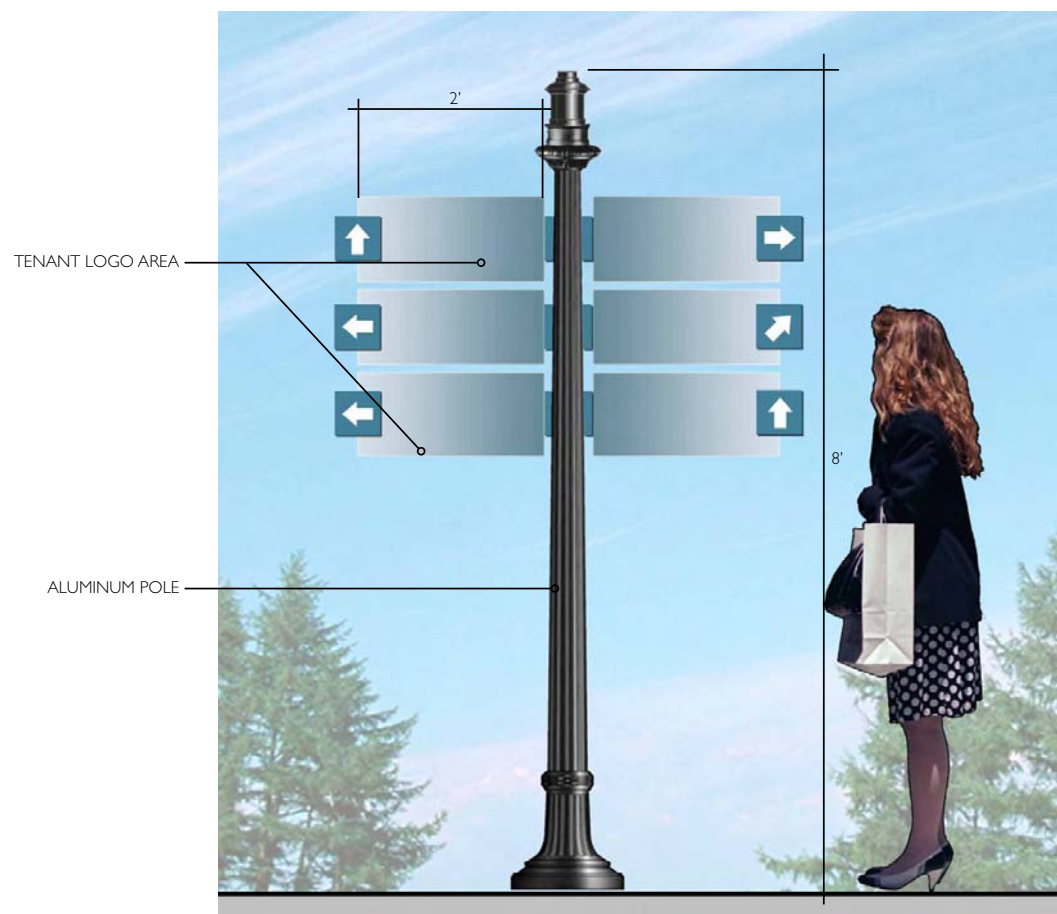
Note: These illustrative drawings are schematic in nature and are intended to depict material, sizes and compositional relationships. These drawings can be modified at the discretion of the owner and approval of the town.

Directional Sign - Option 2



# UNIFIED SIGNAGE PACKAGE

## BRYTON



Note: These illustrative drawings are schematic in nature and are intended to depict material, sizes and compositional relationships. These drawings can be modified at the discretion of the owner and approval of the town.

Directional Sign - Option 3

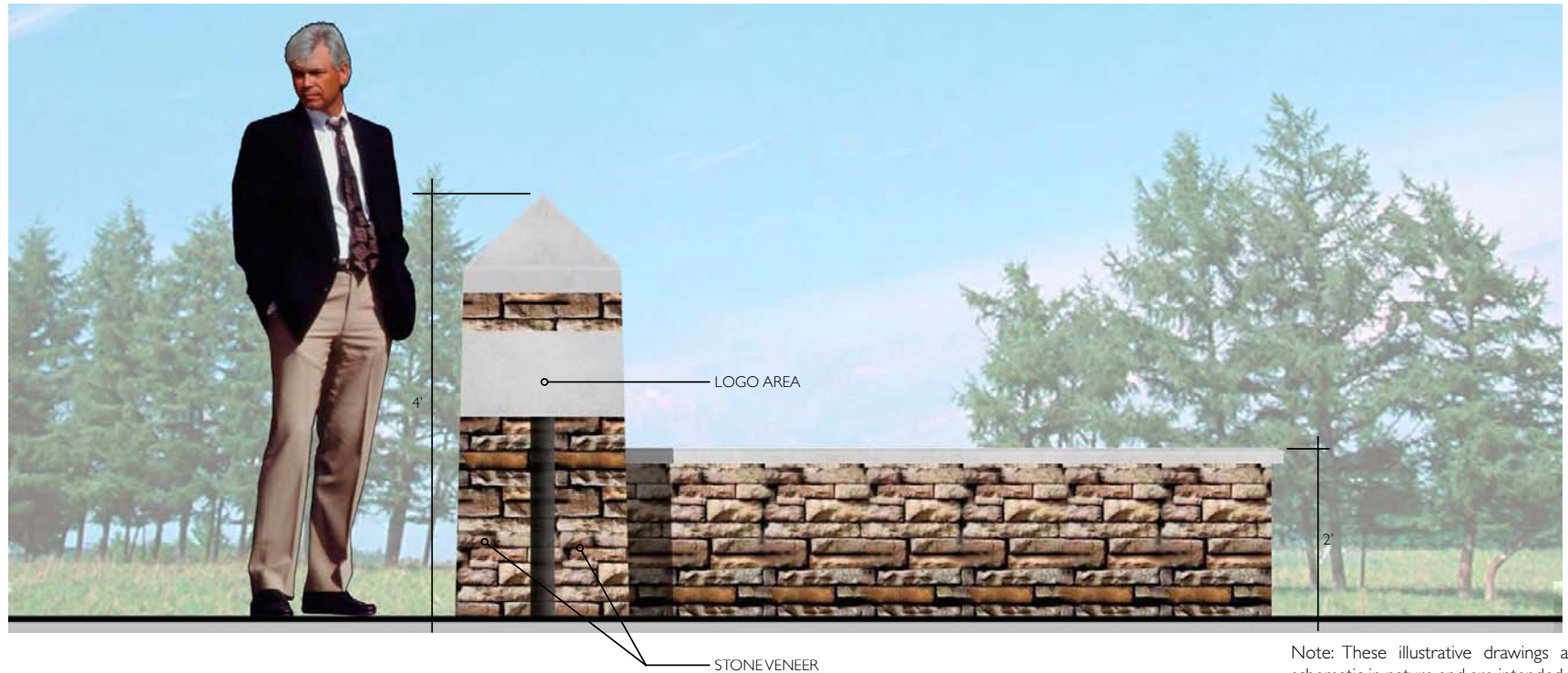


# UNIFIED SIGNAGE PACKAGE

## BRYTON

### WALL DETAIL

Identification signs will be located within the overall neighborhood development to mark property boundaries and reinforce the Bryton brand. Precast concrete sign panels, precast stacked stone or masonry tie in with the neighborhood monument signage and allow for a cohesive neighborhood identification signage system. American Asset Corporation and The developer will provide construction documents, specifications and the appropriate files for artwork on all signs.



Note: These illustrative drawings are schematic in nature and are intended to depict material, sizes and compositional relationships. These drawings can be modified at the discretion of the owner and approval of the town.

Wall Detail - Option I



# UNIFIED SIGNAGE PACKAGE

## BRYTON



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Wall Detail - Option 2

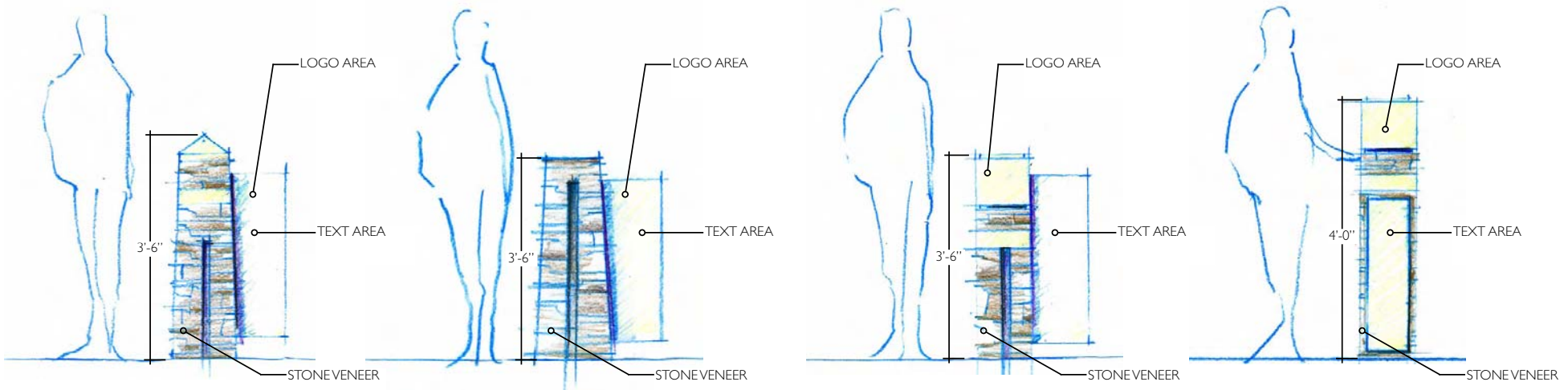


# UNIFIED SIGNAGE PACKAGE

## BRYTON

### TRAIL MARKER SIGN

Trail signs will be located along trail paths to identify trail lengths and locations. A precast concrete sign panel or a stacked stone with a precast concrete sign panel will have a unique look and feel to draw attention and create awareness of the trail system while maintaining the overall style of the wayfinding signage program. American Asset Corporation and The developer will provide construction documents, specifications and the appropriate files for artwork on all signs.



Note: These illustrative drawings are schematic in nature and are intended to depict material, sizes and compositional relationships. These drawings can be modified at the discretion of the owner and approval of the town.

### Trail Markers

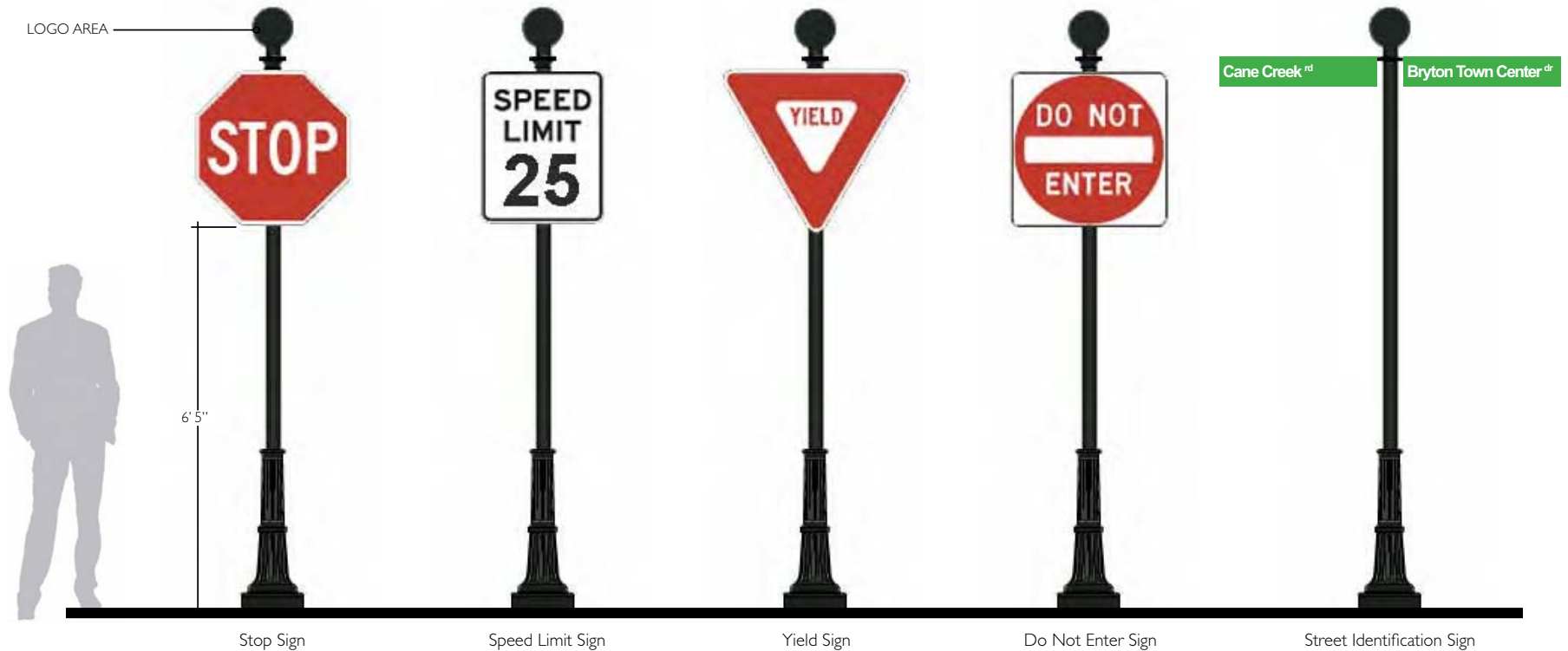


# UNIFIED SIGNAGE PACKAGE

## BRYTON

### TRAFFIC REGULATORY SIGN

We have designed a series of signs to direct pedestrian and vehicular traffic within Bryton. Sign panels will be painted black aluminum with vinyl lettering and symbols using the Bryton colors and logo. American Asset Corporation and The developer will provide construction documents, specifications and the appropriate files for artwork on all signs.



Traffic Regulatory Signs



## UNIFIED SIGNAGE PACKAGE

### BRYTON

#### TEMPORARY SIGNS

Temporary signs will be located along major roadways surrounding the site and within the site to attract potential tenants. Sign panels will be painted black aluminum with vinyl lettering and symbols using the Bryton colors and logo. American Asset Corporation and The developer will provide construction documents, specifications and the appropriate files for artwork on all signs.



Temporary Signs



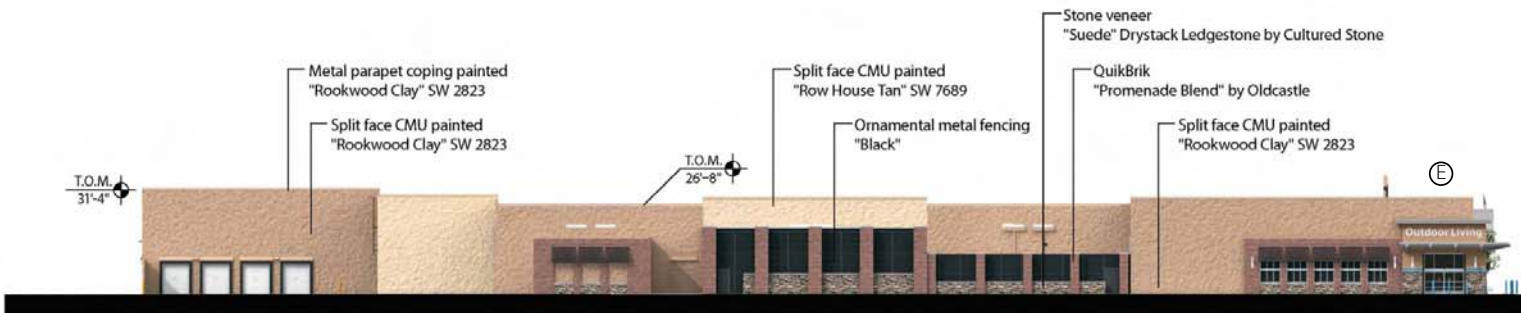
# UNIFIED SIGNAGE PACKAGE

## BRYTON



Secondary Frontage

	SIGN NAME	AREA (SQFT)
Ⓐ	Walmart	199.38 SQFT
Ⓑ	Market and Pharmacy	102.74 SQFT
Ⓒ	Home & Living	72.60 SQFT
Ⓓ	Outdoor Living	77.17 SQFT
	<b>TOTAL SIGNAGE</b>	<b>451.89 SQFT</b>



Public Street Frontage

	SIGN NAME	AREA (SQFT)
Ⓔ	Outdoor Living	77.17 SQFT
	<b>TOTAL SIGNAGE</b>	<b>77.17 SQFT</b>



# UNIFIED SIGNAGE PACKAGE

## BRYTON

### BUILDING SIGNAGE

Building signage will be located on primary and/or secondary frontages for tenants located along pedestrian and vehicular entrances to Bryton. Building signage shall meet the requirements of the Town of Huntersville Zoning Ordinance except as noted in these signage guidelines. The developer will provide construction documents, specifications and the appropriate files for artwork on all signs.



Secondary Frontage



Public Street Frontage

Building Signage



# UNIFIED SIGNAGE PACKAGE

## BRYTON

### IDENTIFICATION LOGO

We have designed series of logos and text templates as potential options to be used within Bryton and outside of Bryton. These potential logos along with the text will be a symbol for Bryton and create a strong identity. American Asset Corporation and The developer will provide construction documents, specifications and the appropriate files for artwork on all logos.



BRYTON

BRYTON

BRYTON

BRYTON

BRYTON

Bryton

Identification Logo



**Town of Huntersville  
PLANNING BOARD  
11/21/2017**

**To:** Planning Board Members  
**From:** Alison Adams (Senior Planner)  
**Subject:** Clarke Creek Small Area Plan Charrette

---

Overview of the Clarke Creek Small Area Plan 3-day Charrette.

**ACTION RECOMMENDED:**

No action

**FINANCIAL IMPLICATIONS:**

**ATTACHMENTS:**

Description	Type
☐ Clarke Creek Area Plan Memo	Cover Memo
☐ Attachment A: CCSAP Boundary	Exhibit
☐ Attachment B: Regional Context Map	Exhibit





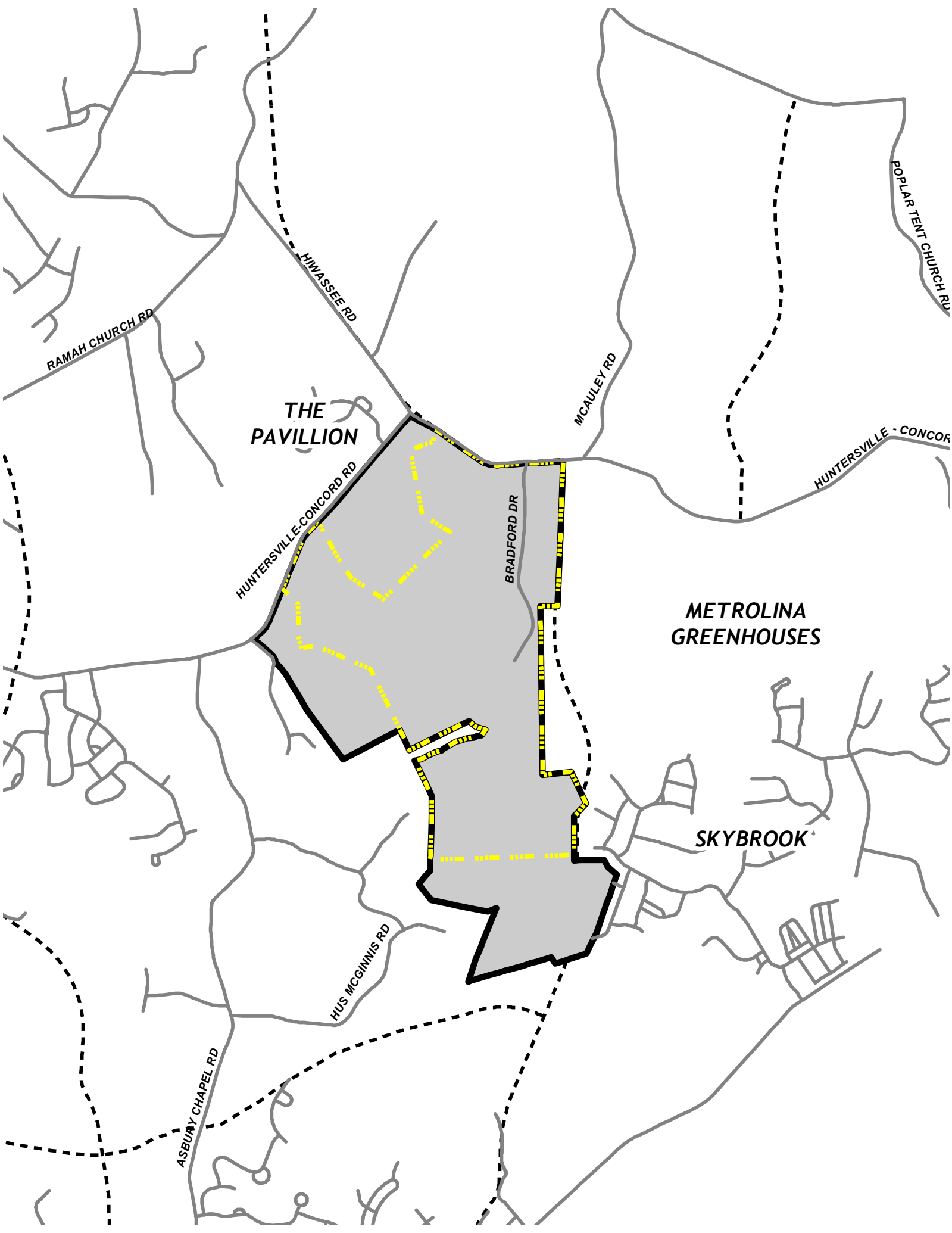
## **Clarke Creek Small Area Plan**

### **Charrette Introduction**

**November 21, 2017**

- I. Introduction & Background (Staff)  
2030 Recommendation about proposed growth
- II. Study Area Boundaries (Staff)  
Map A – Charrette Area and surrounding parcels
- III. Regional Context (Staff)  
Map B – context of surrounding area plans and existing and proposed corridors
- IV. Overview of Charrette Results (Bowman Development)
- V. Major Issues/Opportunities (Bowman Development and Staff)
  - A. Land Use
  - B. Transportation
  - C. Parks/Greenways
  - D. Natural Resources
  - E. Historic & Cultural Preservation
  - F. Utilities
  - G. Annexation
  - H. Public Safety
  - I. Other
- VI. Tentative Next Steps (Staff) –
  - Planning Board Informational Meeting- study area and regional context draft; December 19, 2017
  - Joint Public Hearing – January 16, 2018
  - Planning Board Recommendation – January 23, 2018
  - Town Board Final Action – February 5, 2018





RAMAH CHURCH RD

HIWASSEE RD

THE  
PAVILLION

HUNTERSVILLE-CONCORD RD

MC AULEY RD

POPLAR TENT CHURCH RD

HUNTERSVILLE - CONCORD

BRADFORD DR

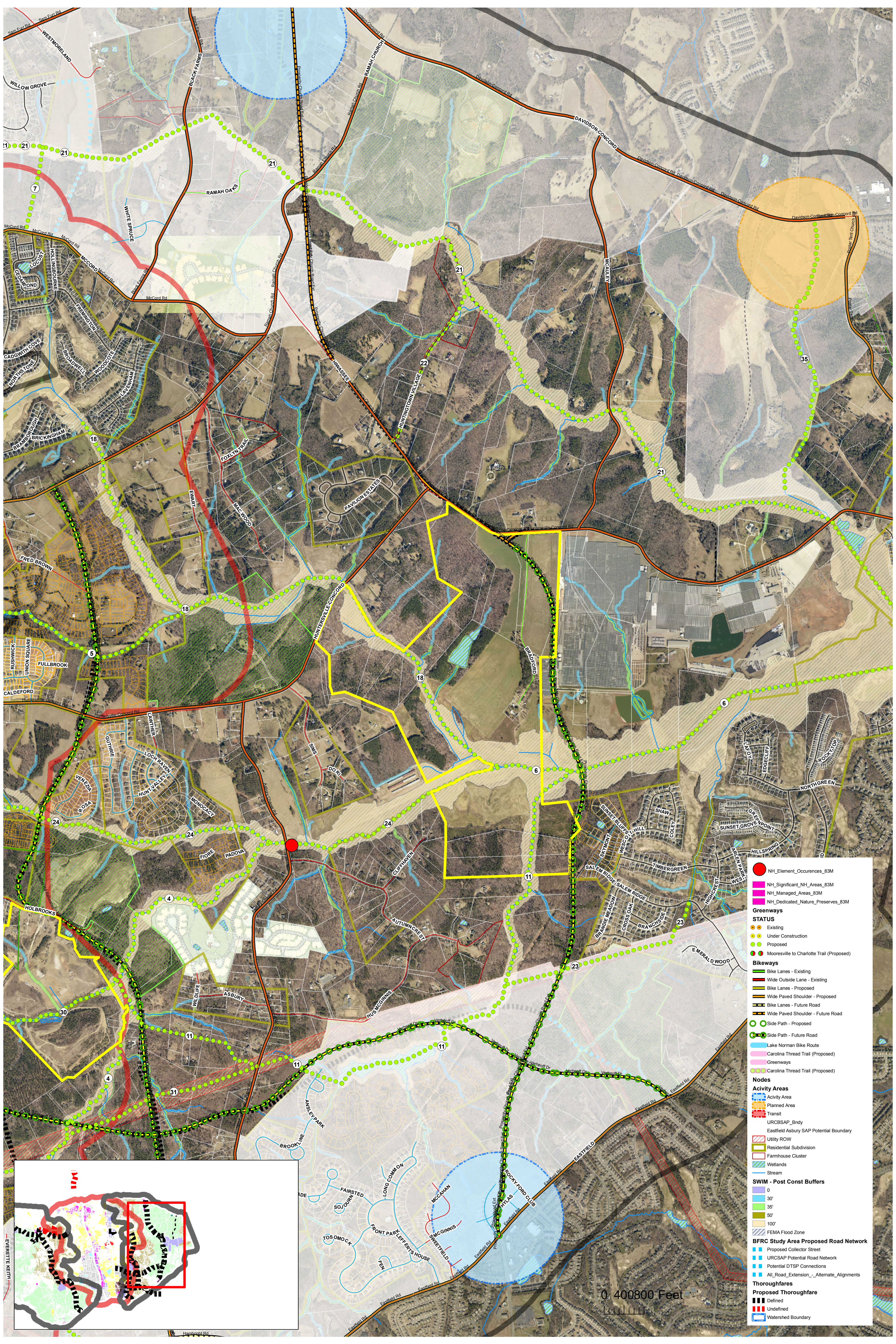
METROLINA  
GREENHOUSES

SKYBROOK

HUS MCGINNIS RD

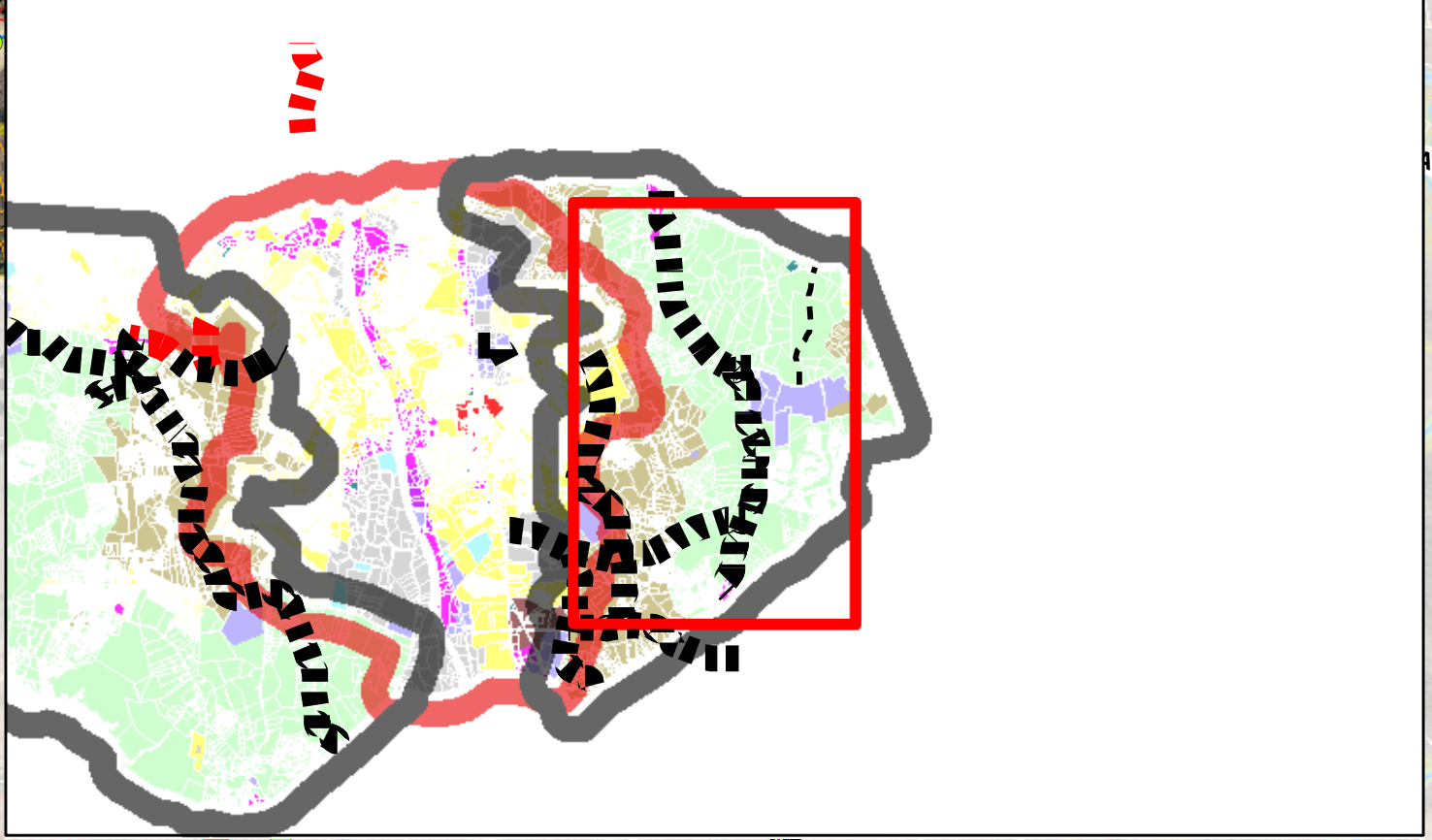
ASBURY CHAPEL RD





- NH\_Element\_Occurrences\_83M
- NH\_Significant\_NH\_Areas\_83M
- NH\_Managed\_Areas\_83M
- NH\_Dedicated\_Nature\_Preserves\_83M
- Greenways**
- STATUS**
- Existing
- Under Construction
- Proposed
- Mooresville to Charlotte Trail (Proposed)
- Bikeways**
- Bike Lanes - Existing
- Wide Outside Lane - Existing
- Bike Lanes - Proposed
- Wide Paved Shoulder - Proposed
- Bike Lanes - Future Road
- Wide Paved Shoulder - Future Road
- Side Path - Proposed
- Side Path - Future Road
- Lake Norman Bike Route
- Carolina Thread Trail (Proposed)
- Greenways
- Carolina Thread Trail (Proposed)
- Nodes**
- Activity Areas**
- Activity Area
- Planned Area
- Transit
- URCBSAP\_Bndy
- Eastfield Asbury SAP Potential Boundary
- Utility ROW
- Residential Subdivision
- Farmhouse Cluster
- Wetlands
- Stream
- SWIM - Post Const Buffers**
- 0
- 30'
- 35'
- 50'
- 100'
- FEMA Flood Zone
- BFRS Study Area Proposed Road Network**
- Proposed Collector Street
- URCSAP Potential Road Network
- Potential DTSP Connections
- All\_Road\_Extension\_-\_Alternate\_Alignments
- Thoroughfares**
- Proposed Thoroughfare**
- Defined
- Undefined
- Watershed Boundary

0 400800 Feet





**Town of Huntersville  
PLANNING BOARD  
11/21/2017**

**To:** Planning Board Members  
**From:** Michelle Haines  
**Subject:** Approve Schedule

---

Approve 2018 Schedule

**ACTION RECOMMENDED:**

**FINANCIAL IMPLICATIONS:**

**ATTACHMENTS:**

	<b>Description</b>	<b>Type</b>
	Schedule	Exhibit



## Planning Board 2018 Regular Meetings

The Regular Meetings for the Planning Board shall be held on the fourth (4<sup>th</sup>) Tuesday of each and every month at 6:30 p.m., at the Town Hall location unless otherwise noted below or changed upon compliance of the Open Meeting Law.

January 23  
February 27  
March 27  
April 24  
May 22  
June 26  
July 24  
August 28  
September 25  
October 23  
November 27  
December 18\*

\*December meeting will be held on the 3<sup>rd</sup> Tuesday of the month