

Mayor
John Aneralla

Mayor Pro-Tem
Danny Phillips

Commissioners
Melinda Bales
Dan Boone
Mark Gibbons
Charles Guignard
Rob Kidwell



Department Heads
Vickie Brock, HR Director
Max Buchanan, Public Works
Jackie Huffman, Finance
Michael Jaycocks, Parks&Rec
Jack Simoneau, Planning
Cleveland Spruill, Police Chief

Assistant Town Manager
Gerry Vincent

Town Clerk
Janet Pierson

Town Attorney
Bob Blythe

AGENDA
Regular Town Board Meeting
July 17, 2017 - 6:30 PM
TOWN HALL (101 Huntersville-Concord Road)

I. Pre-meeting

- A. Parks & Recreation Sponsorships Discussion. (5:45 p.m.)
- B. Huntersville Fire Department Contract Discussion. (6:00 p.m.)

II. Call to Order

III. Invocation - Moment of Silence

IV. Pledge of Allegiance

V. Mayor and Commissioner Reports-Staff Questions

- A. Mayor Aneralla (Metropolitan Transit Commission, Commerce Station Management Team, North Meck Alliance)
- B. Commissioner Bales (Lake Norman EDC, Lake Norman Education Collaborative)
- C. Commissioner Boone (Public Safety Liaison, Huntersville Ordinances Advisory Board)
- D. Commissioner Gibbons (NC 73 Council of Planning, Veterans Liaison)
- E. Commissioner Guignard (Centralina Council of Governments, Planning Coordinating Committee)
- F. Commissioner Kidwell (Charlotte Regional Transportation Planning Organization, Olde Huntersville Historic Society)
- G. Commissioner Phillips (Lake Norman Chamber Board, Visit Lake Norman Board)

VI. Public Comments, Requests, or Presentations

- A. Dr. Michael Brennan
- B. Fire Chief Jim Dotoli

VII. Agenda Changes

- A. Agenda changes, if any.
- B. Adoption of Agenda.

VIII. Public Hearings

- A. Conduct public hearing on Petition #R17-03, a request by Donald and Vicki Shew to rezone 12.66 acres from Corporate Business to Special Purpose at 15746 Old Statesville Road (Parcel #01101235). *(Brad Priest)*

IX. Other Business

- A. Consider appointing Gerald D. Vincent as Town Manager. *(Mayor Aneralla)*
- B. Consider decision on Petition #R17-01, a request by Nate Bowman to rezone parcel numbers 01920320, 01920313, and 01937101 from Neighborhood Residential and Transitional Residential to Neighborhood Residential Conditional District. *(Alison Adams)*
- C. Conduct evidentiary hearing and consider decision on Sherrill Subdivision Sketch Plan. *(Alison Adams)*
- D. Conduct evidentiary hearing and consider decision on Bryton - Lot 2 Outparcels Sketch Plan. *(David Peete)*
- E. Conduct Special Use Permit Hearing and consider decision on Petition #SUP17-02, a request by Godley Group of Charlotte, LLC for the issuance of a special use permit for Frankie's Fun Park to allow lighting that exceeds some standards of Article 8.26 of the Zoning Ordinance per Article 8.26.1(M). *(Brad Priest)*
- F. Consider decision on Petition #TA17-03, Section 1, a request by the Town of Huntersville Planning Board to amend Article 11.4.2(b).1 to modify the term limits for members from within the Town Limits. *(Meredith Nesbitt)*
- G. Consider decision on Petition #TA17-03, Section 2, a request by the Town of Huntersville Planning Board to amend Article 11.4.7(b) to modify the number of times the Planning Board may defer action on a request. *(Meredith Nesbitt)*
- H. Consider decision on Petition #TA17-03, Section 3, a request by the Town of Huntersville to amend Article 4: Lot and Building Type for Detached House to modify a reference to Transitional Residential sideyard setback, which was changed on February 6, 2017. *(Meredith Nesbitt)*
- I. Consider decision on Petition #TA17-04, a request by the Town of Huntersville to amend Article 3.3.2.2(b) and ARTICLE 3.3.3.2(b) of the Huntersville Zoning Ordinance to modify the exceptions to applicability section of the Mountain Island Lake and Lake Norman Watershed regulations. *(Meredith Nesbitt)*
- J. Call a public hearing for Monday, August 7, 2017 at 6:30 p.m. at Huntersville Town Hall on Petition #R17-07, a request by Charles Guignard to rezone 0.33 acres located at 503 S. Old Statesville Rd (south of Mt. Holly-Huntersville Road) from Neighborhood Residential Conditional District to Neighborhood Residential to remove an existing multi-family overlay. *(Brian Richards)*
- K. Consider appointing a new member to the Planning Board to fill a vacant seat. *(Jack Simoneau)*

X. Consent Agenda

- A. Approve the minutes of the June 19, 2017 Regular Town Board Meeting. *(Janet Pierson)*
- B. Authorize Town Manager to execute contracts based on material bid recommendations for Commerce Station Duct Bank Materials. *(Gerry Vincent/Tim Kopacz)*
- C. Approve budget amendment recognizing future revenue and expenses associated with hosting the USA Zone Diving Championships. *(Jackie Huffman/Dee Jetton)*

- D. Call a public hearing for Monday, August 7, 2017 at 6:30 p.m. at Huntersville Town Hall on Petition #R17-04, a request by Nickel Development Group, LLC to rezone 2.024 acres located along Sam Furr Rd. west of Birkdale Village from Highway Commercial Conditional District to Highway Commercial Conditional District to create a 78 unit age restricted apartment building. (*Brian Richards*)
- E. Call a public hearing for Monday, August 21, 2017 at 6:30 p.m. at Huntersville Town Hall on Petition #TA17-06, a request by the Town of Huntersville to amend Article 3.2.1 Rural, Article 3.2.2 Transitional Residential, Article 3.2.4 Neighborhood Residential, Article 3.2.5 Neighborhood Center, Article 3.2.6 Town Center, Article 3.2.7 Highway Commercial, Article 3.2.8 Campus Institutional, Article 3.2.9 Corporate Business, Article 3.2.11 Transitional Neighborhood Development Districts, Article 3.2.12 Passenger Vehicle Sales, Article 3.2.13 Transit Oriented Development – Residential, Article 3.2.14 Transit Oriented Development – Employment, Article 7 Part B Open Space, Article 8.1.4, and Article 12.2.1 General Definitions of the Huntersville Zoning Ordinance to modify Open Space criteria and associated definitions. (*Alison Adams*)

XI. Closing Comments

XII. Adjourn

To speak concerning an item on the Agenda, please print your name and address on the sign-up sheet on the table outside the Board Room prior to the meeting. If you wish to speak concerning an item that is added to the Agenda during the meeting, please raise your hand during that item. Each speaker will be limited to no more than 3 minutes. The Mayor, as the presiding officer may, at his discretion, shorten the time limit for speakers when an unusually large number of persons have signed up to speak.

**AS A COURTESY, PLEASE TURN CELL PHONES
OFF WHILE MEETING IS IN PROGRESS**

Town of Huntersville
REQUEST FOR BOARD ACTION
7/17/2017

REVIEWED:

To: The Honorable Mayor and Board of Commissioners
From: Brad Priest, Senior Planner
Subject: R17-03: Storage Central General Rezoning

R17-03 is a request by Donald and Vicki Shew to generally rezone 12.66 acres from Corporate Business (CB) to Special Purpose (SP) at 15746 Old Statesville Road (Parcel #01101235).

ACTION RECOMMENDED:

Consider holding a public hearing on July 17, 2017.

FINANCIAL IMPLICATIONS:

ATTACHMENTS:

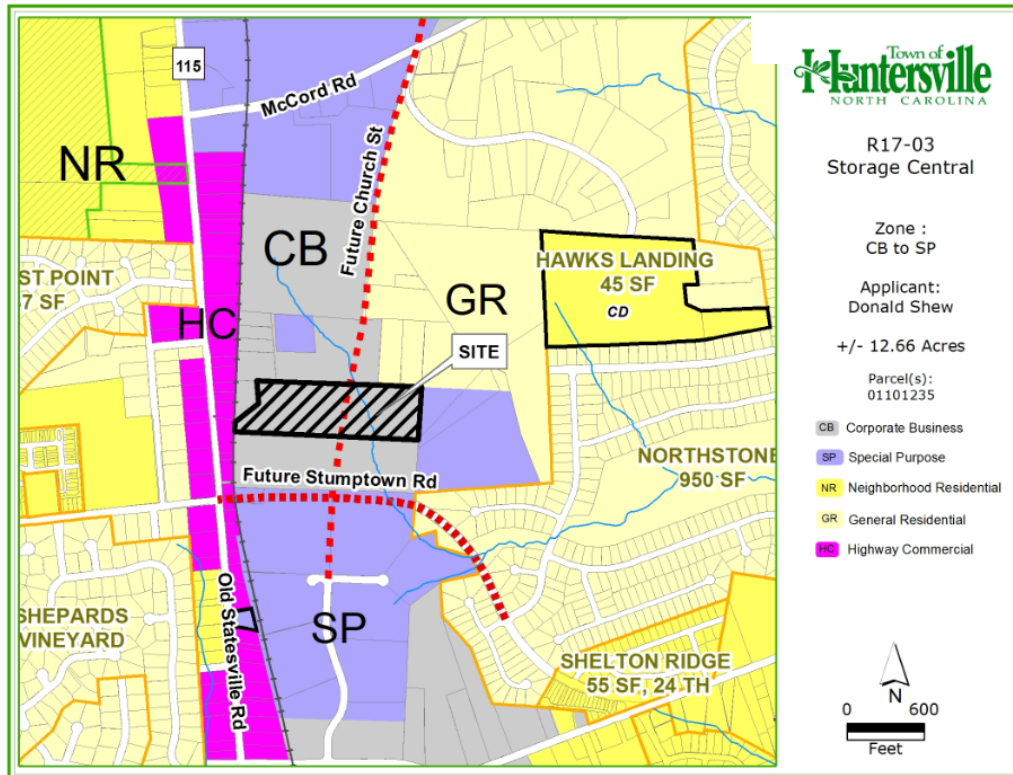
Description	Type
▣ Staff Report	Staff Report
▣ Application	Exhibit
▣ Traffic Separation Study Resolution	Backup Material
▣ Traffic Separation Plan	Backup Material

Petition R17-03: Storage Central General Rezoning

PART 1: PROJECT SUMMARY

Application Summary:

1. Donald and Vicki Shew have applied to generally rezone 12.66 acres from Corporate Business (CB) to Special Purpose (SP) at 15746 Old Statesville Road (Parcel #01101235) in order to accommodate the operation and expansion of the Storage Central facility.



Applicant: Don and Vickie Shew

Property Owner:
Same

Property Address:
15746 Old Statesville Road

Project Size: 12.66 acres

Parcel Numbers:
01101235

Existing Zoning:
Corporate Business (CB)

Proposed Zoning:
Special Purpose (SP)

2. Adjoining Zoning and Land Uses

North: Corporate Business (CB), Single Family Residential Homes

South: Corporate Business (CB), Single Family Residential: Special Purpose (SP) North Char Business Park.

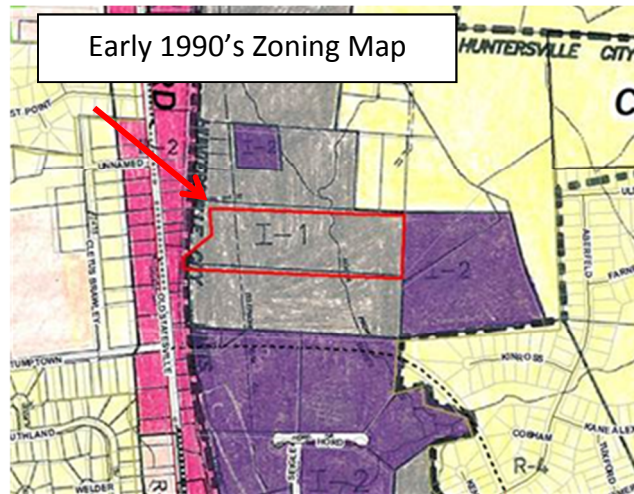
East: Special Purpose (SP), Industrial, Soil Supply Inc.

West: Highway Commercial (HC), Retail and Office: Corporate Business (CB), Single Family Residential.

3. The applicant is proposing a general rezoning and not a conditional district rezoning. Therefore the application does not have a site plan or any conditions associated with the request. If approved, all uses allowed in the Special Purpose (SP) district will be permitted as described in the ordinance.
4. The subject property in question has been zoned Corporate Business (CB) since 1996 when the Town of Huntersville adopted an updated Zoning Ordinance and Map. Before that time, the property was zoned "I-1" under the old 1991 Huntersville Zoning Ordinance which was a similar light industrial zoning district to the current CB. See the old 1990's zoning map below on page 2.
5. The outdoor storage of vehicles as a principle use was not permitted in the I-1 district nor is it an allowed use in the current Corporate Business (CB) zone.
6. The Storage Central RV/Boat storage business began operation on the property in the mid-1990s. Per discussion with the applicant, they did know that permitting was required. Throughout the years, the business operated

and expanded with no permits obtained. Last year staff received a complaint that the business was expanding with no permits and staff investigated and found that to be the case.

7. Staff met with the applicant and discussed the need to rezone the property and come up to current Huntersville Zoning Code to the extent practical. This includes rezoning the property, proper screening of adjacent properties, and installation of appropriate water quality devices for storm water control. This application is the first step to bring the property into compliance.



Storage Central Expansion

1998 (Google Earth)



2005 (Google Earth)



2012 (Google Earth)



2017 (Polaris)



8. Notifications to adjacent property owners were sent out by way of first class mail and a notification sign erected on the site per state statute. No neighborhood meeting is required for a general rezoning.

PART 2: REZONING/SITE PLAN ISSUES

- Since this is a general rezoning, there are no site specific issues with this rezoning application as there is no site plan attached to the request. If the application is approved, the applicant will need to submit a commercial site

plan showing plans for storm water improvements, landscaping, etc.

PART 3: TRANSPORTATION ISSUES

- Since a general rezoning is proposed, there are no transportation issues with changing one zoning district to another. However the following information is from Transportation Planning concerning transportation related items of the site in question:
 - Both the CRTPO and the North Carolina Board of Transportation have adopted the Comprehensive Transportation Plan which constitutes 4 separate maps for different modes of travel.
 - The “highway map” of the CTP replaces the Thoroughfare Plan and contains the “Church Street Extension” as a minor thoroughfare through this property.
 - This is a general rezoning thus although we can (and should) request that the landowner respect the alignment for Church St Ext, there is no basis for requesting dedication of r/w or construction.
 - Between 2000 and 2003, a joint effort of NC DOT’s Rail Division, Norfolk-Southern, CATS, MUMPO, Charlotte, Huntersville, Cornelius, Davidson, and Mooresville produced a Traffic Separation Study for the Norfolk-Southern O line to provide policy guidance for rail crossing protections along the line. The Town endorsed this study on July 19, 2004 and pledged its efforts to implement the safety recommendations. (see attached resolution)
 - Virtually all private (not public road) crossings along the N-S O line are recommended for closure under this policy document. Public crossings would have additional safety enhancements (gates, lights, etc) to improve safety of the remaining crossings.
 - The private rail crossing known to N-S as 721 735Y at Milepost 0-16.1 which serves this tract of land is recommended for closure in this approved study. Alternative access must be provided to the property as part of this closure. See attached plan sheet from the 2004 study.
 - The Town’s adopted Capital Improvement Program proposes the construction of the Stumptown Road Extension in current fy 2018.
 - The Town Engineering Department has begun negotiations with Norfolk Southern for permitting of the new Stumptown Road crossing and has proposed the closure of this private crossing and several others as part of the negotiations. A new access to the property will occur from the extension of Stumptown Road. Precise details of the alternative access have not yet been developed and will be developed in consultation with the landowners as part of the Stumptown Road project.
 - The Town Board and the land owner should be aware of the changes to access to this tract which appear to be in the foreseeable future. It is mutually beneficial for these to occur. The changes will be positive for several reasons:
 - The new property access, through a connection to the Stumptown Road Extension, will allow the crossing of the Norfolk-Southern O line in a safe, protected fashion and intersects NC 115 at a signalized intersection.
 - The current property access crosses land owned by others in order to get to NC 115. The new access will provide fully documented access to the property, facilitating easier redevelopment when the landowner chooses.
 - The extension of Stumptown Road to the currently constructed segment leading to Ramah Church Rd will allow easier access to the property from customers located to the east of the tract.
 - Ultimately, the northern extension of Church Street through the eastern portion of this property will avail it of public street frontage which should lead to enhanced development opportunities to the landowner.

PART 4: REZONING CRITERIA

Article 11.4.7(d) of the Zoning Ordinance states that “in considering any petition to reclassify property, the Planning Board in its recommendation and the Town Board in its decision shall take into consideration any identified relevant adopted land-use plans for the area including, but not limited to, comprehensive plans, strategic plans, district plans, area plans, neighborhood plans, corridor plans, and other land-use policy documents”.

STAFF COMMENT – Staff finds the proposed use consistent with the following policies of the 2030 Huntersville Community Plan:

- **Policy CD-2: Focus higher intensity development generally within 2 miles of the I-77 and NC 115 corridor.** The property in question is located immediately east of the NC 115 Corridor.

Article 11 Section 11.4.7(e) of the Zoning Ordinance states that: “in considering any petition to reclassify property the Planning Board in its recommendation and the Town Board in its decision should consider:

1. **Whether the proposed reclassification is consistent with the overall character of existing development in the immediate vicinity of the subject property.**

STAFF COMMENT:

The rezoning of the property to Special Purpose (SP) would be intensifying the property from a light industrial zone (CB), to a heavy industrial zone. Such intensification would be consistent with the overall character of existing adjacent development. There exists SP zoning immediately to the east where the Soil Supply business currently operates as well as toward the south at the NorthChar business park (Seigle Street). Other areas adjacent to the property are zoned Corporate Business (CB). In addition, the SP use of outdoor vehicle storage has been currently in operation for 22 years. Therefore the SP zone would be consistent with how the property is currently being used.

2. **The adequacy of public facilities and services intended to serve the subject property, including but not limited to roadways, transit service, parks and recreational facilities, police and fire protection, hospitals and medical services, schools, storm water drainage systems, water supplies, and wastewater and refuse disposal.**

STAFF COMMENT:

- There are no public facility concerns for a general rezoning application. Any traffic impact or public facility needs will be reviewed during the subsequent commercial site plan review for any proposed development.

3. **Whether the proposed reclassification will adversely affect a known archeological, environmental, historical or cultural resource.”**

STAFF COMMENT:

Planning staff has no indication that the request will adversely affect known archeological, environmental resources.

PART 5: PUBLIC HEARING

The Public Hearing is scheduled for July 17, 2017

PART 6: STAFF RECOMMENDATION

Staff recommends approval of the rezoning application as the SP district is consistent with adjacent development and will allow the existing Storage Central business to bring their site up to current zoning code.

PART 7: PLANNING BOARD RECOMMENDATION

The Planning Board meeting is scheduled for July 25, 2017.

PART 8: CONSISTENCY STATEMENT – R17-03: STORAGE CENTRAL GENERAL REZONING

Planning Department	Planning Board	Board of Commissioners
APPROVAL: In considering the proposed rezoning of Petition R17-03, Storage Central General Rezoning, Planning Staff finds that the rezoning is consistent with Policy CD-2 of the Town of Huntersville 2030 Community Plan. Staff recommends rezoning the property from Corporate Business (CB) to Special Purpose (SP). It is reasonable and in the public interest to rezone this property because the SP district will be consistent with adjacent zoning districts and will accommodate the current use of the property.	APPROVAL: In considering the proposed rezoning of Petition R17-03, Storage Central General Rezoning, the Planning Board finds that the rezoning is consistent with the Town of Huntersville 2030 Community Plan and other applicable long range plans. The Planning Board recommends rezoning the property from Corporate Business (CB) to Special Purpose (SP). It is reasonable and in the public interest to rezone this property because...(explain)	APPROVAL: In considering the proposed rezoning of Petition R17-03 Storage Central General Rezoning, the Town Board finds that the rezoning is consistent with the Town of Huntersville 2030 Community Plan and other applicable long range plans. The Town Board recommends rezoning the property from Corporate Business (CB) to Special Purpose (SP). It is reasonable and in the public interest to rezone this property because...(explain)
DENIAL: N/A	DENIAL: In considering the proposed rezoning of Petition R17-03, Storage Central General Rezoning, the Planning Board finds that the rezoning is not consistent with the Town of Huntersville 2030 Community Plan and other applicable long range plans. We recommend denial of Rezoning Petition R17-03. It is not reasonable and not in the public interest to rezone this property because..... (Explain)	DENIAL: In considering the proposed rezoning of Petition R17-03, Storage Central General Rezoning, the Town Board finds that the rezoning is not consistent with the Town of Huntersville 2030 Community Plan and other applicable long range plans. We recommend denial of Rezoning Petition R17-03. It is not reasonable and not in the public interest to rezone this property because..... (Explain)



General Application

Incomplete submissions will not be accepted. Please check all items carefully.

1. Application Type

Please indicate the type of application you are submitting. If you are applying for two (2) actions, provide a separate application for each action. **In addition to the application, the submission process for each application type can be found at**

<http://www.huntersville.org/Departments/Planning/PermitsProcess.aspx>

- ☐ CHANGE OF USE
- ☐ COMMERCIAL SITE PLAN
- ☐ CONDITIONAL REZONING
- ☒ GENERAL REZONING
- ☐ MASTER SIGNAGE PROGRAM
- ☐ REVISION to _____
- ☐ SPECIAL USE PERMIT

SUBDIVISION CATEGORIES: *Per the Huntersville Subdivision Ordinance*

- ☐ SKETCH PLAN
- ☐ PRELIMINARY PLAN
- ☐ FINAL PLAT (includes minor and exempt plats)
- ☐ FINAL PLAT REVISION
- ☐ FARMHOUSE CLUSTER

2. Project Data

Date of Application 4.26.17

Name of Project Storage Central Phase # (if subdivision) _____

Location 1574 6 Old Statesville Road, Huntersville, NC 28078

Parcel Identification Number(s) (PIN) 011-012-35

Current Zoning District CB Proposed District (for rezonings only) SP

Property Size (acres) 12.66 Street Frontage (feet) _____

Current Land Use Storage of vehicles (22 years for this use)

Proposed Land Use(s) No change from existing use

Is the project within Huntersville's corporate limits?
Yes ☐ No ☐ If no, does the applicant intend to voluntarily annex? _____

3. Description of Request

Briefly explain the nature of this request. If a separate sheet is necessary, please attach to this application.

This use began under the County Ordinance 22 years ago. When the Huntersville zoning jurisdiction included the Property, it was zoned under the old I-1 zoning classification. Applicant proposes to rezone to conform to the appropriate district under the *

4. Site Plan Submittals

Consult the particular type of Review Process for the application type selected above. These can be found at: <http://www.huntersville.org/Departments/Planning/PermitsProcess.aspx>.

*current zoning ordinance.

5. Outside Agency Information

Other agencies may have applications and fees associated with the land development process. The Review Process list includes plan documents needed for most town and county reviewing agencies.

For major subdivisions, commercial site plans, and rezoning petitions please enclose a copy of the Charlotte-Mecklenburg Utility *Willingness to Serve* letter for the subject property.

6. Signatures

*Applicant's Signature

Donald R. Shew
Vicki L. Shew

Printed Name

Donald R. and Vicki Shew

Address of Applicant

300 Marshall Farm Rd., Harmony, NC 28634

Email

susan@skirvinlaw.com

Property Owner's Signature (if different than applicant)

Printed Name

Donald R. and Vicki L. Shew

Property Owner's Address

300 Marshall Farm Rd., Harmony, NC 28634

Email

susan@skirvinlaw.com

* Applicant hereby grants permission to the Town of Huntersville personnel to enter the subject property for any purpose required in processing this application.

Development Firm

Name of contact

Phone

Email

Design Firm

Name of contact

Phone

Email

If Applying for a General Rezoning:

Please provide the name and Address of owner(s) of fee simple title of each parcel that is included in this rezoning petition. If additional space is needed for signatures, attach an addendum to this application.

If Applying for a Conditional Rezoning:

Every owner of each parcel included in this rezoning petition, or the owner (s) duly authorized agent, must sign this petition. If signed by an agent, this petition MUST be accompanied by a statement signed by the property owner (s) and notarized, specifically authorizing the agent to act on the owner (s) behalf in filing this petition. Failure of each owner, or their duly authorized agent, to sign, or failure to include the authority of the agent signed by the property owner, will result in an INVALID PETITION. **If additional space is needed for signatures, attach an addendum to this application.**

Signature, name, firm, address, phone number and email of Duly Authorized Agent by owner needed below:

If Applying for a Subdivision:

By signature below, I hereby acknowledge my understanding that the Major Subdivision Sketch Plan Process is a quasi-judicial procedure and contact with the Board of Commissioners shall **only** occur under sworn testimony at the public hearing.

Contact Information

Town of Huntersville
Planning Department
PO Box 664
Huntersville, NC 28070

Phone:

704-875-7000

Fax:

704-992-5528

Physical Address:

105 Gilead Road, Third Floor

Website:

<http://www.huntersville.org/Departments/Planning.aspx>

Resolution to Accept Traffic Separation Study

WHEREAS the Charlotte Area Transit System (CATS) is planning the implementation of new commuter rail service between downtown Charlotte and Mooresville, NC, along the Norfolk Southern Railway "O" line; and

WHEREAS, the City of Charlotte entered into a Municipal Agreement with the North Carolina Department of Transportation (NCDOT) to undertake a comprehensive study of all at-grade crossings on the "O" Line on November 20, 2000; and,

WHEREAS, the Town of Huntersville entered into an Interlocal Agreement with the City of Charlotte on November 6, 2000 to participate in and make a "best faith" effort to implement the recommendations of said study,

WHEREAS, a comprehensive study of the at-grade crossings between Charlotte and Mooresville was completed in December 2001; and,

WHEREAS, the study has been presented in summary form to the Technical Coordinating Committee on February 6, 2003 and the Mecklenburg-Union Metropolitan Planning Organization (MUMPO) on May 21, 2003 and was approved by the MUMPO at that same meeting;

NOW, THEREFORE, BE IT RESOLVED, the Town of Huntersville formally accepts the Traffic Separation Study Final Report and endorses in concept the recommendations contained therein. This endorsement is subject to modifications agreed to by the Town, NCDOT and CATS, with respect to specific crossings as required to reflect changed circumstances. Further, the Town agrees to work with the Rail Division of the NCDOT and CATS to implement the safety recommendations.

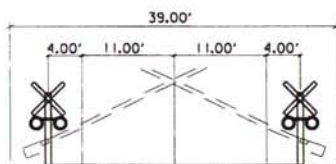
Duly adopted this 19th day of July, 2004.

MAYOR

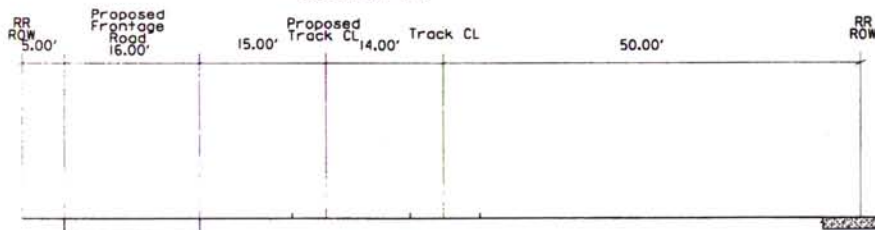
ATTEST:

TOWN CLERK

SEAL



Section BB



Section AA
Frontage Rd. Section

0101235 0101235
DOMESTIC CORPORATION
WASHAM LAND COMPANY INC
8053 UNITY CHURCH RD
DENVER, NC ZIP: 28037
07966/0811/8/94

721 735Y
MP 0-16.1

CLOSE XING, REMOVE PVMT. & EQUIP.
AREA TO BE SEEDD AND MULCHED.

0101227
WEBSTER VINCENT ROY & W F NAN S
15620 OLD STATESVILLE RD
01970/1711/1/75

721 736F
MP 16.1

0102012 0102012
WILHELM GARY COOPER
& W F BRENDA
02491/5911/1/75

Existing RR ROW

Future
MP 0-16.05

0102014
BRYANT CARL DAVID
& W F BONNE JEAN
15526 OLD STATESVILLE RD
06913/085 18/13/92

0102013
ABERNATHY RICHARD F
& W F ROBYN B
15534 OLD STATESVILLE RD
06806/257 11/1/96

Old Statesville Rd

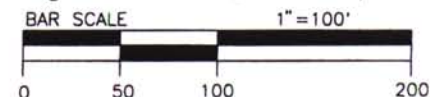
CLOSE XING, REMOVE PVMT. & EQUIP
AREA TO BE SEEDD AND MULCHED

REPLACE XING SIGNAL UPGRADE
EXISTING EQUIPMENT & WIDEN ROAD

RECOMMENDED IMPROVEMENTS
PRIVATE CROSSING #721735Y
PRIVATE CROSSING #721736F
FUTURE CROSSING #
PRIVATE CROSSING #721737M
HUNTERSVILLE

 **Gannett Fleming**
ENGINEERS AND PLANNERS
301 S. McDOWELL ST. SUITE 914
CHARLOTTE, NORTH CAROLINA 28204

Figure 10 of 19



HUNTERSVILLE →

Town of Huntersville
REQUEST FOR BOARD ACTION
7/17/2017

REVIEWED:

To: The Honorable Mayor and Board of Commissioners
From: Alison Adams, Senior Planner
Subject: R17-01 Sherrill Subdivision Conditional Rezoning

Rezoning: R17-01 Sherrill Subdivision Conditional Rezoning is requested by Nate Bowman to rezone parcel numbers 01920320, 01920313, and 01937101 from Neighborhood Residential and Transitional Residential to Neighborhood Residential Conditional District.

ACTION RECOMMENDED:

Request Town Board take action.

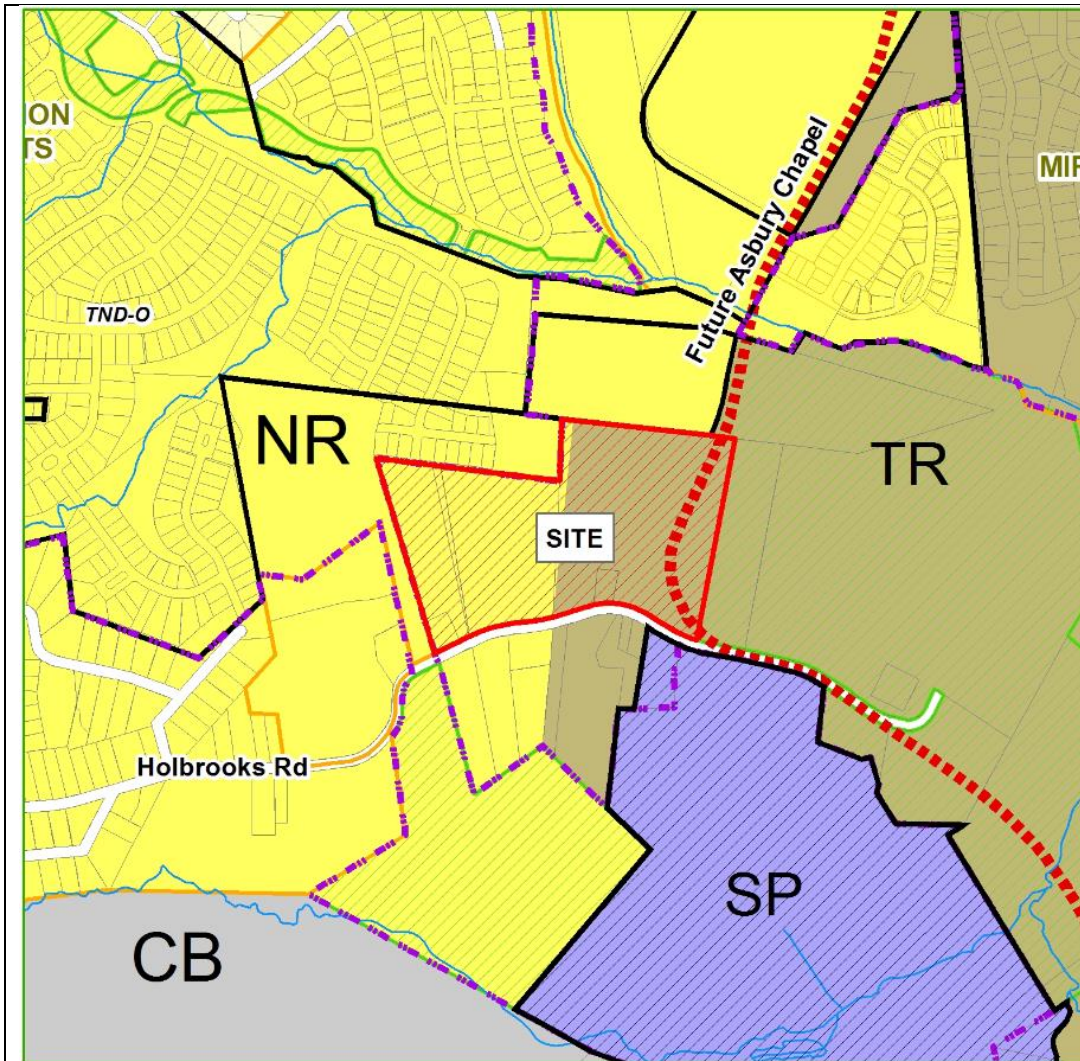
FINANCIAL IMPLICATIONS:

ATTACHMENTS:

Description	Type
▣ R17-01 Sherrill Subdivision CD Rez Staff Report	Staff Report
▣ R17-01 Sherril Subdivision CD Rez Attachment A Application	Exhibit
▣ R17-01 Sherrill Subdivision CD Rez Attachment B Site Plan	Exhibit
▣ R17-01 Sherrill Subdivision CD Rez Attachment C Neighborhood Meeting Minutes	Exhibit
▣ R17-01 Sherrill Subdivision CD Rez Attachment D APF Letter	Exhibit
▣ R17-01 Sherrill Subdivision CD Rez Attachment E: CMS Report	Exhibit

Petition R17-01 Sherrill Subdivision Conditional District Rezoning

PART 1: PROJECT SUMMARY



Applicant: Nate Bowman,
Bowman Development
(Attachment A: Application)

Property Owner: Southside
Neighborhood, LLC, Lauro
and Delia Mercado, and
Bowman Development
Group, Inc.

Property Address: 15035
and 15113 Holbrooks Road

Project Size: (+/-) 37.77
acres

Parcel Numbers: 01920320,
01920313, 01937101

Current Zoning:
Neighborhood Residential
(NR) and Transitional
Residential (TR)

Current Land Use: Single-
family residential and vacant

Proposed Zoning:
Neighborhood Residential —
Conditional District (NR-CD).

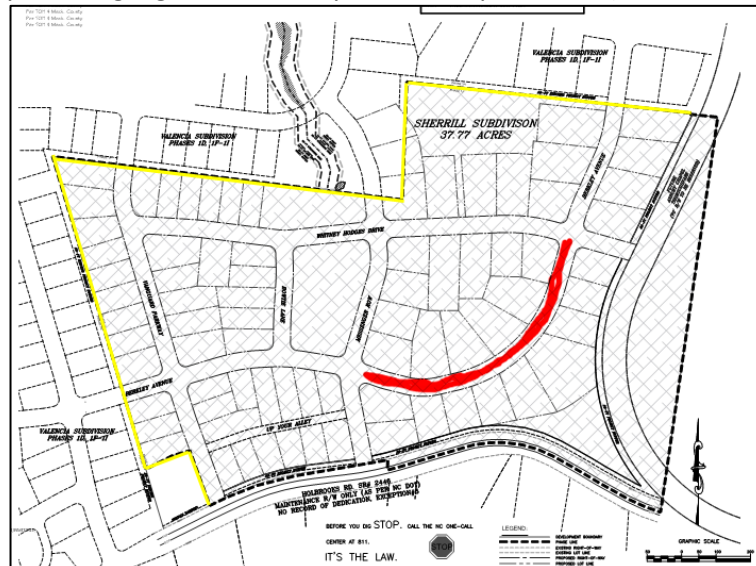
Proposed Land Use:
Single Family Residential

1. Purpose: Rezone 37.77 acres north of Holbrooks Road (southeast of Vermillion Subdivision) from Neighborhood Residential (NR) and Transitional Residential (TR) to Neighborhood Residential – Conditional District (NR-CD). The purpose of the rezoning is to create a subdivision for 77 single family residential lots. A Subdivision Sketch Plan has also been submitted concurrently with the Rezoning Plan and will be heard at the Planning Board on June 27, 2017. Both the Rezoning and Sketch Plan are tentatively scheduled for Town Board final action on July 17, 2017. Attachment B: Conditional Rezoning Plan
2. Adjoining Zoning and Land Uses.
North: Neighborhood Residential (NR- CD and NR –TND-O) – single-family subdivision, known as Valencia.
South: Transitional Residential (TR) - single-family lots, and a landfill.
East: Transitional Residential – Mecklenburg County owned: David B. Waymer Regional Flying Park.
West: Neighborhood Residential (NR- CD and NR –TND-O) – single-family subdivision, known as Valencia.
3. A neighborhood meeting was held on April 24, 2017. The complete meeting summary is provided in Attachment C.
4. Notice for this rezoning petition was given via letters sent to adjoining property owners, a legal ad placed in the Charlotte Observer and posting rezoning signs on the property in three (3) locations.

PART 2: REZONING/SITE PLAN ISSUES

The proposed Conditional District Plan is compliant with the Zoning Ordinance and Subdivision Regulations, significant elements of the proposal include:

- 77 single family residential lots on 37.77 acres, totals 2.04 dwelling units per acre.
- Two street connections on to Holbrooks Road are being proposed, four existing connections to Valencia Subdivision are being provided, and a proposed stub to the future Asbury Chapel Thoroughfare. 70' dedication of right of way for the future Asbury Chapel Thoroughfare is proposed on the plans, along with dedicated area to accommodate the future Holbrook realignment in to Asbury Chapel. Block lengths are being met, except on Berkley Avenue from Messenger Row to Whitney Hodges Drive (895 ft). Staff is in support of the block length wavier due to the curvature of the proposed road (reference the red highlighted block within the plan below).
- Per Article 7.5.3 (foot note 4), where connectivity between subdivisions is appropriate for high quality neighborhood design, the Town Board may reduce or waive the required buffer yard. Staff is in favor of removal of the buffer yard. Due to topography within the adjacent subdivision and the proposed subdivision grading will need to occur to handle storm water efficiently. Sherrill Subdivision will operate as a phase of Valencia (reference the yellow highlighted boundary within the plan below).



- .5 acre square is centrally located and meets the standards for Urban Open Space.
- 10% of the all canopy trees and 10% of all specimen trees are required to be kept. The developer is providing 10% of the canopy and 50% of the specimen trees.
- The updated plan submitted on June 15, 2017 was reviewed. All previous comments have been addressed.

PART 3: TRANSPORTATION ISSUES

The TIA is acceptable as a final version. Based on the results of the TIA, no offsite roadway improvements are recommended.

PART 4: ADEQUATE PUBLIC FACILITIES (APF)

Under the provisions of the APF Ordinance, all residential development greater than twenty (20) lots are required to receive a "Determination of Adequacy (DOA)" for the following public facilities: fire station, fire vehicles, police station, police vehicles, indoor park and recreation facilities, and parks acreage. The proposed CD Rezoning met the required threshold for submission of an APF application, and the proposed subdivision is subject to the requirements of the APFO.

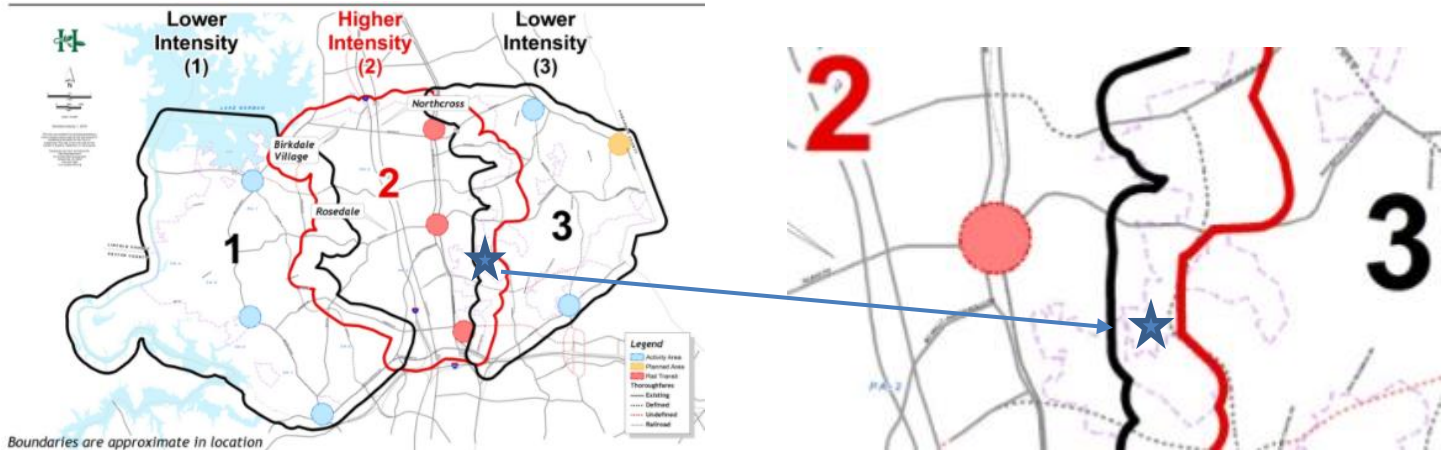
Comment - A Determination of Adequacy (DOA) has been issued for the following public facilities: Fire Vehicles, Fire Stations, Police Vehicles, Stations, Indoor Park & Recreation Facilities and Park Acreage. Attachment D.

Additionally, staff has contacted Charlotte-Mecklenburg Schools (CMS) for an enrollment evaluation of this project, please reference Attachment E: CMS Report.

PART 5: REZONING CRITERIA

Article 11.4.7(d) of the Zoning Ordinance states that “in considering any petition to reclassify property, the Planning Board in its recommendation and the Town Board in its decision shall take into consideration any identified relevant adopted land-use plans for the area including, but not limited to, comprehensive plans, strategic plans, district plans, area plans, neighborhood plans, corridor plans, and other land-use policy documents”.

The Town of Huntersville in 2011 adopted the 2030 Community Plan,



STAFF COMMENT – The 2030 Huntersville Community Plan supports this project through the following sections:

- **Policy E-1, E-2 & E-3: Preservation and Enhancement.** Support the preservation and enhancement of the natural environment, along with its scenic and cultural assets.
Comment: The proposed development does provide adequate open space per the Neighborhood Residential zoning district. If buffers, as shown on the plan, do not have adequate foliage to meet the ordinance requirements, then supplementation will be required. Staff has requested a large buffer against Holbrook Road where the rears of homes are adjacent the street to meet provision 6.200.2 of the Subdivision Ordinance. The applicant has provided a 40' landscape buffer along Holbrooks Road to accommodate staff's request.
- **Policy H-1 & H-9: Development Pattern.** Continue to follow existing residential development pattern as reflected in “Map of Zoning Districts,” focusing higher intensity development generally within two miles of the I-77/NC 115 corridor.
Comment: The proposed development is located within two miles of I-77. As shown on the 2030 Community Plan the subdivision falls within the area that transitions from high intensity to lower intensity.
- **Policy E-5: Vehicle Miles Travelled (VMT)** Support reduction in vehicle miles travelled (VMT), through capital investments in sidewalks, greenways, enhanced connectivity and mass transit (bus & rail).
Comment: Sidewalks are being installed on all proposed Town Streets and along Holbrooks Road.
- **Policy T-5: Context-sensitive Design of Streets:** Continue to support “context-sensitive” design of streets and the selection of appropriate street section designs for residential, commercial and industrial developments.
Comment: The internal streets are appropriately sized for residential development, block lengths are being used to break up long expanses of straight streets and by-design the developer has incorporated curvilinear streets to slow traffic. The proposed cross-section for Holbrooks Road provides context-

sensitive design by providing adequate lane widths, a sidewalk (5' wide) and a green zone for street tree planting.

- **Policy T-6: Pedestrian Connections:** Support the installation of sidewalks, bikeways and greenway trails connecting residential, commercial, employment, recreational and institutional uses.
Comment: Sidewalks are being installed on all proposed Town Streets and along Holbrooks Road.
- **Policy T-7: Traffic Impact Analysis Ordinance:** Continue to apply requirements of "Traffic Impact Analysis" Ordinance, including Level of Service and mitigation of impacts generated by new development.
Comment: A TIA was required and the required transportation enhancements are outlined in Part 3 of this staff analysis.
- **Policy T-8: Street Connectivity:** Promote and require street connectivity in the Town of Huntersville among residential, employment, recreational and institutional uses.
Comment: The proposed development provides two (2) connections to Holbrooks Road, four connections to the existing Valencia subdivision street network, dedication of 70' to accommodate the future Asbury Chapel Thoroughfare and dedication of land to accommodate the future Holbrook realignment into Asbury Chapel.
- **Policy CD-5: Street Infrastructure:** Continue to require that adequate public infrastructure (roads, utilities, etc.) either exist or will be made available to support all new development.
Comment: The proposed development is providing upgrades to Holbrooks Road in front of the subdivision. There will be two connection points onto Holbrooks Road to allow traffic to disperse. There are four existing stubs being connected to in the Valencia subdivision. Depending on the results of the Traffic Impact Analysis further off-site road improvements could be warranted. The proposed development will connect to public water and sewer.
- **Policy PF-2: Adequate Public Facilities:** Continue use of "Adequate Public Facilities Ordinance" to ensure that demand generated by existing and future growth and development for police, fire and parks & recreation capital facilities can be met by available supply of facilities.
Comment: see Part 4 of this report.

STAFF COMMENT – The East Huntersville Small Area Plan supports this project through the following statements:

- Extend utilities to open up new neighborhood development along Holbrooks Road.
Comment – The developer will be tying on to public sewer and water. The water line will be extend to Holbrooks Road aiding development.
- New street connections to improve town-wide access in East Huntersville.
Comment – Dedication of the future Asbury Chapel Thoroughfare is required. This will allow construction of a north/south transportation corridor to help disperse traffic. Connections through subdivision streets from Holbrooks to Huntersville Concord will allow residents to travel through the neighborhood streets without having to drive on primary roads.
- Redevelop the land along Holbrooks Road as residential neighborhood with a grid of streets that connect north into Vermillion. The future town recreation area can be integrated with the residential development to achieve an ideal configuration. The streets will follow the contours of the land and existing ravines will connect into a regional open space network of trails and natural areas.
Comment – The proposed development is design with a grid network that follows the contours. The sidewalks along the streets will connect to other phases within Valencia that will allow residents to access greenway trails and pockets of urban open space.



Location of
proposed
development

Article 11 Section 11.4.7(e) of the Zoning Ordinance states that: “in considering any petition to reclassify property the Planning Board in its recommendation and the Town Board in its decision should consider:

- 1. Whether the proposed reclassification is consistent with the overall character of existing development in the immediate vicinity of the subject property.**

STAFF COMMENT:

The proposed Conditional District Rezoning for the Sherrill Subdivision is supported by the East Huntersville Small Area Plan and the 2030 Community Plan, as the property is located within the area eligible for intensification and fills a gap between existing properties. The proposal is also appropriate for the area by providing adequate infrastructure (which includes appropriate new roads, existing road upgrades and other transportation enhancements as well as providing adequate open space).

- 2. The adequacy of public facilities and services intended to serve the subject property, including but not limited to roadways, transit service, parks and recreational facilities, police and fire protection, hospitals and medical services, schools, storm water drainage systems, water supplies, and wastewater and refuse disposal.**

STAFF COMMENT:

- A Transportation Impact Analysis was required – see Part 3 of this report.
- The APF Ordinance Determination of Adequacy was required – see Part 4 of this report.
- Storm water drainage, water supplies and wastewater and trash disposal and a Willingness-to-serve letter have been provided from Charlotte Water, as well as the applicant has achieved PCO-1 storm water approval from Mecklenburg County.

3. Whether the proposed reclassification will adversely affect a known archeological, environmental, historical or cultural resource.”

STAFF COMMENT:

Planning staff has no indication that the request will adversely affect known archeological, environmental, historical or cultural resources.

PART 6: STAFF RECOMMENDATION

The Sherrill Subdivision Conditional District Rezoning Plan can be supported by staff subject to the following:

- All required TIA/Town/NCDOT required improvements are provided (see Part 3);
- Buffer and block length waivers are approved

PART 7: PUBLIC HEARING COMMENTS

Public Hearing held on June 05, 2017

PART 8: PLANNING BOARD RECOMMENDATION

Planning Board reviewed the petition on June 27, 2017. The following motion was made: The Planning Board recommends approval based on staff recommendation that all required TIA and NCDOT requirements be approved and in place before Town Board recommendations; and that the buffer and block length waivers be approved as suggested by staff. The plan is consistent with the 2030 Community Plan; it is in the interest of the public and reasonable and should be approved because it meets the 2030 Plan, zoning requirements and all necessary TIA and DOT requirements.

Recommended approval 9-0.

PART 9: ATTACHMENTS/ENCLOSURES

Attachments

- A – Rezoning Application
- B – Proposed Rezoning Plan
- C – Neighborhood Meeting Report
- D – APF Letter of Determination
- E – CMS Report

PART 10: CONSISTENCY STATEMENT - R 17-01 Sherrill Subdivision

Planning Department	Planning Board	Board of Commissioners
<p>APPROVAL: In considering the proposed rezoning application R17-01; Sherrill Subdivision Conditional District Rezoning, the Planning staff recommends conditional approval as it is consistent with Implementation Goals E1-3 and 5, H1 and 9, T5-8, CD5, and PF2 of the 2030 Community Plan. The request is compatible with the East Huntersville Small Area Plan. The property is also located within the high intensity development area and the proposed density is consistent with surrounding developments (see Part 5). Recommendation of approval is also based on all provisions outlined in Part 6 being addressed.</p> <p>With those provision, it is reasonable and in the public interest to approve the Conditional District Rezoning Plan because the request is consistent with the 2030 Community Plan, East Huntersville Small Area Plan and is in keeping with the spirt and intent of the ordinance.</p>	<p>APPROVAL: In considering the proposed rezoning application R17-01; Sherrill Subdivision Conditional District, the Planning Board recommends approval based on the Plan being consistent with the Town of Huntersville 2030 Community Plan with the mention corrections within the staff report being addressed.</p> <p>It is reasonable and in the public interest to approve the Rezoning Plan because the request is located within the higher intensity zone, is consistent with surrounding development and is within the intent of the ordinance.</p>	<p>APPROVAL: In considering the proposed rezoning application R17-01; Sherrill Subdivision Conditional District, the Town Board recommends approval based on the Plan being consistent with <u>(insert applicable plan reference)</u>.</p> <p><u>It is reasonable and in the public interest to approve the Rezoning Plan because... (Explain)</u></p>
		<p>DENIAL: In considering the proposed rezoning application R17-01; Sherrill Subdivision Conditional District, the Town Board recommends denial based on the Plan being <u>(consistent OR inconsistent) with (insert applicable plan reference)</u>.</p> <p><u>It is not reasonable and in the public interest to approve the Rezoning Plan because... (Explain)</u></p>



General Application

Incomplete submissions will not be accepted. Please check all items carefully.

1. Application Type

Please indicate the type of application you are submitting. If you are applying for two (2) actions, provide a separate application for each action. In addition to the application, the submission process for each application type can be found at

<http://www.huntersville.org/Departments/Planning/PermitsProcess.aspx>

- ☐ CHANGE OF USE
- ☐ COMMERCIAL SITE PLAN
- ☒ CONDITIONAL REZONING
- ☐ GENERAL REZONING
- ☐ MASTER SIGNAGE PROGRAM
- ☐ REVISION to _____
- ☐ SPECIAL USE PERMIT

SUBDIVISION CATEGORIES: *Per the Huntersville Subdivision Ordinance*

- ☐ SKETCH PLAN
- ☐ PRELIMINARY PLAN
- ☐ FINAL PLAT (includes minor and exempt plats)
- ☐ FINAL PLAT REVISION
- ☐ FARMHOUSE CLUSTER

2. Project Data

Date of Application 2/28/17

Name of Project VALENCIA J Phase # (if subdivision) _____

Location HOLBROOKS RD

Parcel Identification Number(s) (PIN) 01920320, 01920313, 01937101

Current Zoning District NR + TR Proposed District (for rezonings only) NR

Property Size (acres) 38 Street Frontage (feet) _____

Current Land Use VACANT

Proposed Land Use(s) SF LOTS

Is the project within Huntersville's corporate limits?
Yes _____ No ☒ If no, does the applicant intend to voluntarily annex? YES

3. Description of Request

Briefly explain the nature of this request. If a separate sheet is necessary, please attach to this application.

REZONE 38 ACRES FROM NR + TR TO NR(15)

4. Site Plan Submittals

Consult the particular type of *Review Process* for the application type selected above. These can be found at: <http://www.huntersville.org/Departments/Planning/PermitsProcess.aspx>.

5. Outside Agency Information

Other agencies may have applications and fees associated with the land development process. The *Review Process* list includes plan documents needed for most town and county reviewing agencies.


For major subdivisions, commercial site plans, and rezoning petitions please enclose a copy of the Charlotte-Mecklenburg Utility *Willingness to Serve* letter for the subject property.

6. Signatures

*Applicant's Signature  Printed Name ROBERT BOWMAN

Address of Applicant 13815 CENNABAR PL HUNTERSVILLE, NC 28078

Email bowman31@gmail.com

Property Owner's Signature (if different than applicant) 

Printed Name SOUTHSIDE NEIGHBORHOOD LLC - ROBERT BOWMAN - MANAGER

Property Owner's Address 13815 CENNABAR PL Email bowman31@gmail.com

* Applicant hereby grants permission to the Town of Huntersville personnel to enter the subject property for any purpose required in processing this application.

Development Firm	Name of contact	Phone	Email
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Design Firm	Name of contact	Phone	Email
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If Applying for a General Rezoning:

Please provide the name and Address of owner(s) of fee simple title of **each** parcel that is included in this rezoning petition. If additional space is needed for signatures, attach an addendum to this application.

If Applying for a Conditional Rezoning:

Every owner of each parcel included in this rezoning petition, or the owner (s) duly authorized agent, must sign this petition. If signed by an agent, this petition **MUST** be accompanied by a statement signed by the property owner (s) and notarized, specifically authorizing the agent to act on the owner (s) behalf in filing this petition. Failure of each owner, or their duly authorized agent, to sign, or failure to include the authority of the agent signed by the property owner, will result in an **INVALID PETITION**. **If additional space is needed for signatures, attach an addendum to this application.**

Signature, name, firm, address, phone number and email of Duly Authorized Agent by owner needed below:

If Applying for a Subdivision:

By signature below, I hereby acknowledge my understanding that the Major Subdivision Sketch Plan Process is a quasi-judicial procedure and contact with the Board of Commissioners shall **only** occur under sworn testimony at the public hearing.

Contact Information

Town of Huntersville	Phone:	704-875-7000
Planning Department	Fax:	704-992-5528
PO Box 664	Physical Address:	105 Gilead Road, Third Floor
Huntersville, NC 28070	Website:	http://www.huntersville.org/Departments/Planning.aspx

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Address of Applicant 13815 CINNABAR PL HUNTERSVILLE, NC 28078

Email bowman31@gmail.com

Property Owner's Signature (if different than applicant) 

Printed Name BOWMAN DEVELOPMENT GROUP - ROBERT BOWMAN - PRESIDENT

Property Owner's Address 13815 CINNABAR PL Email bowman31@gmail.com

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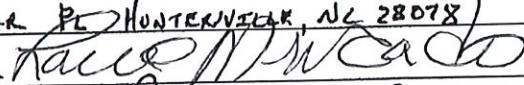
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*Applicant's Signature  Printed Name ROBERT BOWMAN

Address of Applicant 13815 LENNABAR PL HUNTERSVILLE, NC 28078

Email bowman31@gmail.com 

Property Owner's Signature (if different than applicant) 

Printed Name Delia R. Mercado Lauro Mercado

Property Owner's Address 15035 Holbrooks Rd Email mercadoconst@yahoo.com

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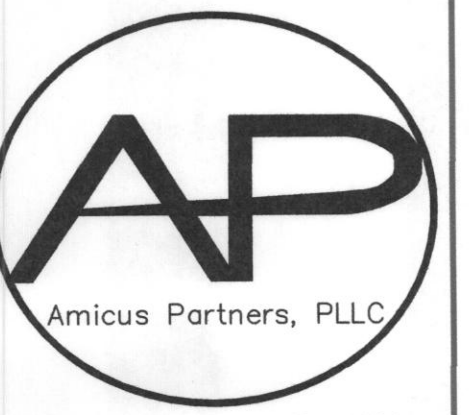
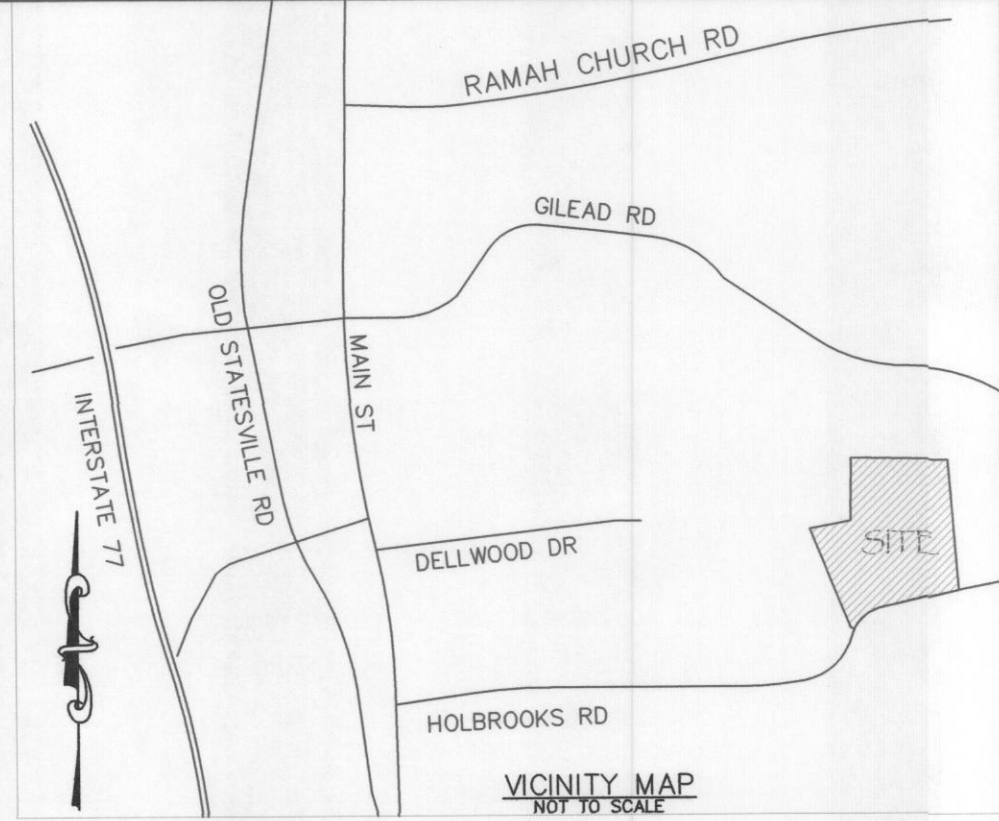
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SHERRILL SUBDIVISION SKETCH PLAN HUNTERSVILLE, NORTH CAROLINA MECKLENBURG COUNTY

Sheet Title	Sheet No.	Original Date	Latest Revision Date	Revision Number	Revision Note
Cover Sheet	C-0.0	02/28/17	06/15/17	2	Per TOH
Boundary-Existing Conditions	C-1.0	02/28/17	05/08/17	1	Per TOH # MECK. COUNTY
Rezoning Plan	C-1.1	02/28/17	06/15/17	2	Per TOH
Site Plan	C-2.0	02/28/17	06/15/17	2	Per TOH
GO Scale-Site Plan	C-2.1	02/28/17	06/15/17	2	Per TOH
Tree Planting / Tree Save Plan	C-2.2	02/28/17	06/15/17	2	Per TOH
Site Details	C-2.3	02/28/17	06/15/17	2	Per TOH
Tree Planting / Tree Save Plan	C-3.0	02/28/17	06/15/17	2	Per TOH
GO Scale-Tree Planting / Tree Save Plan	C-3.1	02/28/17	06/15/17	2	Per TOH
GO Scale-Tree Planting / Tree Save Plan	C-3.2	02/28/17	06/15/17	2	Per TOH
Conceptual Stormwater Management Plan	C-4.0	02/28/17	06/15/17	2	Per TOH
GO Scale-Conceptual Stormwater Management Plan	C-4.1	02/28/17	06/15/17	2	Per TOH
GO Scale-Conceptual Stormwater Management Plan	C-4.2	02/28/17	06/15/17	2	Per TOH

EPM REFERENCE NUMBER:
#374152 SKETCH / CONCEPT PLAN

PROJECT #	PROJECT NAME
342156	VALENCIA PHASE 1D, 1F-II
356764	VALENCIA PHASE 1F PH 1 MAP 1
357957	VALENCIA PHASE 1D MAP 1
358472	VALENCIA PHASE 1F PH 1 MAP 2
358635	VALENCIA PHASE 1D, 1F-II
360578	VALENCIA 1F PH MAP 1 REV
363650	VALENCIA 1F MAP 2 REV
364278	VALENCIA PHASE 1D 1F-II FLOOD STUDY
364570	VALENCIA PHASE 1F MAP 2 REV 2
364726	VALENCIA PHASE 1D MAP 2
365540	VALENCIA PHASE 1F PH 1 MAP 3
365637	VALENCIA PHASE 1D, 1F-II
366995	VALENCIA PHASE 1D & AMP; 1G 100+1 FLOOD ANALYSIS
371882	VALENCIA PHASE 1D 1F-II
374152	VALENCIA SUBDIVISION - SHERRILL SUBDIVISION
374881	VALENCIA PHASE 1F MAP 1 REV



Firm License # P-1191
331 Coddle Market Drive
Suite 110
Concord, NC 28027
Civil Site Design
Low Impact Development
Small-Scale Building Design
Telephone: 704.573.1621
Facsimile: 704.248.7951

Seals:



SITE PLAN DATA TABLE		
Original Parcel ID Number(s):	019-203-20, 019-203-13, 019-371-01	
Total Acreage	37.77	
Total Square Feet	1,645,261	
Principal Use(s) (s.o. Article 3)	Single family	
Building Type (s.o. Article 3.4 and 3.5)	Detached	
Existing Zoning District (s.o. Article 3)	TR, NR	
Overlay District, if Applicable (Article 3.5.0)	N/A	
Proposed Re-Zoning (s.o. Article 3)	NR-CD	
Percentage of Impervious Allowed (Article 3.5.0)	70%	
Percentage of Impervious Shown	+/- 64.68%	
Total open space required	7.55 acres (20% site area)	
Total open space provided	7.88 acres (21% site area)	
Density	0.49 units/acre	
Lot Count	??	
Total Number of Dwellings (Detached/Attached)	??	
Mixed-use/# of live/work units	0	
Total Square Foot of non residential	N/A	
Lot size range	Number of lots within each range	
< 10,000 sf	30	
10,000 - 15,000 sf	30	
15,001 - 20,000 sf	16	
> 20,000 sf	1	
Lot widths range (s.o. Article 3)	Number of lots within each width	
60' TO 90'	??	
Setbacks and Build-to-lines (s.o. Article 3.4 and 3.5)		
Front Build-to-line	60 FT	>60 FT ALLEY
Corner Setbacks	10-18 FT	12-24 FT 12-24 FT
Rear Setbacks	5 FT	6 FT 6 FT
Side Setbacks	25 FT	25 FT 5-20 FT
Side Setbacks	5 FT	5 FT 5 FT
Watershed Information (s.o. Article 3 and S.O. Section 7.200)		
Property in a regulated watershed district?	No	
Watershed District	N/A	
Low Density/High Density	N/A	
Stream Watershed	Clarke	

IMPERVIOUS AREA CHART			
ROADS (SQ FT)	SIDEWALKS (SQ FT)	LOTS (SQ FT)	PERCENT IMPERVIOUS
127,540	56,120	677,637	64.68%
* 20% BUFFER SHALL BE A MINIMUM OF 150 SQ FT OR 1% OF THE LOT AREA, WHICHEVER IS GREATER			

NOTES:

RETAINING WALLS ALL RETAINING WALLS REQUIRING SPECIAL INSPECTIONS (~5' IN HEIGHT) SHALL MEET THE REQUIREMENTS OF THE MCSBC CHAPTER 17 - SPECIAL INSPECTIONS AS DETAILED PER THE MECKLENBURG COUNTY CODE ENFORCEMENT SPECIAL INSPECTIONS PROCESS. ADDITIONALLY, COPIES OF THE RETAINING WALL PLANS SHALL BE SUBMITTED TO THE HUNTERSVILLE ENGINEERING DEPARTMENT FOR REVIEW AND APPROVAL. THE TOWN OF HUNTERSVILLE SHALL BE COPIED ON ALL STATEMENTS OF SPECIAL INSPECTIONS, SPECIAL INSPECTIONS FINAL REPORTS, AND DESIGN PRINCIPAL IN RESPONSIBLE CHARGE (DPRIC) LETTERS.

THE TOWN OF HUNTERSVILLE REQUIRES THAT ALL STREETS PROPOSED TO BE TAKEN OVER BY THE TOWN FOR MAINTENANCE BE REVIEWED, INSPECTED, AND CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF NORTH CAROLINA FOR ADEQUATE CONSTRUCTION. REVIEW OF STREET CONSTRUCTION BY THE CERTIFYING ENGINEER IS REQUIRED THROUGHOUT THE CONSTRUCTION PROCESS. REFER TO THE TOWN OF HUNTERSVILLE ENGINEERING STANDARDS AND PROCEDURES MANUAL FOR ADDITIONAL INFORMATION INCLUDING THE REQUIRED CERTIFICATION FORM.

MECKLENBURG COUNTY APPROVAL WITH CONDITIONS NOTE:

APPROVAL OF THIS SKETCH / CONCEPT PLAN DOES NOT IMPLY OR GUARANTEE VESTING AND/OR APPROVAL OF THE FINAL PRELIMINARY / CONSTRUCTION PLAN.

FINAL PRELIMINARY / CONSTRUCTION PLAN WILL BE REVIEWED FOR COMPLIANCE PER ALL TOWN, COUNTY AND STATE REGULATIONS IN EFFECT AT TIME OF SUBMITTAL.

REFERENCE: ALL PARCEL AND BOUNDARY INFORMATION, ADJACENT PROPERTIES, PROPERTY DIMENSIONS, AND COORDINATES REFERENCED FROM A SURVEY COMPLETED BY SOUTH POINT SURVEYING, PLLC. TOPOGRAPHIC INFORMATION PROVIDED REFERENCED FROM MECK. COUNTY GIS AND TO BE CONFIRMED PER FIELD RUN DATA COLLECTION BY SOUTH POINT SURVEYING PRIOR TO PRELIMINARY PLAN APPROVAL. TOPO PROVIDED BY THE PE CAN ONLY BE IN SUPPORT OF THE PE'S PROJECT AND CANNOT BE RELIED UPON BY OTHERS. THE PE WILL BE TAKING RESPONSIBILITY FOR THE TOPO AS IT IMPACTS THE PROJECT UNDER THE PE LICENSE.

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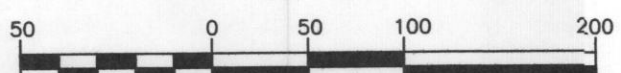
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LEGEND:

---	DEVELOPMENT BOUNDARY
---	PHASE LINE
---	EXISTING RIGHT-OF-WAY
---	EXISTING LOT LINE
---	PROPOSED RIGHT-OF-WAY
---	PROPOSED LOT LINE

GRAPHIC SCALE



SHERRILL SUBDIVISION
HUNTERSVILLE, NORTH CAROLINA

BY

BOWMAN DEVELOPMENT GROUP

13815 CINNABAR PLACE

HUNTERSVILLE, NORTH CAROLINA 28078

(704) 875-9704

Project Number: 17-17-001

Date: 06-15-2017

Drawn By: JLM

Checked By: NRP

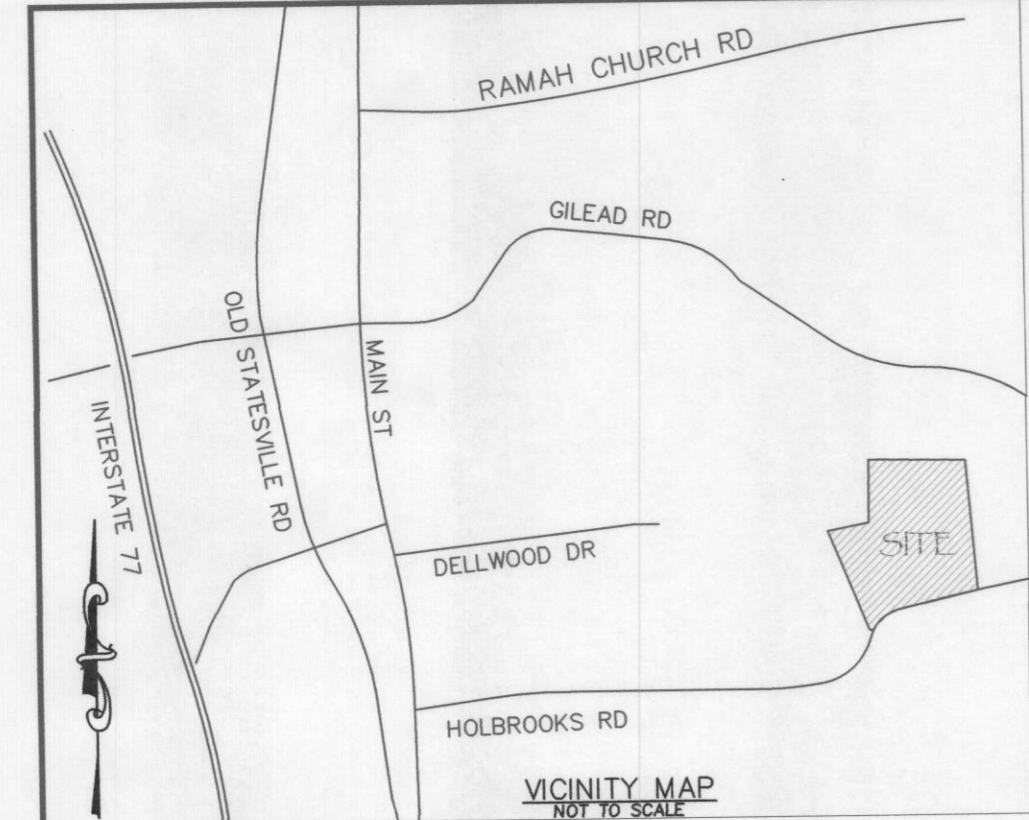
Revisions:
02/28/17 ORIGINAL SUBMITTAL
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Sheet Title:

Cover
Sheet

Sheet No:

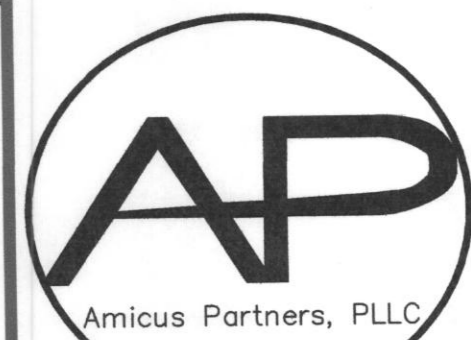
C-0.0



- SIGHT TRIANGLE NOTE:
1.) NO DRIVEWAYS SHALL BE CONSTRUCTED WITHIN THE SIGHT TRIANGLES. THE DEVELOPER SHALL CONSIDER THAT WHEN DETERMINE HOUSE PLACEMENT ON THE INDIVIDUAL LOTS.
- LOT LAYOUT NOTES:
1.) STREET TREES TO BE LARGE MATURING TREES PLANTED 40' ON CENTER ON BOTH SIDES OF STREET.
2.) SIDE SETBACKS ON A CORNER LOT ARE DETERMINED BY AT LEAST 50 PERCENT OF THE FRONT SETBACK OF THE ADJACENT LOT OR ESTABLISH A TRANSITION BETWEEN EXISTING BUILDING BY STEPPING TOWARD THE STREET OR BACK FROM THE STREET A DISTANCE EQUAL TO THE LESSER BUILDING SETBACK PLUS ONE-HALF OF THE DIFFERENCE BETWEEN THE SETBACKS OF THE ADJOINING BUILDINGS.
3.) BUILD-TO-LINE DEFINITION - A LINE EXTENDING THROUGH A LOT WHICH IS GENERALLY PARALLEL TO THE FRONT PROPERTY LINE AND MARKS THE LOCATION FROM WHICH THE PRINCIPLE VERTICAL PLANE OF THE FRONT BUILDING ELEVATION MUST BE ERCTED. IT IS INTENDED TO CREATE AN EVEN BUILDING FACADE LINE ON A STREET. THE BUILD-TO-LINE IS ESTABLISHED ON THE RECORD PLAT.
4.) THE DEVELOPER TO TAKE CARE WHEN LAYING OUT AND RECORDING LOTS THAT BARELY EXCEED A 60-FOOT WIDTH AND ALLOW LITTLE ROOM FOR ERROR.

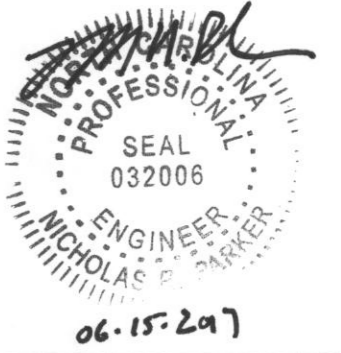
- MECKLENBURG CONTY FIRE NOTES:
1.) ALL TURNING RADIUS SHALL BE 30' INNER AND 42' OUTER TO FACILITATE FIRE APPARATUS.
2.) FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS OF 80,000 POUNDS.

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BY
BOWMAN DEVELOPMENT GROUP
13815 CINNABAR PLACE
HUNTERSVILLE, NORTH CAROLINA 28078
(704) 875-9704

SITE PLAN DATA TABLE	
Original Parcel ID Number(s):	019-203-20, 019-203-13, 019-371-01
Total Acreage	37.77
Total Square Feet	1,645,261
Principal Uses(s) (c.o. article 2)	Single family
Building Type (c.o. article 2.4 and 2.5)	Detached
Existing Zoning District (c.o. article 2)	TR-NR
Overlay District, if Applicable (article 2.2)	N/A
Proposed Re-Zoning (c.o. article 2)	NR-CD
Percentage of Impervious Allowed (article 2.2.2)	70%
Percentage of Impervious Shown	+/- 64.68%
Total open space required	7.55 acres (20% site area)
Total open space provided	7.88 acres (21% site area)
Density	0.49 units/acre
Lot Count	77
Total Number of Dwellings (Detached/Attached)	77
Mixed-use/# of live/work units	0
Total Square Foot of non residential	N/A
Lot size range	Number of lots within each range
< 10,000 sf	30
10,000 - 15,000 sf	30
15,001 - 20,000 sf	16
> 20,000 sf	1
Lot widths range (c.o. article 2)	Number of lots within each width
60' to 90'	77
Setbacks and Build-to-lines (c.o. article 2.4 & 2.5)	
Front Built-to-line	60 FT >60 FT ALLEY
Corner Setbacks	10-18 FT 12-24 FT 12-24 FT
Rear Setbacks	5 FT 6 FT 6 FT
Side Setbacks	25 FT 25 FT 5-20 FT
Watershed Information (c.o. article 2 and 2.0, Section 7.200)	
Property in a regulated watershed district?	No
Watershed District	N/A
Low Density/High Density	N/A
Stream Watershed	Clarke

IMPERVIOUS AREA CHART			
ROADS (SQ FT)	SIDEWALKS (SQ FT)	LOTS (SQ FT)	PERCENT IMPERVIOUS
127,540	58,120	877,637	64.68%
* BUA RESERVE SHALL BE A MINIMUM OF 150 SQ FT OR 1% OF THE LOT AREA, WHICHEVER IS GREATER			

BLOCK LENGTH TABLE		
BLOCK	DESCRIPTION	LENGTH
WHITNEY HODGES DRIVE	VANGUARD PKWY TO BOWTIE LANE	454 FT
WHITNEY HODGES DRIVE	BOWTIE LANE TO MESSENGER ROW	271 FT
WHITNEY HODGES DRIVE	MESSENGER ROW TO BERKLEY AVENUE	570 FT
WHITNEY HODGES DRIVE	BERKLEY AVENUE TO END OF PHASE	150 FT
BOWTIE LANE	BERKLEY AVENUE TO WHITNEY HODGES DRIVE	580 FT
MESSENGER ROW	PHASE 1F TO WHITNEY HODGES DRIVE	109 FT
MESSENGER ROW	WHITNEY HODGES DRIVE TO BERKLEY AVENUE	413 FT
MESSENGER ROW	BERKLEY AVENUE TO HOLBROOKS ROAD	315 FT
VANGUARD PARKWAY	PHASE 1F TO WHITNEY HODGES DRIVE	192 FT
VANGUARD PARKWAY	WHITNEY HODGES DRIVE TO BERKLEY AVENUE	470 FT
VANGUARD PARKWAY	BERKLEY AVENUE TO UP YOUR ALLEY	213 FT
VANGUARD PARKWAY	UP YOUR ALLEY TO HOLBROOKS ROAD	186 FT
BERKLEY AVENUE	PHASE 1G TO VANGUARD PARKWAY	161 FT
BERKLEY AVENUE	VANGUARD PARKWAY TO BOWTIE LANE	319 FT
BERKLEY AVENUE	BOWTIE LANE TO MESSENGER ROW	200 FT
* BERKLEY AVENUE	MESSENGER ROW TO WHITNEY HODGES DRIVE	895 FT
BERKLEY AVENUE	MIAMI BLUFF TO PHASE 1H	419 FT
UP YOUR ALLEY	VANGUARD PARKWAY TO MESSENGER ROW	465 FT
TOTAL		6,377 FT
* BLOCK LENGTH WAIVER HAS BEEN SUBMITTED FOR BERKLEY DRIVE		

LOT CHART					APPROXIMATE
PHASE	60'+	66'+	75'+	80'+	TOTAL TIME FRAME
1J	20	17	6	34	77
TOTAL	20	17	6	34	77

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LEGEND:

- DEVELOPMENT BOUNDARY
- PHASE LINE
- EXISTING RIGHT-OF-WAY
- EXISTING LOT LINE
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- PROPOSED SETBACK

PLANT LEGEND
(ALL PLANT SPECIES TO BE APPROVED BY TOWN OF HUNTERSVILLE PRIOR TO PLANTING)

EVERGREEN SHRUB
EVERGREEN TREE
CANOPY TREE
LARGE MATURING TREE
SMALL MATURING TREE

EXISTING SPECIMEN TREES TO BE REMOVED
EXISTING SPECIMEN TREES TO BE SAVED
PROPOSED TREE SAVE AREA

PROJECT BUFFER PLANTINGS PER 1,000 SQ FT
AREAS OF 20' PROJECT BUFFER THAT MAY NOT BE OPAQUE AND REQUIRE SUPPLEMENTAL PLANTINGS

RESIDENTIAL LOT TREES CHART		
LOST SIZE	# OF LOTS	REQUIREMENTS
< 10,000 SF	30	1 FRONT - 1 REAR
10,000 - 15,000 SF	31	1 FRONT - 2 REAR
15,001 - 20,000 SF	15	2 FRONT - 2 REAR
> 20,000 SF	1	3 FRONT - 3 REAR

SHERILL SUBDIVISION - TREE SAVE INFO

HERITAGE TREES
HERITAGE TREES ON SITE: NONE
HERITAGE TREES SAVED: N/A

PERCENTAGE OF HERITAGE TREES REQUIRED TO SAVE: 100%
PERCENTAGE OF HERITAGE TREES ACTUALLY SAVED: N/A

SPECIMEN TREES
SPECIMEN TREES ON SITE: 8
SPECIMEN TREES SAVED: 4
PERCENTAGE OF SPECIMEN TREES REQUIRED TO SAVE: 50%
PERCENTAGE OF SPECIMEN TREES ACTUALLY SAVED: 50%

TREE CANOPY
PERCENTAGE OF SITE COVERED BY TREE CANOPY: 83%
PERCENTAGE OF TREE CANOPY PRESERVATION REQUIRED BY DISTRICT: 10%
PERCENTAGE OF TREE CANOPY ACTUALLY SAVED: 11%

- LANDSCAPING NOTES (PER TOWN OF HUNTERSVILLE):
- STREET TREES ARE REQUIRED TO BE WITHIN A MINIMUM 7-FOOT PLANTING STRIP LOCATED BETWEEN THE PROPOSED STREET AND PROPOSED SIDEWALK. PLANTING SHALL BE PROVIDED AS FOLLOWS:
 - LARGE MATURING CANOPY TREES SHALL BE PLANTED AT A SPACING NOT TO EXCEED 40-FEET ON CENTER EXCEPT THAT SPACING MAY BE ALTERED SLIGHTLY TO ACCOMMODATE DRIVEWAYS.
 - SMALL MATURING "CANOPY-LIKE" TREES SHALL BE PLANTED 30-FEET ON CENTER WHERE EXISTING OVERHEAD UTILITY LINES PROHIBIT THE USE OF LARGE MATURING CANOPY TREES.
 - NEW TREES MAY BE REQUIRED WITHIN EACH RESIDENTIAL LOT. IN ORDER TO MAINTAIN OR REPLENISH THE URBAN TREE CANOPY IN AREAS OF NEW RESIDENTIAL SUBDIVISION, EACH LOT SHALL PROVIDE CANOPY TREES. FOR LOTS LESS THAN 10,000 SQ. FT., 1 FRONT YARD AND 1 REAR YARD CANOPY TREE MAY BE REQUIRED. FOR LOTS BETWEEN 10,000 SQ. FT. AND 15,000 SQ. FT., 1 FRONT YARD AND 2 REAR YARD CANOPY TREES MAY BE REQUIRED.
 - ALL REQUIRED PLANTINGS SHALL BE INSTALLED IN A MANNER THAT INSURES THE AVAILABILITY OF SUFFICIENT SOIL AND WATER FOR HEALTHY GROWTH AND THAT IS NOT INTRUSIVE TO ABOVE GROUND AND UNDER GROUND UTILITIES.
 - ALL STREET TREES MUST BE FROM THE "TOWN OF HUNTERSVILLE TREE AND SHRUB LIST."
 - ALL TREES SHALL BE A MINIMUM OF 2-INCHES IN CALIPER, WITH MINIMUM HEIGHT 8' TO 10' AT TIME OF PLANTING. SHRUBS SHALL HAVE A MINIMUM HEIGHT OF 3' AT INSTALLATION, EXPECTED HEIGHT OF 6' AT MATURITY.
 - INSTALLATION OF TREES AND SHRUBS SHALL COMPLY WITH THE TOWN OF HUNTERSVILLE ENGINEERING STANDARDS AND PROCEDURES MANUAL.
 - EVERY REASONABLE EFFORT SHALL BE MADE TO PROTECT AND RETAIN EXISTING TREES AND SHRUBS NOT ACTUALLY LYING IN PLANNED ROADWAYS, DRAINAGEWAYS, BUILDING FOUNDATION SITES AND CONSTRUCTION ACTIVITY AREAS. EXCEPT WHEN NECESSARY TO PROVIDE ACCESS TO A SITE OR TO INSURE THE SAFETY AND SECURITY OF PEOPLE AND PROPERTY ANY EXISTING HEALTHY TREES THAT ARE EIGHT INCHES OR GREATER IN CALIPER, LOCATED WITH A PUBLIC RIGHT-OF-WAY OR UNDEVELOPED REQUIRED YARD SHALL BE RETAINED UNLESS APPROVED FOR REMOVAL BY STAFF DURING PLAN REVIEW.
 - TREES SHOULD NOT BE PLANTED WITHIN 40' OF THE CURB RETURN ON A STOP/YIELD CONTROLLED APPROACH. ALSO NOTE THAT TREES SHOULD BE PLANTED AT LEAST 10' FROM DRAINAGE STRUCTURES. TREES NOT TO BE PLANTED DIRECTLY ON TOP OF STORM DRAIN PIPES, NOR WITHIN SIGHT TRIANGLES.
 - ALL LOT TREES AS PER SECTION 7.7 (STREET TREES AND INTERNAL LANDSCAPING) OF THE TOWN OF HUNTERSVILLE ZONING ORDINANCE. EXISTING SPECIMEN TREES TO BE USED IN LIEU OF NEW PLANTINGS (AS APPROVED BY TOWN OF HUNTERSVILLE).
 - SHOULD ANY AREA OF DESIGNATED TREE SAVE OR SPECIMEN TREES BE COMPROMISED MITIGATION WILL BE REQUIRED PER ARTICLE 7.5.
 - ALL TREE SAVE LOCATED ON PRIVATE LOTS WILL BE REQUIRED TO BE PLATTED. SHOULD CONSTRUCTION OCCUR AND COMPROMISE, THEN MITIGATION WILL NEED TO TAKE PLACE AND A REVESED PLAT WILL BE REQUIRED FOR REDECORATION.

BEFORE YOU DIG STOP. CALL THE NC ONE-CALL

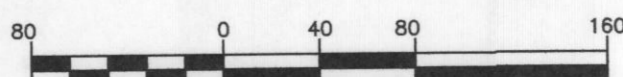
CENTER AT 811.

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LEGEND:

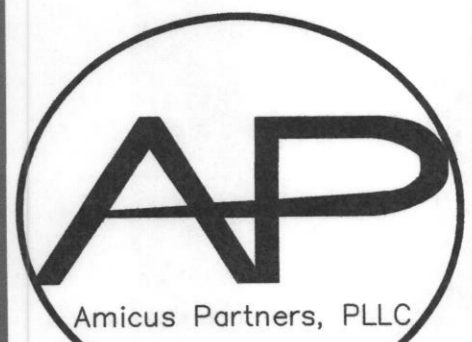
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--- PHASE LINE
--- EXISTING RIGHT-OF-WAY
--- EXISTING LOT LINE
--- PROPOSED RIGHT-OF-WAY
--- PROPOSED LOT LINE

GRAPHIC SCALE



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Low Impact Development
Small-Scale Building Design
Telephone: 704.573.1621
Facsimile: 704.248.7951

Seals:



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(704) 875-9704

Project Number: 17-17-001

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Revisions:
02/28/17 ORIGINAL SUBMITTAL
05/08/17 PER TOH # MECK. COUNTY
06/15/17 PER TOH

Sheet Title:

Overall
Tree Planting/
Save Plan

Sheet No:

C-3.0

Valencia J Neighborhood Meeting Report

List of persons and organizations contacted:

- C&D Management Co, LLC
- Greenway Waste Solutions at North Meck, LLC
- Mecklenburg County
- AVH Carolinas, LLC
- Kuester Management
- Hawthorne Management

I'm attaching the letter mailed to these individuals or businesses. This letter includes date of contact, date, time and location of the meeting. The letter was mailed on April 5, 2017.

Attendance:

Nobody was present for the meeting therefore we don't have a sign in sheet or any notes from the meeting. No changes are being made to the plans based on this meeting.

Bowman Development Group, Inc.

April 5, 2017

SUBJECT: Notice of neighborhood meeting for a subdivision conditional rezoning and sketch plan review of approximately +/- 37.77 acres located on Holbrooks Road.

To Whom It May Concern:

Recipients of this letter meet the notification requirements of the Town of Huntersville as being either adjacent landowners or neighborhood organizations with at least a portion of their residents located within 250 ft. of the subject property.

MEETING DETAIL:

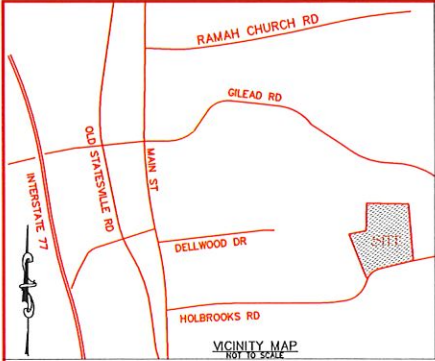
5:30 p.m.
April 24th, 2017
Bowman Development Group
13815 Cinnabar Place
Huntersville, NC 28078

You are welcome to attend the above-mentioned neighborhood meeting. There will be an opportunity to ask questions about the proposed subdivision.

Sincerely,

A handwritten signature in dark ink, appearing to be 'Robert Bowman', with a long horizontal flourish extending to the right.

Robert Bowman



SIGHT TRIANGLE NOTE:
1. NO DRIVEWAYS SHALL BE CONSTRUCTED WITHIN THE SIGHT TRIANGLES. THE DEVELOPER SHALL CONSIDER THAT WHEN DETERMINE HOUSE PLACEMENT ON THE INDIVIDUAL LOTS.

- LOT LAYOUT NOTES:
- 1.) STREET TREES TO BE LARGE MATURING TREES PLANTED 40' ON CENTER ON BOTH SIDES OF STREET.
 - 2.) SIDE SETBACKS ON A CORNER LOT ARE DETERMINED BY AT LEAST 50 PERCENT OF THE FRONT SETBACK OF THE ADJACENT LOT OR ESTABLISH A TRANSITION BETWEEN EXISTING BUILDING BY STEPPING TOWARD THE STREET OR BACK FROM THE STREET A DISTANCE EQUAL TO THE LESSER BUILDING SETBACK PLUS ONE-HALF OF THE DIFFERENCE BETWEEN THE SETBACKS OF THE ADJOINING BUILDINGS.
 - 3.) BUILD-TO-LINE DEFINITION - A LINE EXTENDING THROUGH A LOT WHICH IS GENERALLY PARALLEL TO THE FRONT PROPERTY LINE AND MARKS THE LOCATION FROM WHICH THE PRINCIPLE VERTICAL PLANE OF THE FRONT BUILDING ELEVATION MUST BE ERCTED. IT IS INTENDED TO CREATE AN EVEN BUILDING FACADE LINE ON A STREET. THE BUILD-TO-LINE IS ESTABLISHED ON THE RECORD PLAT.
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Overlay District, if Applicable (see 2.0.4)	N/A
Proposed Re-Zoning (see 2.0.5)	NR-CD
Percentage of Impervious Allowed (see 2.0.6)	70%
Percentage of Impervious Shown	+/- 64.68%
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Total open space provided	7.88 acres (21% site area)
Density	0.49 units/acre
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Total Square Foot of non residential	N/A
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15,001 - 20,000 sq ft	16
> 20,000 sq ft	1
Lot widths range (see 2.0.1 and 2.0.2)	Number of lots within each width
60' to 90'	77
Setbacks and Build-to-lines (see 2.0.1 and 2.0.2)	60 FT >60 FT
Front Setback	18 FT MAX 24 FT MAX
Corner Setbacks	12 FT 12 FT
Rear Setbacks	25 FT 25 FT
Right Side Setbacks	5 FT 5 FT
Left Side Setback	5 FT 5 FT
Watershed Information (see 2.0.1 and 2.0.2)	No
Property in a regulated watershed district?	N/A
Watershed District	N/A
Low Density/High Density	N/A
Stream Watershed	Clarke

IMPERVIOUS AREA CHART			
ROADS (SQ FT)	SIDEWALKS (SQ FT)	LOTS (SQ FT)	PERCENT IMPERVIOUS
127,540	58,120	675,537	64.68%

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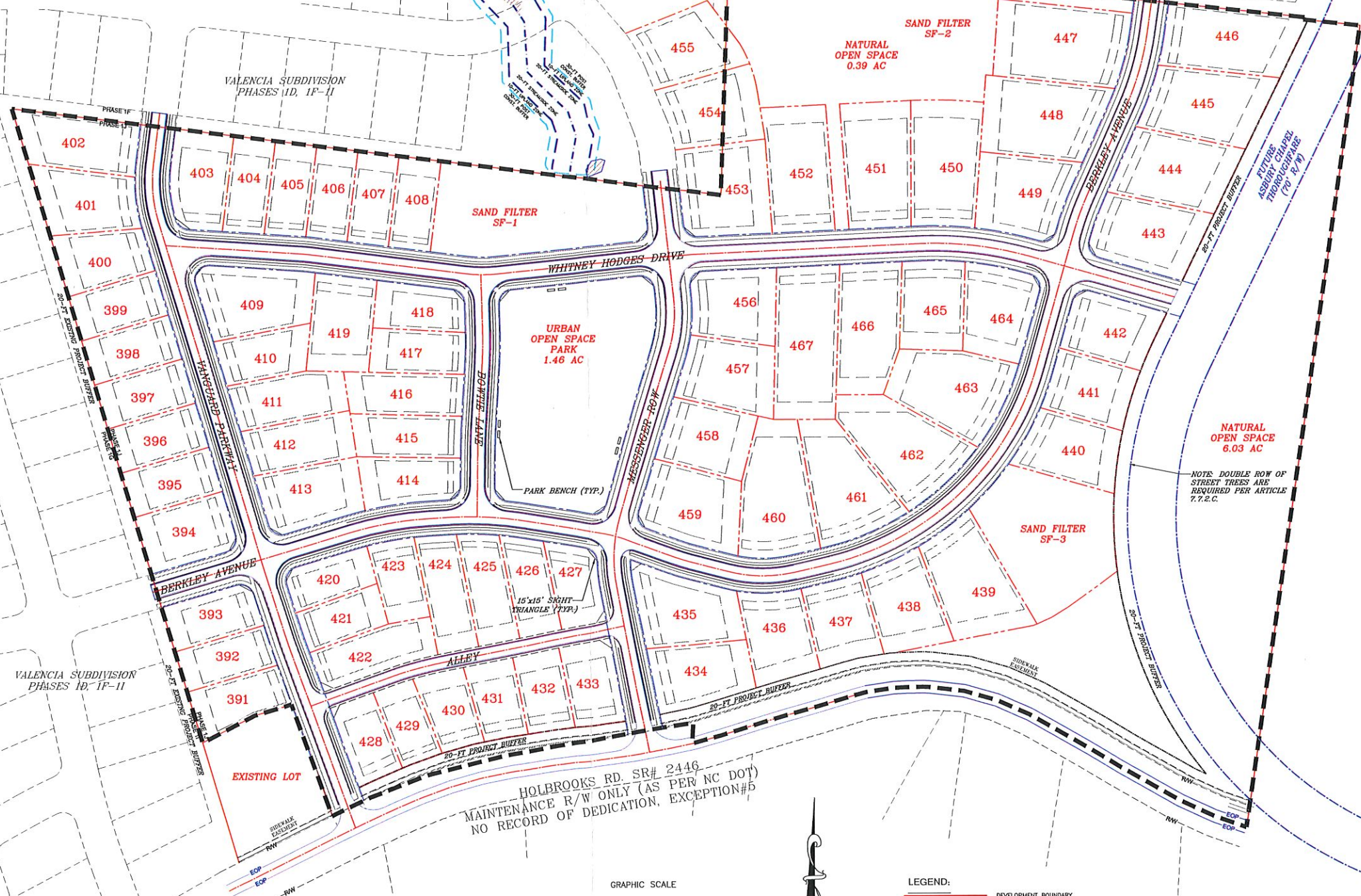
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BERKLEY AVENUE	MIAMI BLUFF TO PHASE 1H	419 FT
ALLEY	VANGUARD PARKWAY TO MESSENGER ROW	465 FT
TOTAL		6,377 FT

* BLOCK LENGTH WAIVER HAS BEEN SUBMITTED FOR MIAMI DRIVE

LOT CHART		APPROXIMATE	
PHASE	60'+	90'+	TIME FRAME
1J	19	3	2017-2018
TOTAL	19	3	77

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VALENCIA SUBDIVISION
PHASE 1J
HUNTERSVILLE, NORTH CAROLINA
BY
BOWMAN DEVELOPMENT GROUP
13815 CINNABAR PLACE
HUNTERSVILLE, NORTH CAROLINA 28078
(704) 875-9704

Project Number: 17-17-001

Date: 04-05-2017

Drawn By: JLM

Checked By: NRP

Revisions:
02/26/17 ORIGINAL SUBMITTAL
24/05/17 PER TOH & MECK. COUNTY

Sheet Title:

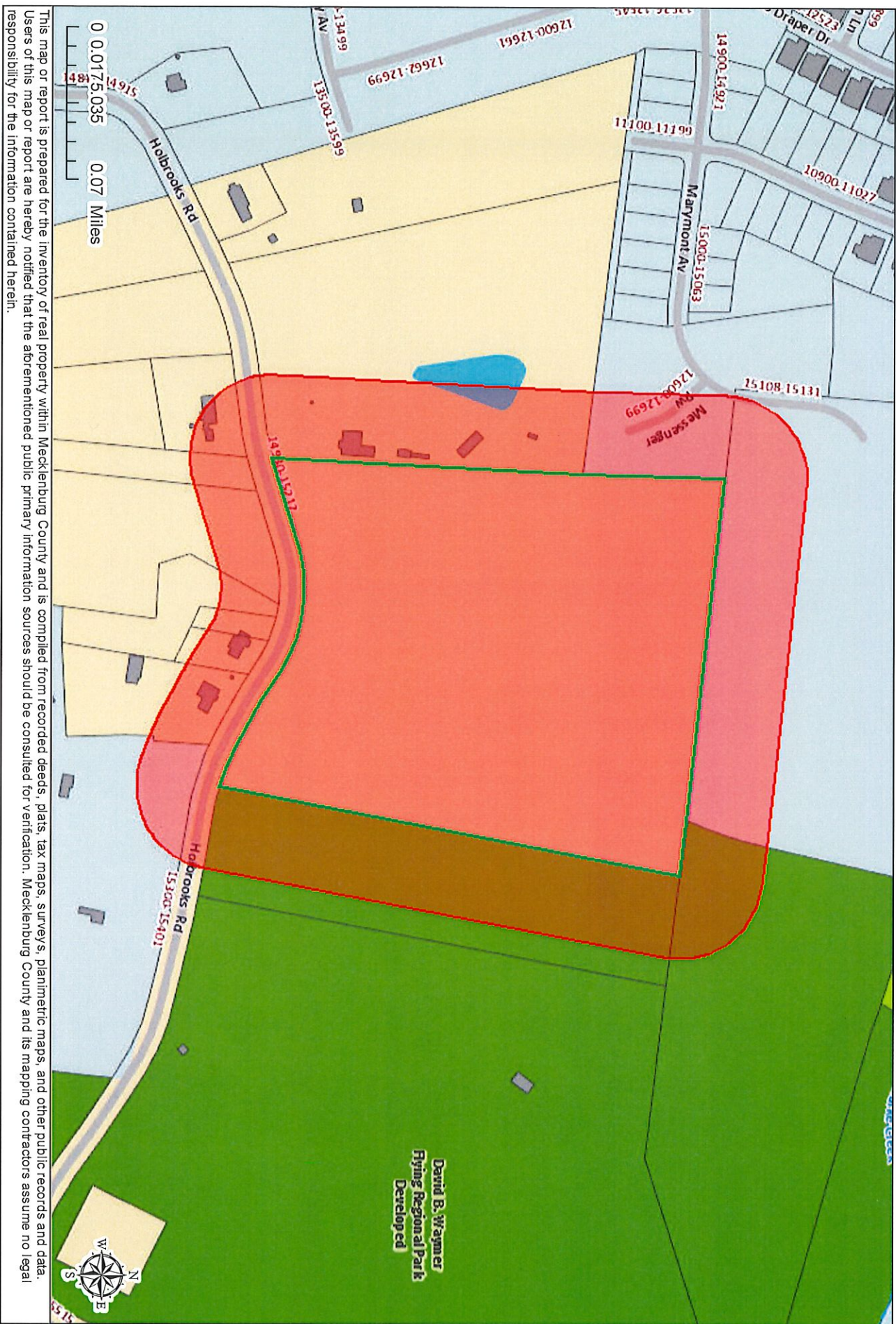
Overall
Site
Plan

Sheet No:

C-2.0

Polaris 3G Map – Mecklenburg County, North Carolina

Date Printed: 4/5/2017 1:39:37 PM



MECKLENBURG COUNTY, NC POLARIS 3G DEED REPORT

Date Printed: 04/05/2017

Buffer Distance: 250 Feet

No	Parcel ID	Owner Name	Mailing Address	Legal Description	Deed Book	Deed Page	Land Area
1	01910102	1. C&D MANAGEMENT CO LLC,	19141 W CATAWBA AVE CORNELIUS NC 28031	NA	25230	719	129.58 AC
2	01910109	1. GREENWAY WASTE SOLUTIONS AT NORTH MECK LLC,	19109 W CATAWBA AVE STE 200 CORNELIUS NC 28031	M1481-311 &STRIP	26440	914	1.993 AC
3	01910110	1. GREENWAY WASTE SOLUTIONS AT NORTH MECK LLC,	19109 W CATAWBA AVE STE 200 CORNELIUS NC 28031	NA	26440	914	0.38 AC
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5	01910113	1. GREENWAY WASTE SOLUTIONS AT NORTH MECK LLC,	19109 W CATAWBA AVE STE 200 CORNELIUS NC 28031	NA	26440	914	6.29 AC
6	01910114	1. GREENWAY WASTE SOLUTIONS LLC,	19141 W CATAWBA AVE CORNELIUS NC 28031	NA	30832	937	1.29 AC
7	01910115	1. GREENWAY WASTE SOLUTIONS LLC,	19141 W CATAWBA AVE CORNELIUS NC 28031	NA	30832	937	1.03 AC
8	01910118	1. GREENWAY WASTE SOLUTIONS AT NORTH MECK LLC,	19109 W CATAWBA AVE STE 200 CORNELIUS NC 28031	NA	26440	914	0.24 AC
9	01920313	1. MERCADO, DELIA 2.MERCADO, LAURO	15035 HOLBROOKS RD HUNTERSVILLE NC 28078	NA	13987	832	11.318 AC
10	01920313	1. MERCADO, DELIA 2.MERCADO, LAURO	15035 HOLBROOKS RD HUNTERSVILLE NC 28078	NA	13987	832	11.318 AC
11	01927113	1. SOUTHSIDE NEIGHBORHOOD LLC,	13815 CINNABAR PL HUNTERSVILLE NC 28078	NA	29109	546	3.9 AC
12	01937101	1. BOWMAN DEVELOPMENT GROUP INC,	13815 CINNABAR PL HUNTERSVILLE NC 28078	NA	31509	118	21.156 GIS Acres
13	01937104	1. MECKLENBURG COUNTY, 2.C/O REAL ESTATE /FINANCE DEPT,	600 E 4TH ST 11TH FLOOR CHARLOTTE NC 28202	NA	06460	243	12.337 AC
14	01937105	1. SOUTHSIDE NEIGHBORHOOD LLC,	13815 CINNABAR PL HUNTERSVILLE NC 28078	NA	31509	112	14.493 AC

This map or report is prepared for the inventory of real property within Mecklenburg County and is compiled from recorded deeds, plats, tax maps, surveys, planimetric maps, and other public records and data. Users of this map or report are hereby notified that the aforementioned public primary information sources should be consulted for verification. Mecklenburg County and its mapping contractors assume no legal responsibility for the information contained herein.

MECKLENBURG COUNTY, NC POLARIS 3G DEED REPORT

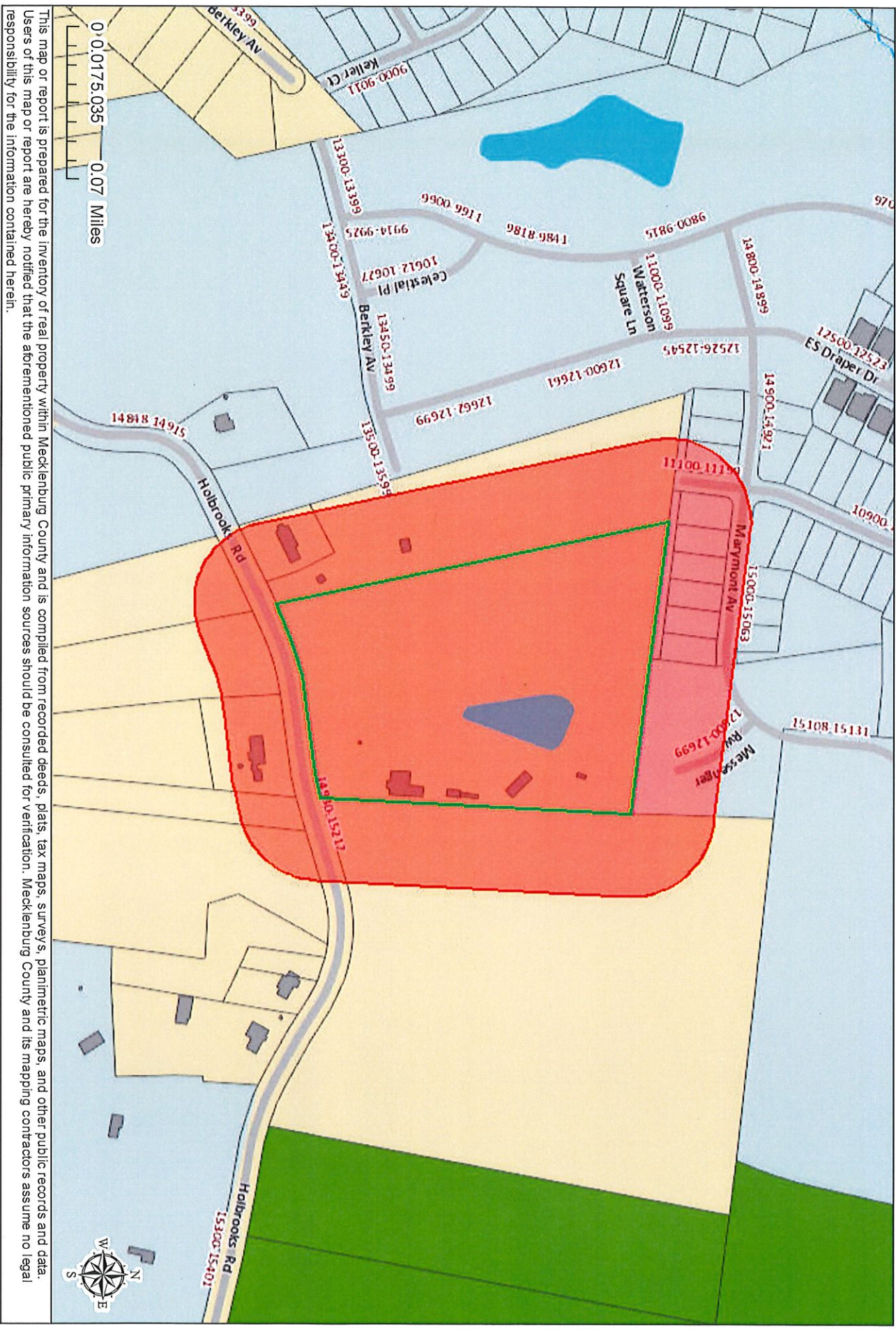
Date Printed: 04/05/2017

Buffer Distance: 250 Feet

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15	01937199	1. MECKLENBURG COUNTY, 2.C/O REAL ESTATE /FINANCE DEPT,	600 E 4TH ST 11TH FLOOR CHARLOTTE NC 28202	M1481-311	25754	891	7.264 AC

Polaris 3G Map – Mecklenburg County, North Carolina

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MECKLENBURG COUNTY, NC POLARIS 3G DEED REPORT

Date Printed: 04/05/2017

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1	01910101	1. GREENWAY WASTE SOLUTIONS AT NORTH MECK LLC,	19109 W CATAWBA AVE STE 200 CORNELIUS NC 28031	NA	27969	257	2.89 AC
2	01910107	1. GREENWAY WASTE SOLUTIONS AT NORTH MECK LLC,	19109 W CATAWBA AVE STE 200 CORNELIUS NC 28031	NA	30766	773	2.98 AC
3	01910113	1. GREENWAY WASTE SOLUTIONS AT NORTH MECK LLC,	19109 W CATAWBA AVE STE 200 CORNELIUS NC 28031	NA	26440	914	6.29 AC
4	01910114	1. GREENWAY WASTE SOLUTIONS LLC,	19141 W CATAWBA AVE CORNELIUS NC 28031	NA	30832	937	1.29 AC
5	01910115	1. GREENWAY WASTE SOLUTIONS LLC,	19141 W CATAWBA AVE CORNELIUS NC 28031	NA	30832	937	1.03 AC
6	01920312	1. BOWMAN DEVELOPMENT GROUP INC,	13815 CINNABAR PL HUNTERSVILLE NC 28078	L1 M59-478	28813	363	0.58 AC
7	01920313	1. MERCADO, DELIA 2.MERCADO, LAURO	15035 HOLBROOKS RD HUNTERSVILLE NC 28078	NA	13987	832	11.318 AC
8	01920313	1. MERCADO, LAURO 2.MERCADO, DELIA	15035 HOLBROOKS RD HUNTERSVILLE NC 28078	NA	13987	832	11.318 AC
9	01920320	1. SOUTHSIDE NEIGHBORHOOD LLC,	13815 CINNABAR PL HUNTERSVILLE NC 28078	M59-478	30977	917	5.37 AC
10	01927113	1. SOUTHSIDE NEIGHBORHOOD LLC,	13815 CINNABAR PL HUNTERSVILLE NC 28078	NA	29109	546	3.9 AC
11	01927138	1. AVH CAROLINAS LLC,	10635 DEVONSHIRE DR HUNTERSVILLE NC 28078	L248 M59-950	31527	229	0.2 AC
12	01927139	1. AVH CAROLINAS LLC,	10635 DEVONSHIRE DR HUNTERSVILLE NC 28078	L249 M59-950	31527	229	0.2 AC
13	01927140	1. AVH CAROLINAS LLO,	5615 POTTER RD MATTHEWS NC 28104	L250 M59-950	31646	233	0.2 AC
14	01927141	1. AVH CAROLINAS LLC,	5615 POTTER RD MATTHEWS NC 28104	L251 M59-950	31646	233	0.2 AC
15	01927142	1. AVH CAROLINAS LLC,	5615 POTTER RD MATTHEWS NC 28104	L252 M59-950	31646	233	0.2 AC
16	01927143	1. AVH CAROLINAS LLC,	5615 POTTER RD MATTHEWS NC 28104	L253 M59-950	31646	233	0.24 AC

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MECKLENBURG COUNTY, NC POLARIS 3G DEED REPORT

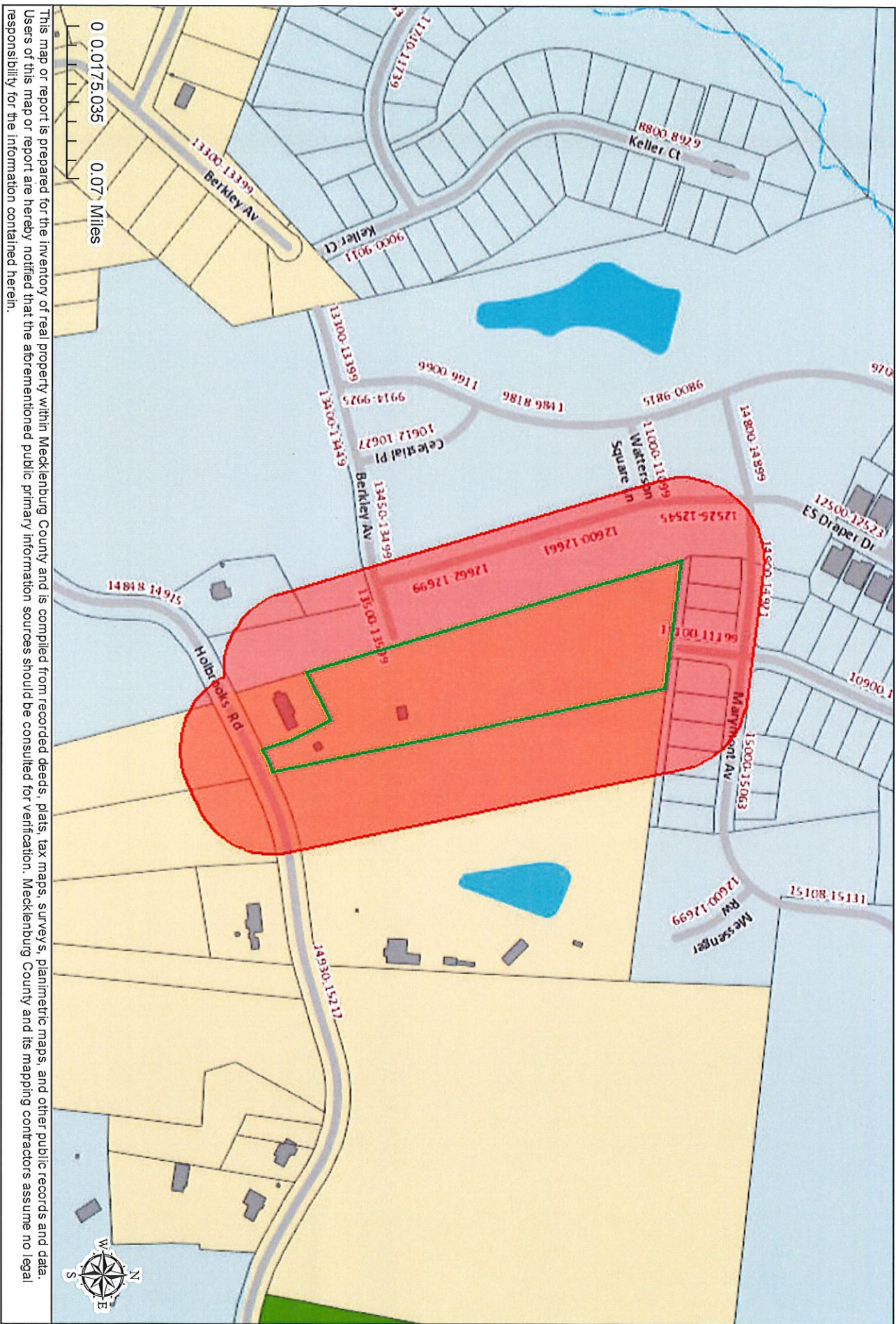
Date Printed: 04/05/2017

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17	01927144	1. AVH CAROLINAS LLC,	5615 POTTER RD MATTHEWS NC 28104	L254 M59-950	31646	233	0.22 AC
18	01927174	1. SOUTHSIDE NEIGHBORHOOD LLC,	13815 CINNABAR PL HUNTERSVILLE NC 28078	COS M59-950	29109	546	0.09 AC
19	01927175	1. SOUTHSIDE NEIGHBORHOOD LLC,	13815 CINNABAR PL HUNTERSVILLE NC 28078	COS M59-950	29109	546	0.19 AC
20	01927524	1. AVH CAROLINAS LLC,	10635 DEVONSHIRE DR HUNTERSVILLE NC 28078	L244 M59-950	31316	15	0.26 AC
21	01927525	1. SOUTHSIDE NEIGHBORHOOD LLC,	13815 CINNABAR PL HUNTERSVILLE NC 28078	L245 M59-950	29109	546	0.18 AC
22	01937101	1. BOWMAN DEVELOPMENT GROUP INC,	13815 CINNABAR PL HUNTERSVILLE NC 28078	NA	31509	118	21.156 GIS Acres

Polaris 3G Map – Mecklenburg County, North Carolina

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MECKLENBURG COUNTY, NC POLARIS 3G DEED REPORT

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Buffer Distance: 200 Feet

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1	01910101	1. GREENWAY WASTE SOLUTIONS AT NORTH MECK LLC,	19109 W CATAWBA AVE STE 200 CORNELIUS NC 28031	NA	27969	257	2.89 AC
2	01910107	1. GREENWAY WASTE SOLUTIONS AT NORTH MECK LLC,	19109 W CATAWBA AVE STE 200 CORNELIUS NC 28031	NA	30766	773	2.98 AC
3	01910116	1. TOWN OF HUNTERSVILLE,	PO BOX 66428070 HUNTERSVILLE NC 28070	NA	25768	519	41.29 AC
4	01920312	1. BOWMAN DEVELOPMENT GROUP INC,	13815 CINNABAR PL HUNTERSVILLE NC 28078	L1 M59-478	28813	363	0.58 AC
5	01920313	1. MERCADO, DELIA 2.MERCADO, LAURO	15035 HOLBROOKS RD HUNTERSVILLE NC 28078	NA	13987	832	11.318 AC
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7	01920314	1. SOUTHSIDE NEIGHBORHOOD LLC,	13815 CINNABAR PL HUNTERSVILLE NC 28078	N/A	27901	774	0.951 GIS Acres
8	01920315	1. C&D MANAGEMENT COMPANY LLC,	19141 W CATAWBA AVE CORNELIUS NC 28031	NA	25629	675	12.6 AC
9	01920320	1. SOUTHSIDE NEIGHBORHOOD LLC,	13815 CINNABAR PL HUNTERSVILLE NC 28078	M59-478	30977	917	5.37 AC
10	01927101A	1. SOUTHSIDE NEIGHBORHOOD LLC,	13815 CINNABAR PL HUNTERSVILLE NC 28078	NA	29657	787	22.91 AC
11	01927101B	1. SOUTHSIDE NEIGHBORHOOD LLC,	13815 CINNABAR PL HUNTERSVILLE NC 28078	NA	29657	787	4.44 AC
12	01927139	1. AVH CAROLINAS LLC,	10635 DEVONSHIRE DR HUNTERSVILLE NC 28078	L249 M59-950	31527	229	0.2 AC
13	01927140	1. AVH CAROLINAS LLO,	5615 POTTER RD MATTHEWS NC 28104	L250 M59-950	31646	233	0.2 AC
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16	01927143	1. AVH CAROLINAS LLC,	5615 POTTER RD MATTHEWS NC 28104	L253 M59-950	31646	233	0.24 AC
17	01927144	1. AVH CAROLINAS LLC,	5615 POTTER RD MATTHEWS NC 28104	L254 M59-950	31646	233	0.22 AC

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19	01927146	1. AVH CAROLINAS LLC,	10635 DEVONSHIRE DR HUNTERSVILLE NC 28078	L256 M59-950	31316	15	0.09 AC
20	01927174	1. SOUTHSIDE NEIGHBORHOOD LLC,	13815 CINNABAR PL HUNTERSVILLE NC 28078	COS M59-950	29109	546	0.09 AC
21	01927175	1. SOUTHSIDE NEIGHBORHOOD LLC,	13815 CINNABAR PL HUNTERSVILLE NC 28078	COS M59-950	29109	546	0.19 AC
22	01927524	1. AVH CAROLINAS LLC,	10635 DEVONSHIRE DR HUNTERSVILLE NC 28078	L244 M59-950	31316	15	0.26 AC
23	01927540	1. SOUTHSIDE NEIGHBORHOOD LLC,	13815 CINNABAR PL HUNTERSVILLE NC 28078	L232 M59-950	29109	546	0.18 AC
24	01927541	1. AVH CAROLINAS LLC,	10635 DEVONSHIRE DR HUNTERSVILLE NC 28078	L233 M59-950	31316	15	0.25 AC



February 2, 2017

Southside Neighborhool, LLC
13815 Cinnabar Pl.
Huntersville, NC 28078

Re: Adequate Public Facilities (APF) Application – Valencia J (File #2017-01)

Dear Mr. Bowman:

The Town has completed its review of the above referenced APF Application and deemed it to be complete, per Article 13.6.3 of the Zoning Ordinance. Based upon your request for an allocation of capital facilities for the above-referenced development proposal, consisting of 71 Single-family homes. I am issuing a "Determination of Adequacy (DOA)" for the following public facilities:

- Fire Vehicles
- Fire Facilities
- Police Facilities
- Police Vehicles

Please be advised that this DOA is valid for one (1) year, or until February 2, 2018, by which date this development proposal must have achieved vesting, per Section 2.2 of the Zoning Ordinance.

Please feel free to contact me with any questions @ brichards@huntersville.org or by phone: (704) 766-2218.

Sincerely,

Brian Richards

Brian Richards
GIS Administrator

Cc: Jack Simoneau, AICP, Planning Director
Gerry Vincent, Assistant Town Manager
Robert Blythe, Town Attorney
Alison Adams, Planner

Town of Huntersville: Sherrill Subdivision

RECOMMENDATION

We have the following comments that are critical to CMS' support of this petition:

Adequacy of existing school capacity in this area is a significant problem. We are particularly concerned about rezoning cases where school utilization exceeds 100% since the proposed development will exacerbate this situation. Approval of this petition will increase overcrowding and/or reliance upon mobile classrooms at the schools listed below.

CMS recommends the petitioner schedule a meeting with staff to discuss any opportunities that the petitioner/developer may propose to improve the adequacy of school capacity in the immediate area of the proposed development.

TOTAL IMPACT FROM PROPOSED DEVELOPMENT

Proposed Housing Units: 77 single- family lot subdivision off of Holbrooks Road under NR(CD) zoning.

CMS Planning Area: 4, 17, 18, 19

Average Student Yield per Unit: 0.4905

This development will add 38 students to the schools in this area.

The following data is as of 20th Day of the 2016-17 school year.

<i>Schools Affected</i>	<i>Total Classroom Teachers</i>	<i>Building Classrooms/ Teacher Stations</i>	<i>20th Day, Enrollment (non-ec)</i>	<i>Building Classroom/Adjusted Capacity (Without Mobiles)</i>	<i>20th Day, Building Utilization (Without Mobiles)</i>	<i>Additional Students As a result of this development</i>	<i>Utilization As of result of this development (Without Mobiles)</i>
BLYTHE ELEMENTARY	67.5	50	1101	816	135%	20	137%
J.M. ALEXANDER MIDDLE	38.7	51	763	1006	76%	8	77%
NORTH MECKLENBURG HIGH	117.5	108	2193	2016	109%	10	109%

Town of Huntersville
REQUEST FOR BOARD ACTION
7/17/2017

REVIEWED:

To: The Honorable Mayor and Board of Commissioners
From: Alison Adams, Senior Planner
Subject: Sherrill Subdivision Sketch Plan

Sketch Plan: Proposal by Bowman Development, Sherrill Subdivision, on 37.77 acres (+/-) including parcels 01920320, 01920313, and 01937101 to construct 77 single-family residential homes.

ACTION RECOMMENDED:

Request Town Board to take action.

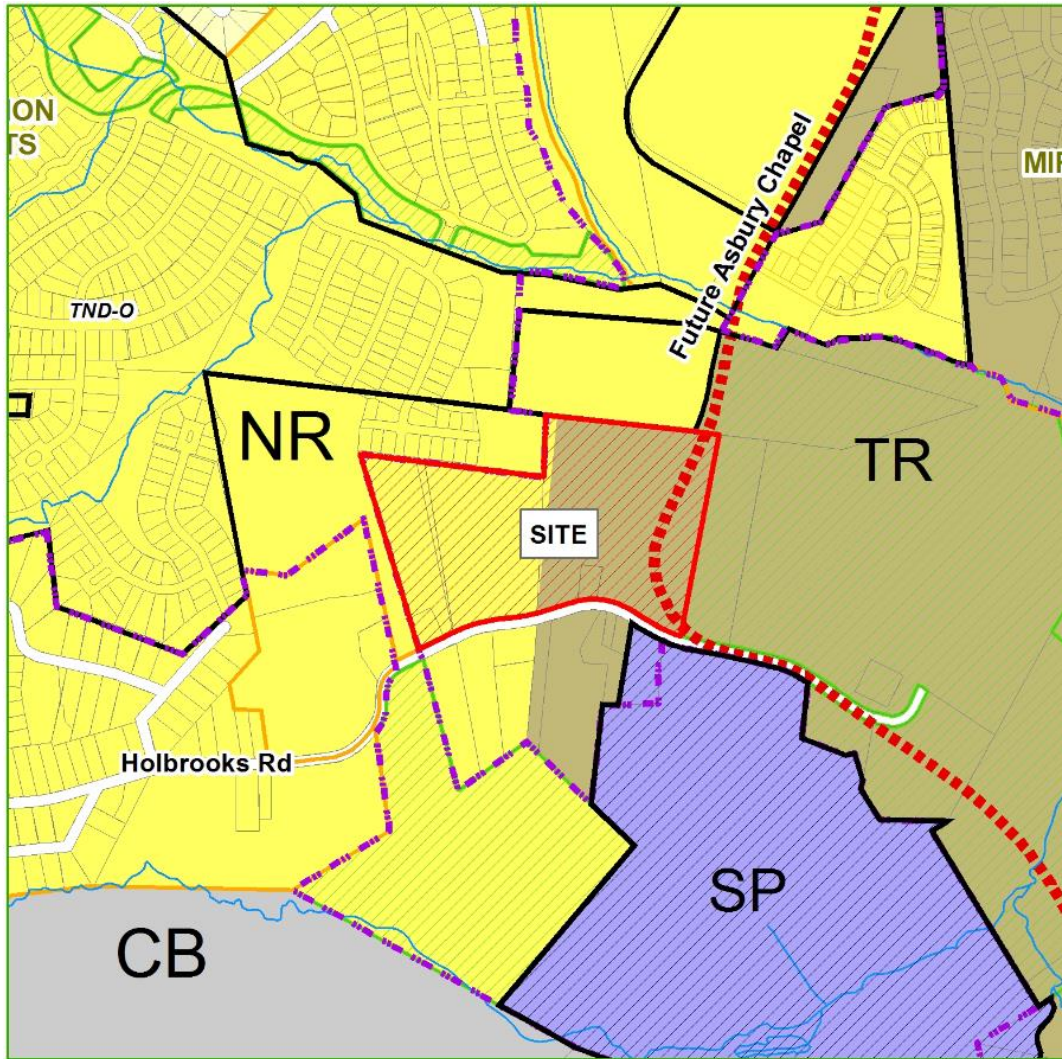
FINANCIAL IMPLICATIONS:

ATTACHMENTS:

Description	Type
▣ Sherrill Subdivision Sketch Staff Report	Staff Report
▣ Attachment A: Sherrill Subdivision Sketch Plan Application	Exhibit
▣ Attachment B Sherrill Site Plan	Exhibit
▣ Attachment C: Sherrill Neighborhood Meeting Report	Exhibit
▣ Attachment D: Sherrill DOA	Exhibit
▣ Attachment E: CMS Report	Exhibit

Sherrill Subdivision Sketch Plan

PART 1: PROJECT SUMMARY



Applicant: Nate Bowman,
Bowman Development

Project Size: +/- 37.77
acres

Parcel Number:
01920320, 01920313,
01937101

Current Zoning:
Neighborhood
Residential (NR) and
Transitional Residential
(TR)

Proposed Zoning:
Neighborhood
Residential Conditional
District (NR-CD).

Current Land Use: Single
family residential and
vacant

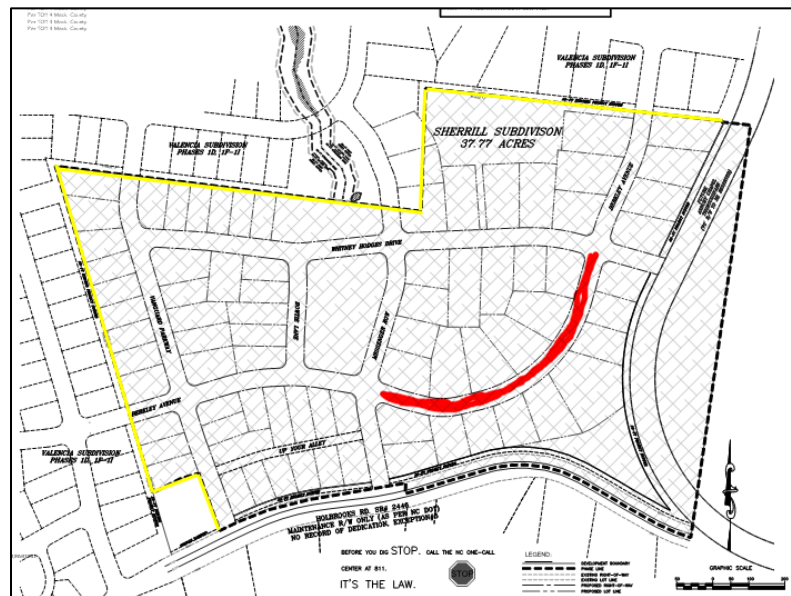
Proposed Land Use:
Single-family residential

The application is
Attachment A. The site
plan is Attachment B.

PART 2: SITE PLAN DESCRIPTION AND ISSUES

1. **Adjacent Properties:**
North: Neighborhood Residential (NR- CD and NR –TND-O) – single-family subdivision, known as Valencia.
South: Transitional Residential (TR) - single-family lots, and a landfill.
East: Transitional Residential – Mecklenburg County owned: David B. Waymer Regional Flying Park.
West: Neighborhood Residential (NR- CD and NR –TND-O) – single-family subdivision, known as Valencia.
2. A neighborhood meeting was held on April 24, 2017, see Attachment C, Neighborhood Meeting Summary.
3. The proposed project is located in the Clarke watershed; therefore impervious is not capped as long as the best management practices (BMPs) are used. 64.68% of the site is impervious.
4. Neighborhood Residential (NR) has no density cap. The applicant is requesting 77 single-family residential lots on 37.77 acres, totaling a density of 2.04 units per acre.
5. The applicant is required to save 10% of the existing tree canopy and 10% of the existing specimen trees. 10% of the existing tree canopy and 50% of the existing specimen trees onsite are to be saved.

6. Two street connections on to Holbrooks Road are being proposed, four existing connections to Valencia Subdivision are being provided, and a proposed stub to the future Asbury Chapel Thoroughfare. 70' dedication of right of way for the future Asbury Chapel Thoroughfare is proposed, along with dedicated land to allow for Holbrooks to realign. Block lengths are being met, except on Berkley Avenue from Messenger Row to Whitney Hodges Drive (895 ft.). Staff is in support of the block length wavier due to the curvature of the proposed road (reference the red highlighted block within the plan below).
7. Per Article 7.5.3 (foot note 4), where connectivity between subdivisions is appropriate for high quality neighborhood design, the Town Board may reduce or waive the required buffer yard. Staff is in favor of removal of the buffer yard. Due to topography within the adjacent subdivision and the proposed subdivision grading will need to occur to handle storm water efficiently. Sherrill Subdivision will operate as a phase of Valencia (reference the yellow highlighted boundary within the plan below).



8. .5 acre square is centrally located and meets the standards for Urban Open Space.
9. The updated plan submitted on June 15, 2017 was reviewed. All previous comments have been addressed.

PART 3: TRANSPORTATION ISSUES

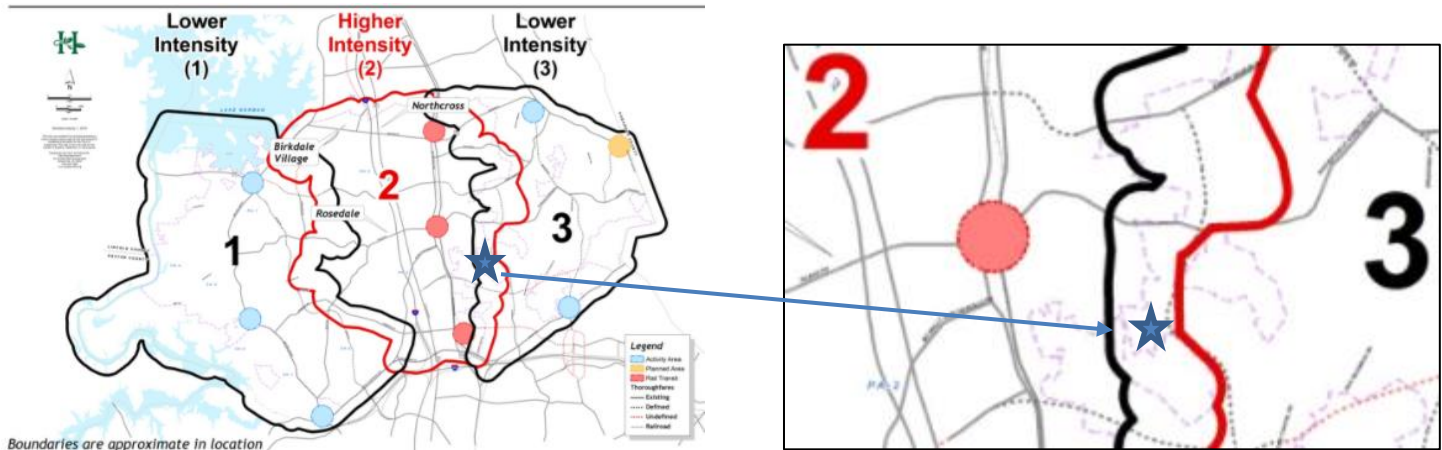
The TIA is acceptable as a final version. Based on the results of the TIA, no offsite roadway improvements are recommended.

PART 4: PLANNING STAFF ANALYSIS

Section 6.200 of the Subdivision Ordinance outlines the “general requirements and policies to be used in the design, review, and approval” of subdivisions in the Town of Huntersville. The following staff findings are provided for the Board’s consideration of the Subdivision Sketch Plan.

1. Consistency with adopted public plans and policies.

The following sections of the 2030 Huntersville Community Plan apply to this request:



- Policy E-1, E-2 & E-3: Preservation and Enhancement.** Support the preservation and enhancement of the natural environment, along with its scenic and cultural assets.
Comment: The proposed development does provide adequate open space per the Neighborhood Residential zoning district. If buffers, as shown on the plan, do not have adequate foliage to meet the ordinance requirements, then supplementation will be required. Staff has requested a large buffer against Holbrook Road where the rears of homes are adjacent the street to meet provision 6.200.2 of the Subdivision Ordinance. The applicant has provided a 40' landscape buffer along Holbrooks Road to accommodate staff's request.
- Policy H-1 & H-9: Development Pattern.** Continue to follow existing residential development pattern as reflected in "Map of Zoning Districts," focusing higher intensity development generally within two miles of the I-77/NC 115 corridor.
Comment: The proposed development is located within two miles of I-77. As shown on the 2030 Community Plan the subdivision falls within the area that transitions from high intensity to lower intensity.
- Policy E-5: Vehicle Miles Travelled (VMT)** Support reduction in vehicle miles travelled (VMT), through capital investments in sidewalks, greenways, enhanced connectivity and mass transit (bus & rail).
Comment: Sidewalks are being installed on all proposed Town Streets and along Holbrooks Road.
- Policy T-5: Context-sensitive Design of Streets:** Continue to support "context-sensitive" design of streets and the selection of appropriate street section designs for residential, commercial and industrial developments.
Comment: The internal streets are appropriately sized for residential development, block lengths are being used to break up long expanses of straight streets and by-design the developer has incorporated curvilinear streets to slow traffic. The proposed cross-section for Holbrooks Road provides context-sensitive design by providing adequate lane widths, a sidewalk (5' wide) and a green zone for street tree planting.
- Policy T-6: Pedestrian Connections:** Support the installation of sidewalks, bikeways and greenway trails connecting residential, commercial, employment, recreational and institutional uses.
Comment: Sidewalks are being installed on all proposed Town Streets and along Holbrooks Road.
- Policy T-7: Traffic Impact Analysis Ordinance:** Continue to apply requirements of "Traffic Impact Analysis" Ordinance, including Level of Service and mitigation of impacts generated by new development.
Comment: A TIA was required and the required transportation enhancements are outlined in Part 3 of this staff analysis.

- **Policy T-8: Street Connectivity:** Promote and require street connectivity in the Town of Huntersville among residential, employment, recreational and institutional uses.
Comment: The proposed development provides two (2) connections to Holbrooks Road, four connections to the existing Valencia subdivision street network, dedication of 70' to accommodate the future Asbury Chapel Thoroughfare and dedication of land to accommodate the future Holbrook realignment into Asbury Chapel.
- **Policy CD-5: Street Infrastructure:** Continue to require that adequate public infrastructure (roads, utilities, etc.) either exist or will be made available to support all new development.
Comment: The proposed development is providing upgrades to Holbrooks Road in front of the subdivision. There will be two connection points onto Holbrooks Road to allow traffic to disperse. There are four existing stubs being connected to in the Valencia subdivision. Depending on the results of the Traffic Impact Analysis further off-site road improvements could be warranted. The proposed development will connect to public water and sewer.
- **Policy PF-2: Adequate Public Facilities:** Continue use of "Adequate Public Facilities Ordinance" to ensure that demand generated by existing and future growth and development for police, fire and parks & recreation capital facilities can be met by available supply of facilities.
Comment: see Part 4 of this report

The following sections of the East Huntersville Small Area Plan apply to this request:

- Extend utilities to open up new neighborhood development along Holbrooks Road.
Comment – The developer will be tying on to public sewer and water. The water line will be extend to Holbrooks Road aiding development.



Location of
proposed
development

- New street connections to improve town-wide access in East Huntersville.
Comment – Dedication of the future Asbury Chapel Thoroughfare is required. This will allow construction of a north/south transportation corridor to help disperse traffic. Connections through subdivision streets from Holbrooks to Huntersville Concord will allow residents to travel through the neighborhood streets without having to drive on primary roads.
- Redevelop the land along Holbrooks Road as residential neighborhood with a grid of streets that connect north into Vermillion. The future town recreation area can be integrated with the residential development to achieve an ideal configuration. The streets will follow the contours of the land and existing ravines will connect into a regional open space network of trails and natural areas.
Comment – The proposed development is design with a grid network that follows the contours. The sidewalks along the streets will connect to other phases within Valencia that will allow residents to access greenway trails and pockets of urban open space.

2. Conformity.

The proposed development is in keeping with the density in other major subdivisions in this area. Sherrill is proposing 2.04 units to the acres. Adjacent, Valencia Phase 1 D, F-I has a density of 2.68 units per acre.

3. Access between Adjoining Properties.

The proposed development is providing multiple connection points, four to Valencia, two to Holbrooks Road and dedicating land for the future Asbury Chapel Thoroughfare and the Holbrooks Road realignment.

4. Relation to topography.

The street network is designed to respect the general topography, foliage and avoid sensitive streams and wetlands.

5. Mature trees and natural vegetation.

The proposed project is required to save ten (10%) percent of the tree canopy, ten (10%) percent of the specimen trees and one hundred (100%) percent of the heritage trees and these requirements are being met. 10% of the tree canopy is being saved; fifty (50%) percent of the specimen trees are being saved; and there are no heritage trees on site.

6. Access to parks, schools, etc.

The applicant is providing sidewalks on both sides of the street for all internal streets, which will allow residential to reach a proposed greenway through the Valencia Subdivision. The proposed subdivision is also adjacent to the David B. Waymer Flying Regional Park.

7. Discourage through traffic.

All streets are appropriately sized for traffic and there is no straight access to any adjoining property.

8. Relationship to railroad rights-of-way.

Not Applicable

9. Half streets.

Not Applicable

10. Parallel streets along thoroughfares.

Not Applicable

11. Public School and Public Park Sites

The parcels associated with the Sherrill Subdivision have not been identified for a public school or park site.

12. Public Facilities

The parcels associated with Sherrill Subdivision have not been identified for a public facility.

13. Proposed street names

Street names are not required at this review level. They will be reviewed at the preliminary plan stage; however the developer did provide street names on the plan.

14. Easements.

Easements are identified on the survey and will be corrected, if required.

15. Proposed water and sewerage system.

A *Willingness to Serve* Letter has been issued by Charlotte Water.

16. Restrictions on the subdivision of land subject to flooding.

No flood plain exist onsite.

17. Reserved.

18. Open Space

The applicant is required to provide Urban Open Space within (1/4) one –quarter of a mile to all inhabited structures on site. A .5 acre square has been centrally located, thus meeting the ordinance requirement.

19. Impact of Development on Public Facilities

Under the provisions of the APF Ordinance, all residential development greater than twenty (20) lots are required to receive a “Determination of Adequacy (DOA)” for the following public facilities: fire vehicles, fire station, police station, police vehicles, indoor park and recreation facilities, and parks acreage. A DOA letter has been issued for all of the facilities, see Attachment D: Determination of Adequacy.

Additionally, staff has contacted Charlotte-Mecklenburg Schools (CMS) for an enrollment evaluation of this project, please reference Attachment E: CMS Report.

PART 5: STAFF RECOMMENDATION

In considering Sherrill Subdivision, staff finds:

- The application is complete.
- The request is in keeping with the spirit and intent of the Town’s future land use plans as mentioned above.
- The Sherrill Subdivision Sketch Plan can be supported by staff subject to the following:
 - All required TIA/Town/NCDOT required improvements are provided (see Part 3);
 - Both the waiver for the buffer and block length are approved.

PART 6: PLANNING BOARD RECOMMENDATION

The Planning Board heard the report on June 27, 2017 at 6:30pm. The Planning Board made the following recommendation: The Planning Board moves to recommend approval because the application is complete; it meets all necessary requirements; it is consistent with TIA requirements, DOT requirements, both with the waiver of the buffers and the block lengths being approved; and that it is very un-impactful to the community and in the best interest to the community and it meets and exceeds the 2030 Community Plan recommendations. Recommended approval 9-0.

PART 7: DECISION STATEMENTS

In considering whether to approve an application for a subdivision sketch plan, the Town Board must complete the following (a full version can be found in [Section 6.320.5](#) of the Subdivision Ordinance).

- Is the application complete (lacking any particular requirement)? *If no member of the Board moves that the application is incomplete, then this inaction is taken as an affirmative finding that the application is complete.*
- Does the application comply with all the applicable requirements? *A statement must be made that the application complies or does not comply that includes the support documentation of the particular motion.*
- Lastly, the Board must make a motion to approve or deny based on the previous statements.

PART 8: ATTACHMENTS/ENCLOSURES

Attachments

- A – Sketch Application
- B – Site Plan
- C – Neighborhood Meeting Report
- D – APF Letter of Determination
- E – CMS Report



General Application

Incomplete submissions will not be accepted. Please check all items carefully.

1. Application Type

Please indicate the type of application you are submitting. If you are applying for two (2) actions, provide a separate application for each action. In addition to the application, the submission process for each application type can be found at

<http://www.huntersville.org/Departments/Planning/PermitsProcess.aspx>

- ☐ CHANGE OF USE
- ☐ COMMERCIAL SITE PLAN
- ☐ CONDITIONAL REZONING
- ☐ GENERAL REZONING
- ☐ MASTER SIGNAGE PROGRAM
- ☐ REVISION to _____
- ☐ SPECIAL USE PERMIT

SUBDIVISION CATEGORIES: *Per the Huntersville Subdivision Ordinance*

- ☒ SKETCH PLAN
- ☐ PRELIMINARY PLAN
- ☐ FINAL PLAT (includes minor and exempt plats)
- ☐ FINAL PLAT REVISION
- ☐ FARMHOUSE CLUSTER

2. Project Data

Date of Application 2/28/17

Name of Project VALENCIA J Phase # (if subdivision) _____

Location HOLBROOKS RD

Parcel Identification Number(s) (PIN) 01920320, 01920313, 01937101

Current Zoning District NR + TR Proposed District (for rezonings only) NR

Property Size (acres) 38 Street Frontage (feet) _____

Current Land Use VACANT

Proposed Land Use(s) SF LOTS

Is the project within Huntersville's corporate limits?
Yes _____ No ☒ If no, does the applicant intend to voluntarily annex? YES

3. Description of Request

Briefly explain the nature of this request. If a separate sheet is necessary, please attach to this application.

SKETCH PLAN FOR 71 SF LOTS

4. Site Plan Submittals

Consult the particular type of *Review Process* for the application type selected above. These can be found at <http://www.huntersville.org/Departments/Planning/PermitsProcess.aspx>.

5. Outside Agency Information

Other agencies may have applications and fees associated with the land development process. The *Review Process* list includes plan documents needed for most town and county reviewing agencies.


For major subdivisions, commercial site plans, and rezoning petitions please enclose a copy of the Charlotte-Mecklenburg Utility *Willingness to Serve* letter for the subject property.

6. Signatures

*Applicant's Signature  Printed Name ROBERT BOWMAN

Address of Applicant 13815 CINNABAR PL HUNTERVILLE, NC 28078

Email bowman31@gmail.com

Property Owner's Signature (if different than applicant) 

Printed Name SOUTHSIDE NEIGHBORHOOD LLC - ROBERT BOWMAN - MANAGER

Property Owner's Address 13815 CINNABAR PL Email bowman31@gmail.com

* Applicant hereby grants permission to the Town of Huntersville personnel to enter the subject property for any purpose required in processing this application.

Development Firm	Name of contact	Phone	Email
------------------	-----------------	-------	-------

Design Firm	Name of contact	Phone	Email
-------------	-----------------	-------	-------

If Applying for a General Rezoning:

Please provide the name and Address of owner(s) of fee simple title of **each** parcel that is included in this rezoning petition. If additional space is needed for signatures, attach an addendum to this application.

If Applying for a Conditional Rezoning:

Every owner of each parcel included in this rezoning petition, or the owner (s) duly authorized agent, must sign this petition. If signed by an agent, this petition **MUST** be accompanied by a statement signed by the property owner (s) and notarized, specifically authorizing the agent to act on the owner (s) behalf in filing this petition. Failure of each owner, or their duly authorized agent, to sign, or failure to include the authority of the agent signed by the property owner, will result in an **INVALID PETITION**. **If additional space is needed for signatures, attach an addendum to this application.**

Signature, name, firm, address, phone number and email of Duly Authorized Agent by owner needed below:

If Applying for a Subdivision:

By signature below, I hereby acknowledge my understanding that the Major Subdivision Sketch Plan Process is a quasi-judicial procedure and contact with the Board of Commissioners shall **only** occur under sworn testimony at the public hearing.



Contact Information

Town of Huntersville
Planning Department
PO Box 664
Huntersville, NC 28070

Phone: 704-875-7000
Fax: 704-992-5528
Physical Address: 105 Gilead Road, Third Floor
Website: <http://www.huntersville.org/Departments/Planning.aspx>

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6. Signatures

*Applicant's Signature  Printed Name ROBERT BOWMAN

Address of Applicant 13815 CINNABAR PL HUNTERVILLE, NC 28078

Email bowman31@gmail.com

Property Owner's Signature (if different than applicant) 

Printed Name BOWMAN DEVELOPMENT GROUP - ROBERT BOWMAN - PRESIDENT

Property Owner's Address 13815 CINNABAR PL Email bowman31@gmail.com

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Development Firm	Name of contact	Phone	Email
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Huntersville, NC 28070	Website:	http://www.huntersville.org/Departments/Planning.aspx

6. Signatures

*Applicant's Signature



Printed Name ROBERT BOWMAN

Address of Applicant 13815 LINNABAR PL HUNTERVILLE, NC 28078

Email bowman31@gmail.com



Property Owner's Signature (if different than applicant)



Printed Name Delia B. Mercado Laura Mercado

Property Owner's Address 15735 46th Brooks Rd

Email mercadoconst@yahoo.com

* Applicant hereby grants permission to the Town of Huntersville personnel to enter the subject property for any purpose required in processing this application.

Development Firm

Name of contact

Phone

Email

Design Firm

Name of contact

Phone

Email

If Applying for a General Rezoning:

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If Applying for a Subdivision:

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Contact Information

Town of Huntersville
Planning Department
PO Box 664
Huntersville, NC 28070

Phone:
Fax:
Physical Address:
Website:

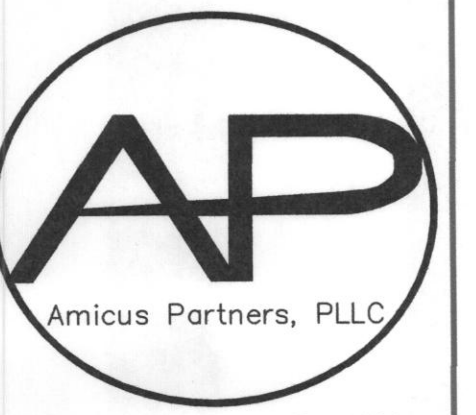
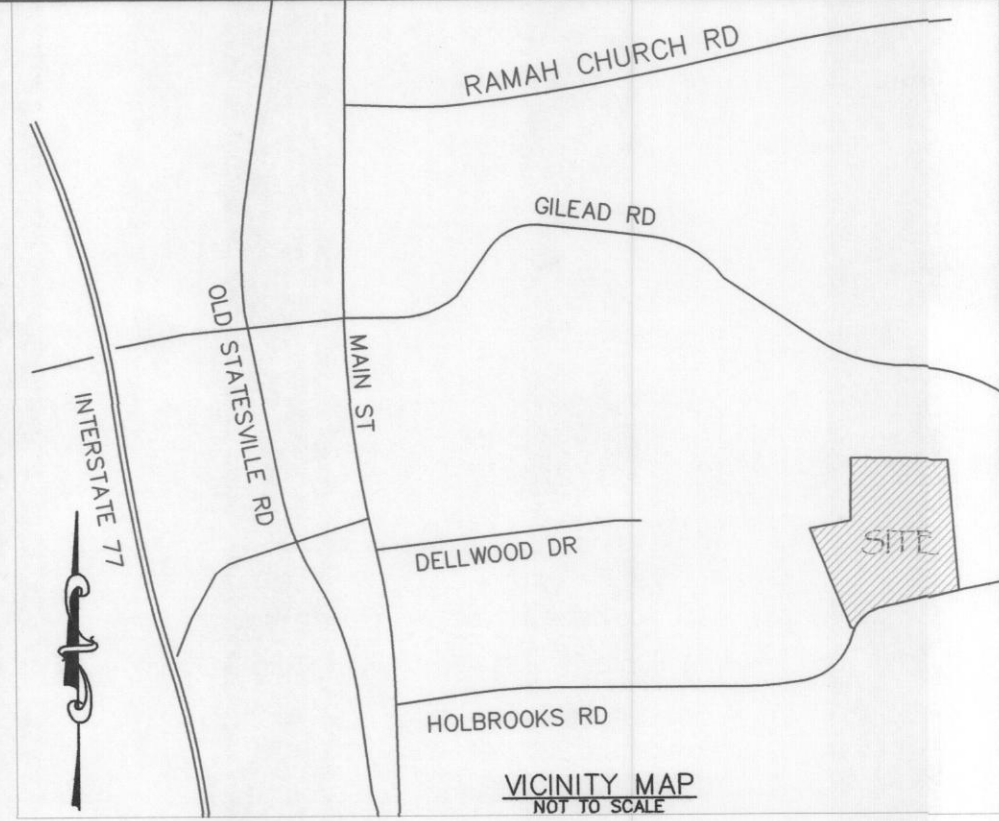
704-875-7000
704-992-5528
105 Gilead Road, Third Floor
<http://www.huntersville.org/Departments/Planning.aspx>

SHERRILL SUBDIVISION SKETCH PLAN HUNTERSVILLE, NORTH CAROLINA MECKLENBURG COUNTY

Sheet Title	Sheet No.	Original Date	Latest Revision Date	Revision Number	Revision Note
Cover Sheet	C-0.0	02/28/17	06/15/17	2	Per TOH
Boundary-Existing Conditions	C-1.0	02/28/17	05/08/17	1	Per TOH # MECK. COUNTY
Rezoning Plan	C-1.1	02/28/17	06/15/17	2	Per TOH
Site Plan	C-2.0	02/28/17	06/15/17	2	Per TOH
GO Scale-Site Plan	C-2.1	02/28/17	06/15/17	2	Per TOH
Tree Planting / Tree Save Plan	C-2.2	02/28/17	06/15/17	2	Per TOH
Site Details	C-2.3	02/28/17	06/15/17	2	Per TOH
Tree Planting / Tree Save Plan	C-3.0	02/28/17	06/15/17	2	Per TOH
GO Scale-Tree Planting / Tree Save Plan	C-3.1	02/28/17	06/15/17	2	Per TOH
GO Scale-Tree Planting / Tree Save Plan	C-3.2	02/28/17	06/15/17	2	Per TOH
Conceptual Stormwater Management Plan	C-4.0	02/28/17	06/15/17	2	Per TOH
GO Scale-Conceptual Stormwater Management Plan	C-4.1	02/28/17	06/15/17	2	Per TOH
GO Scale-Conceptual Stormwater Management Plan	C-4.2	02/28/17	06/15/17	2	Per TOH

EPM REFERENCE NUMBER:
#374152 SKETCH / CONCEPT PLAN

PROJECT #	PROJECT NAME
342156	VALENCIA PHASE 1D, 1F-II
356764	VALENCIA PHASE 1F PH 1 MAP 1
357957	VALENCIA PHASE 1D MAP 1
358472	VALENCIA PHASE 1F PH 1 MAP 2
358635	VALENCIA PHASE 1D, 1F-II
360578	VALENCIA 1F PH MAP 1 REV
363650	VALENCIA 1F MAP 2 REV
364278	VALENCIA PHASE 1D 1F-II FLOOD STUDY
364570	VALENCIA PHASE 1F MAP 2 REV 2
364726	VALENCIA PHASE 1D MAP 2
365540	VALENCIA PHASE 1F PH 1 MAP 3
365637	VALENCIA PHASE 1D, 1F-II
366995	VALENCIA PHASE 1D & AMP; 1G 100+1 FLOOD ANALYSIS
371882	VALENCIA PHASE 1D 1F-II
374152	VALENCIA SUBDIVISION - SHERRILL SUBDIVISION
374881	VALENCIA PHASE 1F MAP 1 REV



Firm License # P-1191
331 Coddle Market Drive
Suite 110
Concord, NC 28027
Civil Site Design
Low Impact Development
Small-Scale Building Design
Telephone: 704.573.1621
Facsimile: 704.248.7951

Seals:



SITE PLAN DATA TABLE	
Original Parcel ID Number(s):	019-203-20, 019-203-13, 019-371-01
Total Acreage	37.77
Total Square Feet	1,645,261
Principal Use(s) (s.o. Article 3)	Single family
Building Type (s.o. Article 3.4 and 3.4.2)	Detached
Existing Zoning District (s.o. Article 3)	TR, NR
Overlay District, if Applicable (Article 3.5.2)	N/A
Proposed Re-Zoning (s.o. Article 3)	NR-CD
Percentage of Impervious Allowed (Article 3.5.2)	70%
Percentage of Impervious Shown	+/- 64.68%
Total open space required	7.55 acres (20% site area)
Total open space provided	7.88 acres (21% site area)
Density	0.49 units/acre
Lot Count	??
Total Number of Dwellings (Detached/Attached)	??
Mixed-use/# of live/work units	0
Total Square Foot of non residential	N/A
Lot size range	Number of lots within each range
< 10,000 sf	30
10,000 - 15,000 sf	30
15,001 - 20,000 sf	16
> 20,000 sf	1
Lot widths range (s.o. Article 3)	Number of lots within each width
60' TO 90'	??
Setbacks and Build-to-lines (s.o. Article 3.4 and 3.4.2)	
Front Build-to-line	10-18 FT 12-24 FT 12-24 FT
Corner Setbacks	5 FT 6 FT 6 FT
Rear Setbacks	25 FT 25 FT 5-20 FT
Side Setbacks	5 FT 5 FT 5 FT
Watershed Information (s.o. Article 3 and 3.5.2 Section 7.2.2)	
Property in a regulated watershed district?	No
Watershed District	N/A
Low Density/High Density	N/A
Stream Watershed	Clarke

IMPERVIOUS AREA CHART			
ROADS (SQ FT)	SIDEWALKS (SQ FT)	LOTS (SQ FT)	PERCENT IMPERVIOUS
127,540	56,120	677,637	64.68%
* DIA. RESERVE SHALL BE A MINIMUM OF 150 SQ FT OR 1% OF THE LOT AREA, WHICHEVER IS GREATER			

NOTES:

RETAINING WALLS ALL RETAINING WALLS REQUIRING SPECIAL INSPECTIONS (~5' IN HEIGHT) SHALL MEET THE REQUIREMENTS OF THE MCSBC CHAPTER 17 - SPECIAL INSPECTIONS AS DETAILED PER THE MECKLENBURG COUNTY CODE ENFORCEMENT SPECIAL INSPECTIONS PROCESS. ADDITIONALLY, COPIES OF THE RETAINING WALL PLANS SHALL BE SUBMITTED TO THE HUNTERSVILLE ENGINEERING DEPARTMENT FOR REVIEW AND APPROVAL. THE TOWN OF HUNTERSVILLE SHALL BE COPIED ON ALL STATEMENTS OF SPECIAL INSPECTIONS, SPECIAL INSPECTIONS FINAL REPORTS, AND DESIGN PRINCIPAL IN RESPONSIBLE CHARGE (DPRIC) LETTERS.

THE TOWN OF HUNTERSVILLE REQUIRES THAT ALL STREETS PROPOSED TO BE TAKEN OVER BY THE TOWN FOR MAINTENANCE BE REVIEWED, INSPECTED, AND CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF NORTH CAROLINA FOR ADEQUATE CONSTRUCTION. REVIEW OF STREET CONSTRUCTION BY THE CERTIFYING ENGINEER IS REQUIRED THROUGHOUT THE CONSTRUCTION PROCESS. REFER TO THE TOWN OF HUNTERSVILLE ENGINEERING STANDARDS AND PROCEDURES MANUAL FOR ADDITIONAL INFORMATION INCLUDING THE REQUIRED CERTIFICATION FORM.

MECKLENBURG COUNTY APPROVAL WITH CONDITIONS NOTE:

APPROVAL OF THIS SKETCH / CONCEPT PLAN DOES NOT IMPLY OR GUARANTEE VESTING AND/OR APPROVAL OF THE FINAL PRELIMINARY / CONSTRUCTION PLAN.

FINAL PRELIMINARY / CONSTRUCTION PLAN WILL BE REVIEWED FOR COMPLIANCE PER ALL TOWN, COUNTY AND STATE REGULATIONS IN EFFECT AT TIME OF SUBMITTAL.

REFERENCE: ALL PARCEL AND BOUNDARY INFORMATION, ADJACENT PROPERTIES, PROPERTY DIMENSIONS, AND COORDINATES REFERENCED FROM A SURVEY COMPLETED BY SOUTH POINT SURVEYING, PLLC. TOPOGRAPHIC INFORMATION PROVIDED REFERENCED FROM MECK. COUNTY GIS AND TO BE CONFIRMED PER FIELD RUN DATA COLLECTION BY SOUTH POINT SURVEYING PRIOR TO PRELIMINARY PLAN APPROVAL. TOPO PROVIDED BY THE PE CAN ONLY BE IN SUPPORT OF THE PE'S PROJECT AND CANNOT BE RELIED UPON BY OTHERS. THE PE WILL BE TAKING RESPONSIBILITY FOR THE TOPO AS IT IMPACTS THE PROJECT UNDER THE PE LICENSE.

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BEFORE YOU DIG STOP. CALL THE NC ONE-CALL

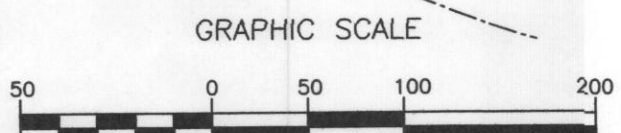
CENTER AT 811.

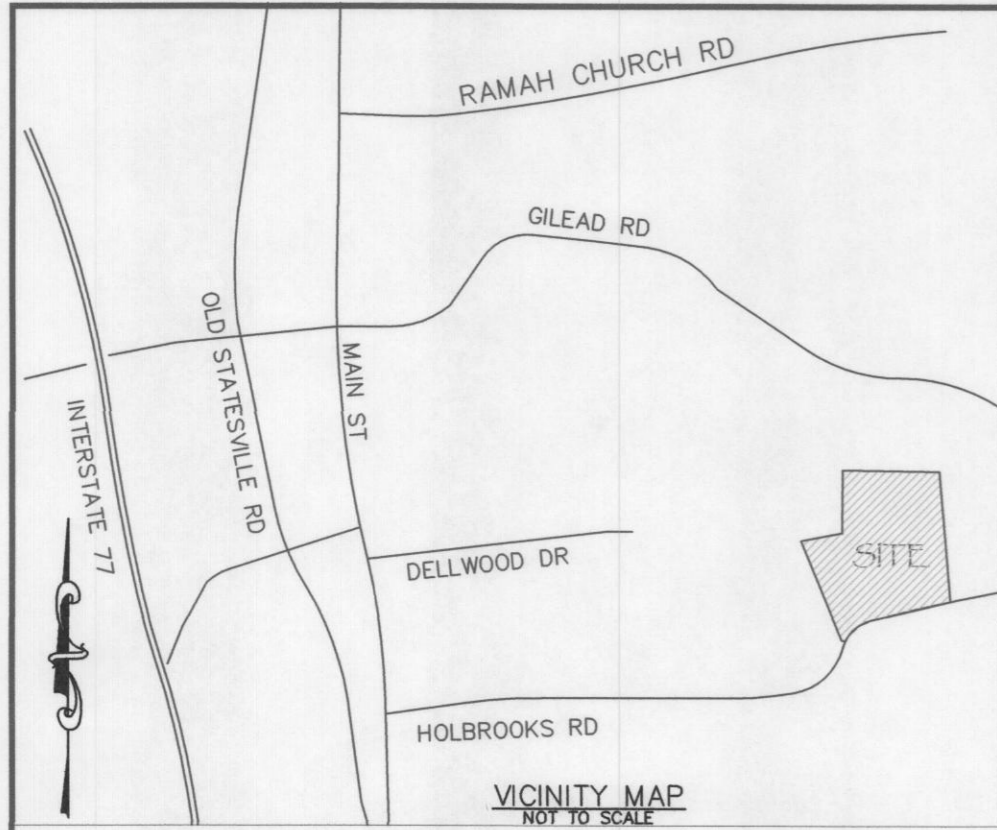
IT'S THE LAW.



LEGEND:

—	DEVELOPMENT BOUNDARY
- - -	PHASE LINE
- . - .	EXISTING RIGHT-OF-WAY
- - -	EXISTING LOT LINE
- . - .	PROPOSED RIGHT-OF-WAY
- - -	PROPOSED LOT LINE





- SIGHT TRIANGLE NOTE:
1.) NO DRIVEWAYS SHALL BE CONSTRUCTED WITHIN THE SIGHT TRIANGLES. THE DEVELOPER SHALL CONSIDER THAT WHEN DETERMINE HOUSE PLACEMENT ON THE INDIVIDUAL LOTS.
- LOT LAYOUT NOTES:
1.) STREET TREES TO BE LARGE MATURING TREES PLANTED 40' ON CENTER ON BOTH SIDES OF STREET.
2.) SIDE SETBACKS ON A CORNER LOT ARE DETERMINED BY AT LEAST 50 PERCENT OF THE FRONT SETBACK OF THE ADJACENT LOT OR ESTABLISH A TRANSITION BETWEEN EXISTING BUILDING BY STEPPING TOWARD THE STREET OR BACK FROM THE STREET A DISTANCE EQUAL TO THE LESSER BUILDING SETBACK PLUS ONE-HALF OF THE DIFFERENCE BETWEEN THE SETBACKS OF THE ADJOINING BUILDINGS.
3.) BUILD-TO-LINE DEFINITION - A LINE EXTENDING THROUGH A LOT WHICH IS GENERALLY PARALLEL TO THE FRONT PROPERTY LINE AND MARKS THE LOCATION FROM WHICH THE PRINCIPLE VERTICAL PLANE OF THE FRONT BUILDING ELEVATION MUST BE ERRECTED. IT IS INTENDED TO CREATE AN EVEN BUILDING FACADE LINE ON A STREET. THE BUILD-TO-LINE IS ESTABLISHED ON THE RECORD PLAT.
4.) THE DEVELOPER TO TAKE CARE WHEN LAYING OUT AND RECORDING LOTS THAT BARELY EXCEED A 60-FOOT WIDTH AND ALLOW LITTLE ROOM FOR ERROR.

- MECKLENBURG COUNTY FIRE NOTES:
1.) ALL TURNING RADIUS SHALL BE 30' INNER AND 42' OUTER TO FACILITATE FIRE APPARATUS.
2.) FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS OF 80,000 POUNDS.

SITE PLAN DATA TABLE	
Original Parcel ID Number(s):	019-203-20, 019-203-13, 019-371-01
Total Acreage	37.77
Total Square Feet	1,645,281
Principal Use(s) (a.o. article 3)	Single family
Building Type (a.o. article 3.4 and 3.4.1)	Detached
Existing Zoning District (a.o. article 3)	TR-NR
Overlay District, if Applicable (article 3.2.2)	N/A
Proposed Re-Zoning (a.o. article 3)	NR-CD
Percentage of Impervious Allowed (article 3.2.2)	70%
Percentage of Impervious Shown	+/- 64.68%
Total open space required	7.55 acres (20% site area)
Total open space provided	7.88 acres (21% site area)
Density	0.49 units/acre
Lot Count	77
Total Number of Dwellings (Detached/Attached)	77
Mixed-use/# of live/work units	0
Total Square Foot of non residential	N/A
Lot size range	Number of lots within each range
< 10,000 sf	30
10,000 - 15,000 sf	30
15,001 - 20,000 sf	16
> 20,000 sf	1
Lot widths range (a.o. article 3)	Number of lots within each width
60' to 90'	77
Setbacks and Build-to-lines (a.o. article 3.4 & 4)	60 FT >60 FT ALLEY
Front Build-to-line	10-18 FT 12-24 FT 12-24 FT
Corner Setbacks	5 FT 6 FT 6 FT
Rear Setbacks	25 FT 25 FT 5-20 FT
Side Setbacks	5 FT 5 FT 5 FT
Watershed Information (a.o. article 3 and 3.2.2, Section 7.2.2.2)	
Property in a regulated watershed district?	No
Watershed District	N/A
Low Density/High Density	N/A
Stream Watershed	Clarke

IMPERVIOUS AREA CHART			
ROADS (SQ FT)	SIDEWALKS (SQ FT)	LOTS (SQ FT)	PERCENT IMPERVIOUS
127,540	50,120	877,637	64.68%
* RUA RESERVE SHALL BE A MINIMUM OF 150 SQ FT OR 1% OF THE LOT AREA, WHICHEVER IS GREATER			

BLOCK LENGTH TABLE		
BLOCK	DESCRIPTION	LENGTH
WHITNEY HODGES DRIVE	VANGUARD PKWY TO BOWTIE LANE	454 FT
WHITNEY HODGES DRIVE	BOWTIE LANE TO MESSENGER ROW	271 FT
WHITNEY HODGES DRIVE	MESSENGER ROW TO BERKLEY AVENUE	570 FT
WHITNEY HODGES DRIVE	BERKLEY AVENUE TO END OF PHASE	150 FT
BOWTIE LANE	BERKLEY AVENUE TO WHITNEY HODGES DRIVE	560 FT
MESSENGER ROW	PHASE 1F TO WHITNEY HODGES DRIVE	109 FT
MESSENGER ROW	WHITNEY HODGES DRIVE TO BERKLEY AVENUE	413 FT
MESSENGER ROW	BERKLEY AVENUE TO HOLBROOKS ROAD	315 FT
VANGUARD PARKWAY	PHASE 1F TO WHITNEY HODGES DRIVE	192 FT
VANGUARD PARKWAY	WHITNEY HODGES DRIVE TO BERKLEY AVENUE	470 FT
VANGUARD PARKWAY	BERKLEY AVENUE TO UP YOUR ALLEY	213 FT
VANGUARD PARKWAY	UP YOUR ALLEY TO HOLBROOKS ROAD	186 FT
BERKLEY AVENUE	PHASE 1G TO VANGUARD PARKWAY	161 FT
BERKLEY AVENUE	VANGUARD PARKWAY TO BOWTIE LANE	319 FT
BERKLEY AVENUE	BOWTIE LANE TO MESSENGER ROW	200 FT
* BERKLEY AVENUE	MESSENGER ROW TO WHITNEY HODGES DRIVE	895 FT
BERKLEY AVENUE	MIAMI BLUFF TO PHASE 1H	419 FT
UP YOUR ALLEY	VANGUARD PARKWAY TO MESSENGER ROW	465 FT
TOTAL		6,377 FT
* BLOCK LENGTH WAIVER HAS BEEN SUBMITTED FOR BERKLEY DRIVE		

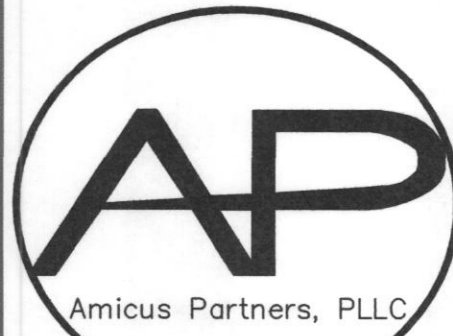
LOT CHART						APPROXIMATE
PHASE	60'+	66'+	75'+	90'+	TOTAL	TIME FRAME
1J	20	17	6	34	77	2017-2018
TOTAL	20	17	6	34	77	

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Firm License # P-1191
331 Coddle Market Drive
Suite 110
Concord, NC 28027
Civil Site Design
Low Impact Development
Small-Scale Building Design
Telephone: 704.573.1621
Facsimile: 704.248.7951

Seals:



SHERILL SUBDIVISION
HUNTERSVILLE, NORTH CAROLINA
BY
BOWMAN DEVELOPMENT GROUP
13815 CINNABAR PLACE
HUNTERSVILLE, NORTH CAROLINA 28076
(704) 875-9704

Project Number: 17-17-001
Date: 06-15-2017
Drawn By: JLM
Checked By: NRP

Revisions:
02/28/17 ORIGINAL SUBMITTAL
05/08/17 PER TOH 4 MECK. COUNTY
06/15/17 PER TOH

Sheet Title:

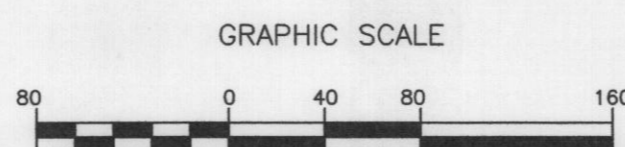
Overall
Site
Plan

Sheet No:

C-2.0

LEGEND:

- DEVELOPMENT BOUNDARY
- PHASE LINE
- EXISTING RIGHT-OF-WAY
- EXISTING LOT LINE
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT LINE
- PROPOSED SETBACK



PLANT LEGEND
(ALL PLANT SPECIES TO BE APPROVED BY TOWN OF HUNTERSVILLE PRIOR TO PLANTING)

EVERGREEN SHRUB
EVERGREEN TREE
CANOPY TREE
LARGE MATURING TREE
SMALL MATURING TREE

EXISTING SPECIMEN TREES TO BE REMOVED
EXISTING SPECIMEN TREES TO BE SAVED
PROPOSED TREE SAVE AREA

PROJECT BUFFER PLANTINGS PER 1,000 SQ FT
AREAS OF 20' PROJECT BUFFER THAT MAY NOT BE OPAQUE AND REQUIRE SUPPLEMENTAL PLANTINGS

RESIDENTIAL LOT TREES CHART		
LOST SIZE	# OF LOTS	REQUIREMENTS
< 10,000 SF	30	1 FRONT - 1 REAR
10,000 - 15,000 SF	31	1 FRONT - 2 REAR
15,001 - 20,000 SF	15	2 FRONT - 2 REAR
> 20,000 SF	1	3 FRONT - 3 REAR

SHERILL SUBDIVISION - TREE SAVE INFO

HERITAGE TREES
HERITAGE TREES ON SITE: NONE
HERITAGE TREES SAVED: N/A
PERCENTAGE OF HERITAGE TREES REQUIRED TO SAVE: 100%
PERCENTAGE OF HERITAGE TREES ACTUALLY SAVED: N/A

SPECIMEN TREES
SPECIMEN TREES ON SITE: 8
SPECIMEN TREES SAVED: 4
PERCENTAGE OF SPECIMEN TREES REQUIRED TO SAVE: 50%
PERCENTAGE OF SPECIMEN TREES ACTUALLY SAVED: 50%

TREE CANOPY
PERCENTAGE OF SITE COVERED BY TREE CANOPY: 83%
PERCENTAGE OF TREE CANOPY PRESERVATION REQUIRED BY DISTRICT: 10%
PERCENTAGE OF TREE CANOPY ACTUALLY SAVED: 11%

- LANDSCAPING NOTES (PER TOWN OF HUNTERSVILLE):
- STREET TREES ARE REQUIRED TO BE WITHIN A MINIMUM 7-FOOT PLANTING STRIP LOCATED BETWEEN THE PROPOSED STREET AND PROPOSED SIDEWALK. PLANTING SHALL BE PROVIDED AS FOLLOWS:
A. LARGE MATURING CANOPY TREES SHALL BE PLANTED AT A SPACING NOT TO EXCEED 40- FEET ON CENTER EXCEPT THAT SPACING MAY BE ALTERED SLIGHTLY TO ACCOMMODATE DRIVEWAYS.
B. SMALL MATURING "CANOPY-LIKE" TREES SHALL BE PLANTED 30- FEET ON CENTER WHERE EXISTING OVERHEAD UTILITY LINES PROHIBIT THE USE OF LARGE MATURING CANOPY TREES.
 - NEW TREES MAY BE REQUIRED WITHIN EACH RESIDENTIAL LOT. IN ORDER TO MAINTAIN OR REPLENISH THE URBAN TREE CANOPY IN AREAS OF NEW RESIDENTIAL SUBDIVISION, EACH LOT SHALL PROVIDE CANOPY TREES. FOR LOTS LESS THAN 10,000 SQ. FT., 1 FRONT YARD AND 1 REAR YARD CANOPY TREE MAY BE REQUIRED. FOR LOTS BETWEEN 10,000 SQ. FT. AND 15,000 SQ. FT., 1 FRONT YARD AND 2 REAR YARD CANOPY TREES MAY BE REQUIRED.
 - ALL REQUIRED PLANTINGS SHALL BE INSTALLED IN A MANNER THAT INSURES THE AVAILABILITY OF SUFFICIENT SOIL AND WATER FOR HEALTHY GROWTH AND THAT IS NOT INTRUSIVE TO ABOVE GROUND AND UNDER GROUND UTILITIES.
 - ALL STREET TREES MUST BE FROM THE "TOWN OF HUNTERSVILLE TREE AND SHRUB LIST."
 - ALL TREES SHALL BE A MINIMUM OF 2-INCHES IN CALIPER, WITH MINIMUM HEIGHT 8' TO 10' AT TIME OF PLANTING. SHRUBS SHALL HAVE A MINIMUM HEIGHT OF 3' AT INSTALLATION, EXPECTED HEIGHT OF 6' AT MATURITY.
 - INSTALLATION OF TREES AND SHRUBS SHALL COMPLY WITH THE TOWN OF HUNTERSVILLE ENGINEERING STANDARDS AND PROCEDURES MANUAL.
 - EVERY REASONABLE EFFORT SHALL BE MADE TO PROTECT AND RETAIN EXISTING TREES AND SHRUBS NOT ACTUALLY LYING IN PLANNED ROADWAYS, DRAINAGEWAYS, BUILDING FOUNDATION SITES AND CONSTRUCTION ACTIVITY AREAS. EXCEPT WHEN NECESSARY TO PROVIDE ACCESS TO A SITE OR TO INSURE THE SAFETY AND SECURITY OF PEOPLE AND PROPERTY ANY EXISTING HEALTHY TREES THAT ARE EIGHT INCHES OR GREATER IN CALIPER, LOCATED WITH A PUBLIC RIGHT-OF-WAY OR UNDEVELOPED REQUIRED YARD SHALL BE RETAINED UNLESS APPROVED FOR REMOVAL BY STAFF DURING PLAN REVIEW.
 - TREES SHOULD NOT BE PLANTED WITHIN 40' OF THE CURB RETURN ON A STOP/YIELD CONTROLLED APPROACH. ALSO NOTE THAT TREES SHOULD BE PLANTED AT LEAST 10' FROM DRAINAGE STRUCTURES. TREES NOT TO BE PLANTED DIRECTLY ON TOP OF STORM DRAIN PIPES, NOR WITHIN SIGHT TRIANGLES.
 - ALL LOT TREES AS PER SECTION 7.7 (STREET TREES AND INTERNAL LANDSCAPING) OF THE TOWN OF HUNTERSVILLE ZONING ORDINANCE. EXISTING SPECIMEN TREES TO BE USED IN LIEU OF NEW PLANTINGS (AS APPROVED BY TOWN OF HUNTERSVILLE).
 - SHOULD ANY AREA OF DESIGNATED TREE SAVE OR SPECIMEN TREES BE COMPROMISED MITIGATION WILL BE REQUIRED PER ARTICLE 7.5.
 - ALL TREE SAVE LOCATED ON PRIVATE LOTS WILL BE REQUIRED TO BE PLATTED. SHOULD CONSTRUCTION OCCUR AND COMPROMISE, THEN MITIGATION WILL NEED TO TAKE PLACE AND A REVESED PLAT WILL BE REQUIRED FOR REDECORATION.

BEFORE YOU DIG STOP. CALL THE NC ONE-CALL
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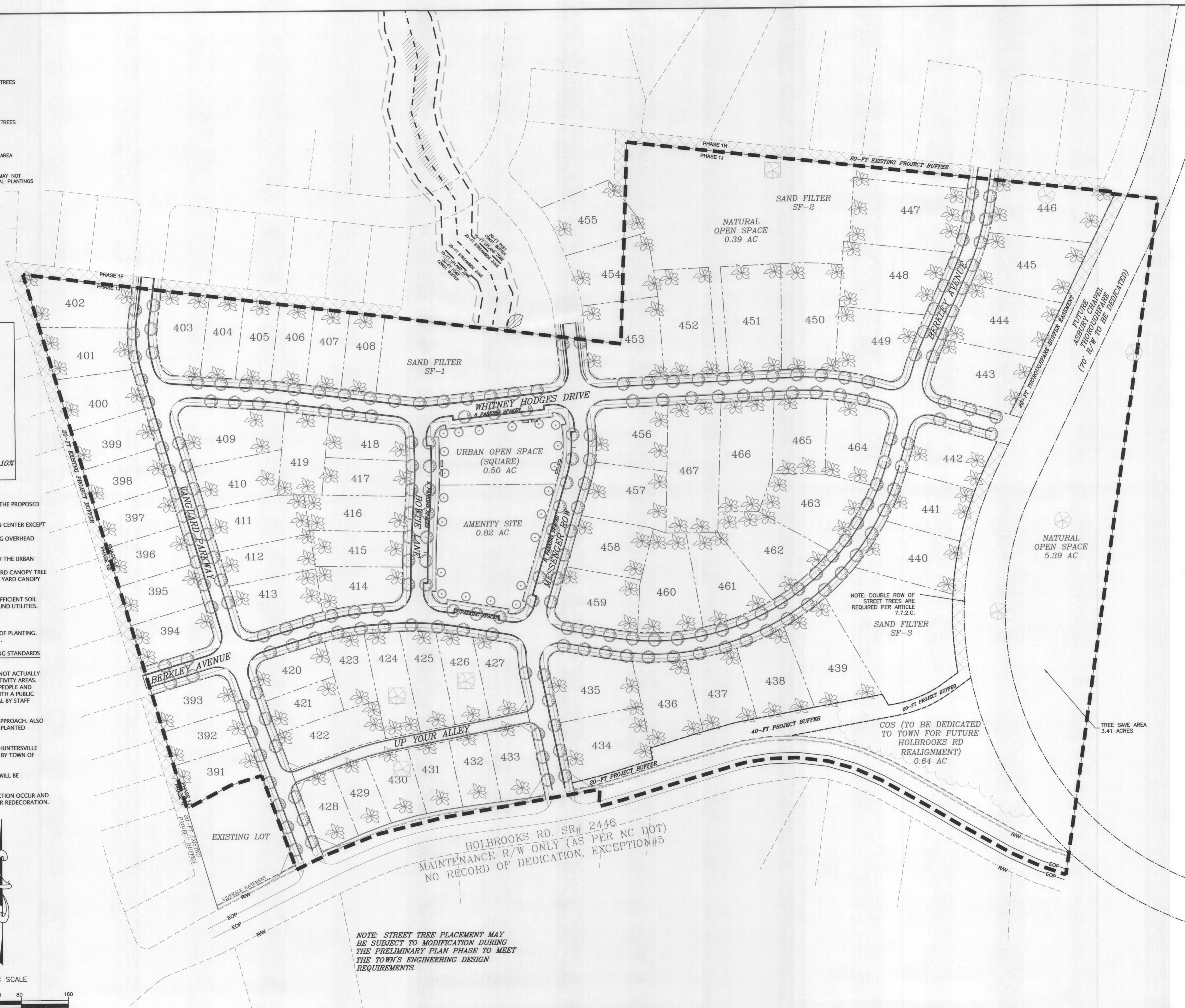
LEGEND:

DEVELOPMENT BOUNDARY
PHASE LINE
EXISTING RIGHT-OF-WAY
EXISTING LOT LINE
PROPOSED RIGHT-OF-WAY
PROPOSED LOT LINE

GRAPHIC SCALE

80 0 40 80 160

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AP
Amicus Partners, PLLC

Firm License # P-1191
331 Coddle Market Drive
Suite 110
Concord, NC 28027

Civil Site Design
Low Impact Development
Small-Scale Building Design

Telephone: 704.573.1621
Facsimile: 704.248.7951

Seals:

PROFESSIONAL ENGINEER
SEAL 032006
NICHOLAS R. PARKER
06-15-2017

SHERILL SUBDIVISION
HUNTERSVILLE, NORTH CAROLINA

BY
BOWMAN DEVELOPMENT GROUP
13815 CINNABAR PLACE
HUNTERSVILLE, NORTH CAROLINA 28078
(704) 875-9704

Project Number: 17-17-001

Date: 06-15-2017

Drawn By: JLM

Checked By: NRP

Revisions:

02/28/17	ORIGINAL SUBMITTAL
05/08/17	PER TOH # MECK. COUNTY
06/15/17	PER TOH

Sheet Title:

Overall Tree Planting/Save Plan

Sheet No:

C-3.0

Valencia J Neighborhood Meeting Report

List of persons and organizations contacted:

- C&D Management Co, LLC
- Greenway Waste Solutions at North Meck, LLC
- Mecklenburg County
- AVH Carolinas, LLC
- Kuester Management
- Hawthorne Management

I'm attaching the letter mailed to these individuals or businesses. This letter includes date of contact, date, time and location of the meeting. The letter was mailed on April 5, 2017.

Attendance:

Nobody was present for the meeting therefore we don't have a sign in sheet or any notes from the meeting. No changes are being made to the plans based on this meeting.

Bowman Development Group, Inc.

April 5, 2017

SUBJECT: Notice of neighborhood meeting for a subdivision conditional rezoning and sketch plan review of approximately +/- 37.77 acres located on Holbrooks Road.

To Whom It May Concern:

Recipients of this letter meet the notification requirements of the Town of Huntersville as being either adjacent landowners or neighborhood organizations with at least a portion of their residents located within 250 ft. of the subject property.

MEETING DETAIL:

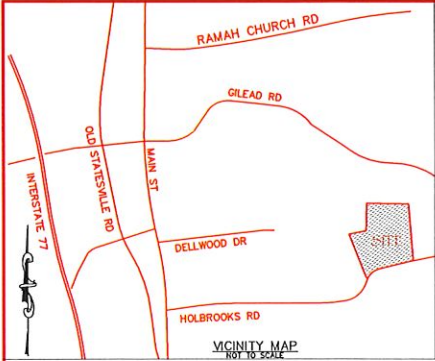
5:30 p.m.
April 24th, 2017
Bowman Development Group
13815 Cinnabar Place
Huntersville, NC 28078

You are welcome to attend the above-mentioned neighborhood meeting. There will be an opportunity to ask questions about the proposed subdivision.

Sincerely,

A handwritten signature in dark ink, appearing to be 'Robert Bowman', with a long horizontal flourish extending to the right.

Robert Bowman



SIGHT TRIANGLE NOTE:
1. NO DRIVEWAYS SHALL BE CONSTRUCTED WITHIN THE SIGHT TRIANGLES. THE DEVELOPER SHALL CONSIDER THAT WHEN DETERMINE HOUSE PLACEMENT ON THE INDIVIDUAL LOTS.

- LOT LAYOUT NOTES:
- 1.) STREET TREES TO BE LARGE MATURING TREES PLANTED 40' ON CENTER ON BOTH SIDES OF STREET.
 - 2.) SIDE SETBACKS ON A CORNER LOT ARE DETERMINED BY AT LEAST 50 PERCENT OF THE FRONT SETBACK OF THE ADJACENT LOT OR ESTABLISH A TRANSITION BETWEEN EXISTING BUILDING BY STEPPING TOWARD THE STREET OR BACK FROM THE STREET A DISTANCE EQUAL TO THE LESSER BUILDING SETBACK PLUS ONE-HALF OF THE DIFFERENCE BETWEEN THE SETBACKS OF THE ADJOINING BUILDINGS.
 - 3.) BUILD-TO-LINE DEFINITION - A LINE EXTENDING THROUGH A LOT WHICH IS GENERALLY PARALLEL TO THE FRONT PROPERTY LINE AND MARKS THE LOCATION FROM WHICH THE PRINCIPLE VERTICAL PLANE OF THE FRONT BUILDING ELEVATION MUST BE ERCTED. IT IS INTENDED TO CREATE AN EVEN BUILDING FACADE LINE ON A STREET. THE BUILD-TO-LINE IS ESTABLISHED ON THE RECORD PLAT.
 - 4.) THE DEVELOPER TO TAKE CARE WHEN LAYING OUT AND RECORDING LOTS THAT BARELY EXCEED A 60-FOOT WIDTH AND ALLOW LITTLE ROOM FOR ERROR.

MECKLENBURG COUNTY FIRE NOTES:
1.) ALL TURNING RADIUS SHALL BE 30' INNER AND 42' OUTER TO FACILITATE FIRE APPARATUS.
2.) FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS OF 80,000 POUNDS.

BEFORE YOU DIG STOP. CALL THE NC ONE-CALL

CENTER AT 811.

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Low Impact Development
Small-Scale Building Design
Telephone: 704.573.1621
Facsimile: 704.248.7951

Seals:

SITE PLAN DATA TABLE	
Original Parcel ID Number(s):	019-203-20, 019-203-13, 019-371-01
Total Acreage	37.77
Total Square Feet	1,645,261
Principal Use(s) (see 2.0.1)	Single family
Building Type (see 2.0.1 and 2.0.2)	Detached
Existing Zoning District (see 2.0.3)	TR-NR
Overlay District, if Applicable (see 2.0.4)	N/A
Proposed Re-Zoning (see 2.0.5)	NR-CD
Percentage of Impervious Allowed (see 2.0.6)	70%
Percentage of Impervious Shown	+/- 64.68%
Total open space required	7.55 acres (20% site area)
Total open space provided	7.88 acres (21% site area)
Density	0.49 units/acre
Lot Count	77
Total Number of Dwellings (Detached/Attached)	77
Mixed-use/# of live/work units	0
Total Square Foot of non residential	N/A
Lot size range	Number of lots within each range
< 10,000 sq ft	30
10,000 - 15,000 sq ft	30
15,001 - 20,000 sq ft	16
> 20,000 sq ft	1
Lot widths range (see 2.0.1 and 2.0.2)	Number of lots within each width
60' to 90'	77
Setbacks and Build-to-lines (see 2.0.1 and 2.0.2)	60 FT >60 FT
Front Setback	18 FT MAX 24 FT MAX
Corner Setbacks	12 FT 12 FT
Rear Setbacks	25 FT 25 FT
Right Side Setbacks	5 FT 5 FT
Left Side Setback	5 FT 5 FT
Watershed Information (see 2.0.1 and 2.0.2)	No
Property in a regulated watershed district?	N/A
Watershed District	N/A
Low Density/High Density	N/A
Stream Watershed	Clarke

IMPERVIOUS AREA CHART			
ROADS (SQ FT)	SIDEWALKS (SQ FT)	LOTS (SQ FT)	PERCENT IMPERVIOUS
127,540	58,120	675,537	64.68%

* BUA RESERVE SHALL BE A MINIMUM OF 150 SQ FT OR 1% OF THE LOT AREA, WHICHEVER IS GREATER

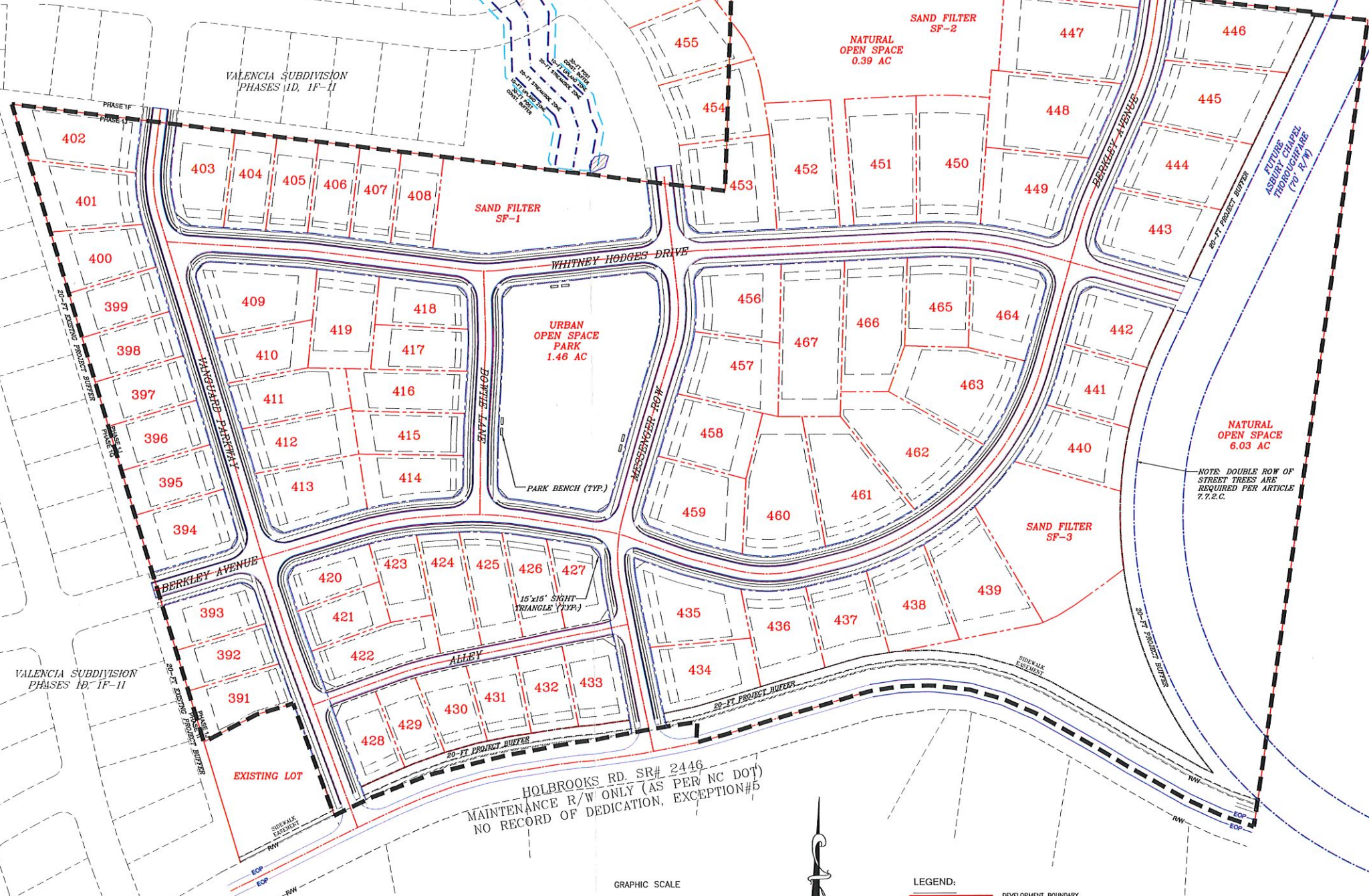
BLOCK LENGTH TABLE		
BLOCK	DESCRIPTION	LENGTH
WHITNEY HODGES DRIVE	VANGUARD PKWY TO BOWTIE LANE	454 FT
WHITNEY HODGES DRIVE	BOWTIE LANE TO MESSENGER ROW	271 FT
WHITNEY HODGES DRIVE	MESSENGER ROW TO BERKLEY AVENUE	570 FT
WHITNEY HODGES DRIVE	BERKLEY AVENUE TO END OF PHASE	165 FT
BOWTIE LANE	BERKLEY AVENUE TO WHITNEY HODGES DRIVE	580 FT
MESSENGER ROW	PHASE 1F TO WHITNEY HODGES DRIVE	109 FT
MESSENGER ROW	WHITNEY HODGES DRIVE TO BERKLEY AVENUE	413 FT
MESSENGER ROW	BERKLEY AVENUE TO HOLBROOKS ROAD	315 FT
VANGUARD PARKWAY	PHASE 1F TO WHITNEY HODGES DRIVE	182 FT
VANGUARD PARKWAY	WHITNEY HODGES DRIVE TO BERKLEY AVENUE	470 FT
VANGUARD PARKWAY	BERKLEY AVENUE TO ALLEY	213 FT
VANGUARD PARKWAY	ALLEY TO HOLBROOKS ROAD	186 FT
BERKLEY AVENUE	PHASE 1G TO VANGUARD PARKWAY	161 FT
BERKLEY AVENUE	VANGUARD PARKWAY TO BOWTIE LANE	319 FT
BERKLEY AVENUE	BOWTIE LANE TO MESSENGER ROW	200 FT
BERKLEY AVENUE	MESSENGER ROW TO WHITNEY HODGES DRIVE	895 FT
BERKLEY AVENUE	MIAMI BLUFF TO PHASE 1H	419 FT
ALLEY	VANGUARD PARKWAY TO MESSENGER ROW	465 FT
TOTAL		6,377 FT

* BLOCK LENGTH WAIVER HAS BEEN SUBMITTED FOR MIAMI DRIVE

LOT CHART		APPROXIMATE	
PHASE	60'+	90'+	TIME FRAME
1J	19	3	2017-2018
TOTAL	19	3	77

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VALENCIA SUBDIVISION
PHASE 1J
HUNTERSVILLE, NORTH CAROLINA
BY
BOWMAN DEVELOPMENT GROUP
13815 CINNABAR PLACE
HUNTERSVILLE, NORTH CAROLINA 28078
(704) 875-9704

Project Number: 17-17-001
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24/05/17 PER TOH & MECK. COUNTY

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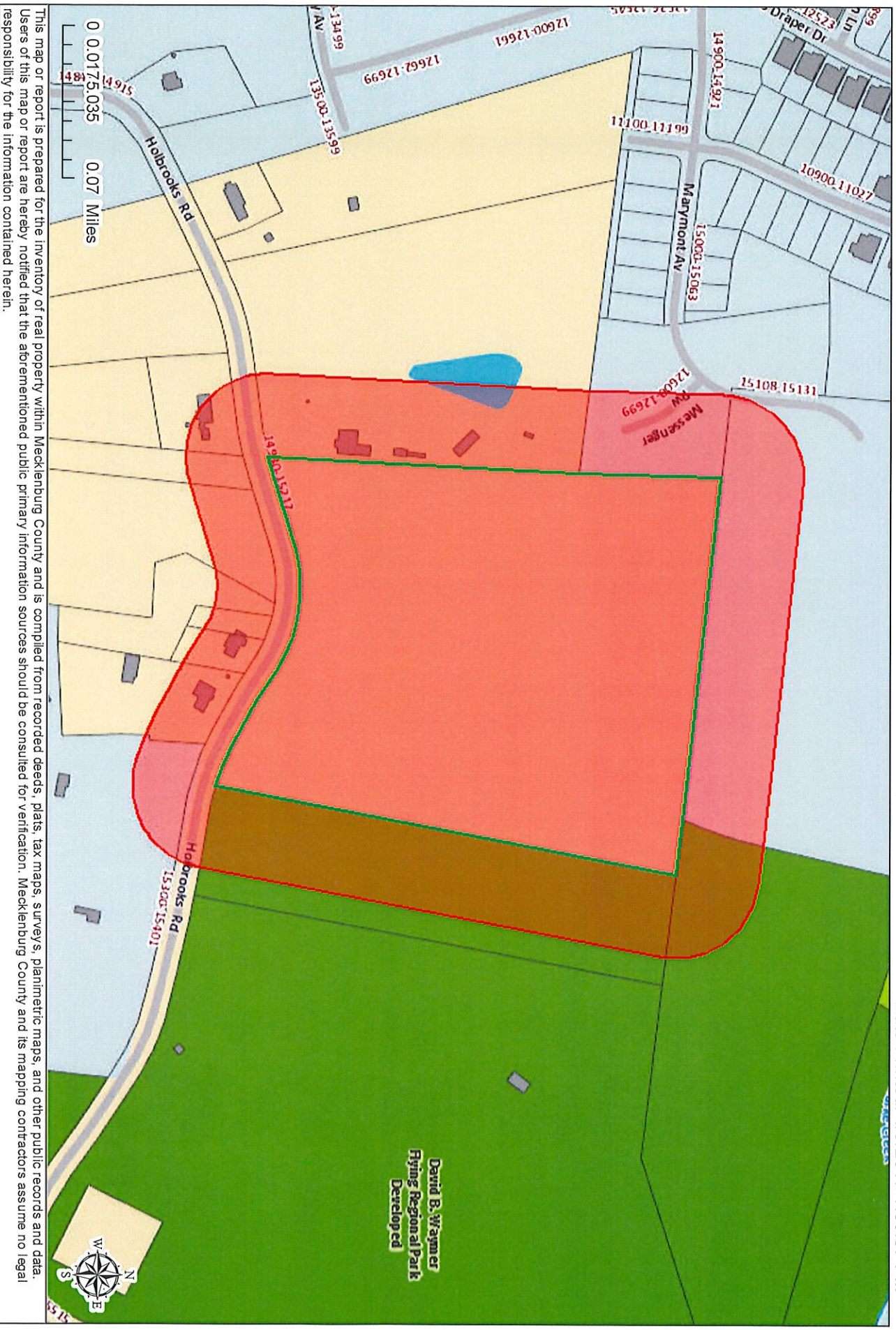
Overall
Site
Plan

Sheet No:

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Polaris 3G Map – Mecklenburg County, North Carolina

Date Printed: 4/5/2017 1:39:37 PM



MECKLENBURG COUNTY, NC POLARIS 3G DEED REPORT

Date Printed: 04/05/2017

Buffer Distance: 250 Feet

No	Parcel ID	Owner Name	Mailing Address	Legal Description	Deed Book	Deed Page	Land Area
1	01910102	1. C&D MANAGEMENT CO LLC,	19141 W CATAWBA AVE CORNELIUS NC 28031	NA	25230	719	129.58 AC
2	01910109	1. GREENWAY WASTE SOLUTIONS AT NORTH MECK LLC,	19109 W CATAWBA AVE STE 200 CORNELIUS NC 28031	M1481-311 &STRIP	26440	914	1.993 AC
3	01910110	1. GREENWAY WASTE SOLUTIONS AT NORTH MECK LLC,	19109 W CATAWBA AVE STE 200 CORNELIUS NC 28031	NA	26440	914	0.38 AC
4	01910111	1. GREENWAY WASTE SOLUTIONS AT NORTH MECK LLC,	19109 W CATAWBA AVE STE 200 CORNELIUS NC 28031	NA	26440	914	1.2 AC
5	01910113	1. GREENWAY WASTE SOLUTIONS AT NORTH MECK LLC,	19109 W CATAWBA AVE STE 200 CORNELIUS NC 28031	NA	26440	914	6.29 AC
6	01910114	1. GREENWAY WASTE SOLUTIONS LLC,	19141 W CATAWBA AVE CORNELIUS NC 28031	NA	30832	937	1.29 AC
7	01910115	1. GREENWAY WASTE SOLUTIONS LLC,	19141 W CATAWBA AVE CORNELIUS NC 28031	NA	30832	937	1.03 AC
8	01910118	1. GREENWAY WASTE SOLUTIONS AT NORTH MECK LLC,	19109 W CATAWBA AVE STE 200 CORNELIUS NC 28031	NA	26440	914	0.24 AC
9	01920313	1. MERCADO, DELIA 2.MERCADO, LAURO	15035 HOLBROOKS RD HUNTERSVILLE NC 28078	NA	13987	832	11.318 AC
10	01920313	1. MERCADO, DELIA 2.MERCADO, LAURO	15035 HOLBROOKS RD HUNTERSVILLE NC 28078	NA	13987	832	11.318 AC
11	01927113	1. SOUTHSIDE NEIGHBORHOOD LLC,	13815 CINNABAR PL HUNTERSVILLE NC 28078	NA	29109	546	3.9 AC
12	01937101	1. BOWMAN DEVELOPMENT GROUP INC,	13815 CINNABAR PL HUNTERSVILLE NC 28078	NA	31509	118	21.156 GIS Acres
13	01937104	1. MECKLENBURG COUNTY, 2.C/O REAL ESTATE /FINANCE DEPT,	600 E 4TH ST 11TH FLOOR CHARLOTTE NC 28202	NA	06460	243	12.337 AC
14	01937105	1. SOUTHSIDE NEIGHBORHOOD LLC,	13815 CINNABAR PL HUNTERSVILLE NC 28078	NA	31509	112	14.493 AC

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MECKLENBURG COUNTY, NC POLARIS 3G DEED REPORT

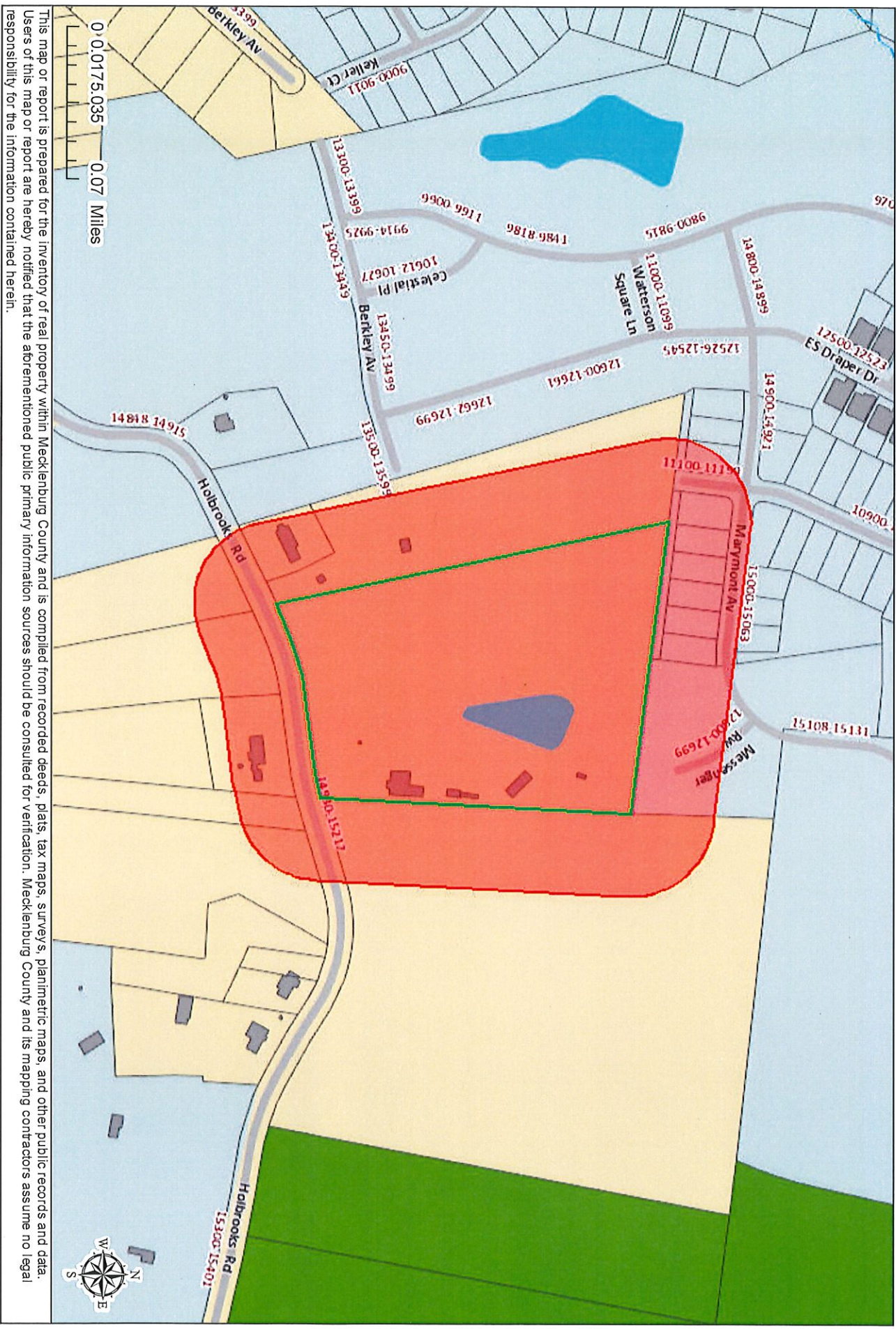
Date Printed: 04/05/2017

Buffer Distance: 250 Feet

No	Parcel ID	Owner Name	Mailing Address	Legal Description	Deed Book	Deed Page	Land Area
15	01937199	1. MECKLENBURG COUNTY, 2.C/O REAL ESTATE /FINANCE DEPT,	600 E 4TH ST 11TH FLOOR CHARLOTTE NC 28202	M1481-311	25754	891	7.264 AC

Polaris 3G Map – Mecklenburg County, North Carolina

Date Printed: 4/5/2017 1:42:11 PM



MECKLENBURG COUNTY, NC POLARIS 3G DEED REPORT

Date Printed: 04/05/2017

Buffer Distance: 200 Feet

No	Parcel ID	Owner Name	Mailing Address	Legal Description	Deed Book	Deed Page	Land Area
1	01910101	1. GREENWAY WASTE SOLUTIONS AT NORTH MECK LLC,	19109 W CATAWBA AVE STE 200 CORNELIUS NC 28031	NA	27969	257	2.89 AC
2	01910107	1. GREENWAY WASTE SOLUTIONS AT NORTH MECK LLC,	19109 W CATAWBA AVE STE 200 CORNELIUS NC 28031	NA	30766	773	2.98 AC
3	01910113	1. GREENWAY WASTE SOLUTIONS AT NORTH MECK LLC,	19109 W CATAWBA AVE STE 200 CORNELIUS NC 28031	NA	26440	914	6.29 AC
4	01910114	1. GREENWAY WASTE SOLUTIONS LLC,	19141 W CATAWBA AVE CORNELIUS NC 28031	NA	30832	937	1.29 AC
5	01910115	1. GREENWAY WASTE SOLUTIONS LLC,	19141 W CATAWBA AVE CORNELIUS NC 28031	NA	30832	937	1.03 AC
6	01920312	1. BOWMAN DEVELOPMENT GROUP INC,	13815 CINNABAR PL HUNTERSVILLE NC 28078	L1 M59-478	28813	363	0.58 AC
7	01920313	1. MERCADO, DELIA 2.MERCADO, LAURO	15035 HOLBROOKS RD HUNTERSVILLE NC 28078	NA	13987	832	11.318 AC
8	01920313	1. MERCADO, LAURO 2.MERCADO, DELIA	15035 HOLBROOKS RD HUNTERSVILLE NC 28078	NA	13987	832	11.318 AC
9	01920320	1. SOUTHSIDE NEIGHBORHOOD LLC,	13815 CINNABAR PL HUNTERSVILLE NC 28078	M59-478	30977	917	5.37 AC
10	01927113	1. SOUTHSIDE NEIGHBORHOOD LLC,	13815 CINNABAR PL HUNTERSVILLE NC 28078	NA	29109	546	3.9 AC
11	01927138	1. AVH CAROLINAS LLC,	10635 DEVONSHIRE DR HUNTERSVILLE NC 28078	L248 M59-950	31527	229	0.2 AC
12	01927139	1. AVH CAROLINAS LLC,	10635 DEVONSHIRE DR HUNTERSVILLE NC 28078	L249 M59-950	31527	229	0.2 AC
13	01927140	1. AVH CAROLINAS LLO,	5615 POTTER RD MATTHEWS NC 28104	L250 M59-950	31646	233	0.2 AC
14	01927141	1. AVH CAROLINAS LLC,	5615 POTTER RD MATTHEWS NC 28104	L251 M59-950	31646	233	0.2 AC
15	01927142	1. AVH CAROLINAS LLC,	5615 POTTER RD MATTHEWS NC 28104	L252 M59-950	31646	233	0.2 AC
16	01927143	1. AVH CAROLINAS LLC,	5615 POTTER RD MATTHEWS NC 28104	L253 M59-950	31646	233	0.24 AC

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MECKLENBURG COUNTY, NC POLARIS 3G DEED REPORT

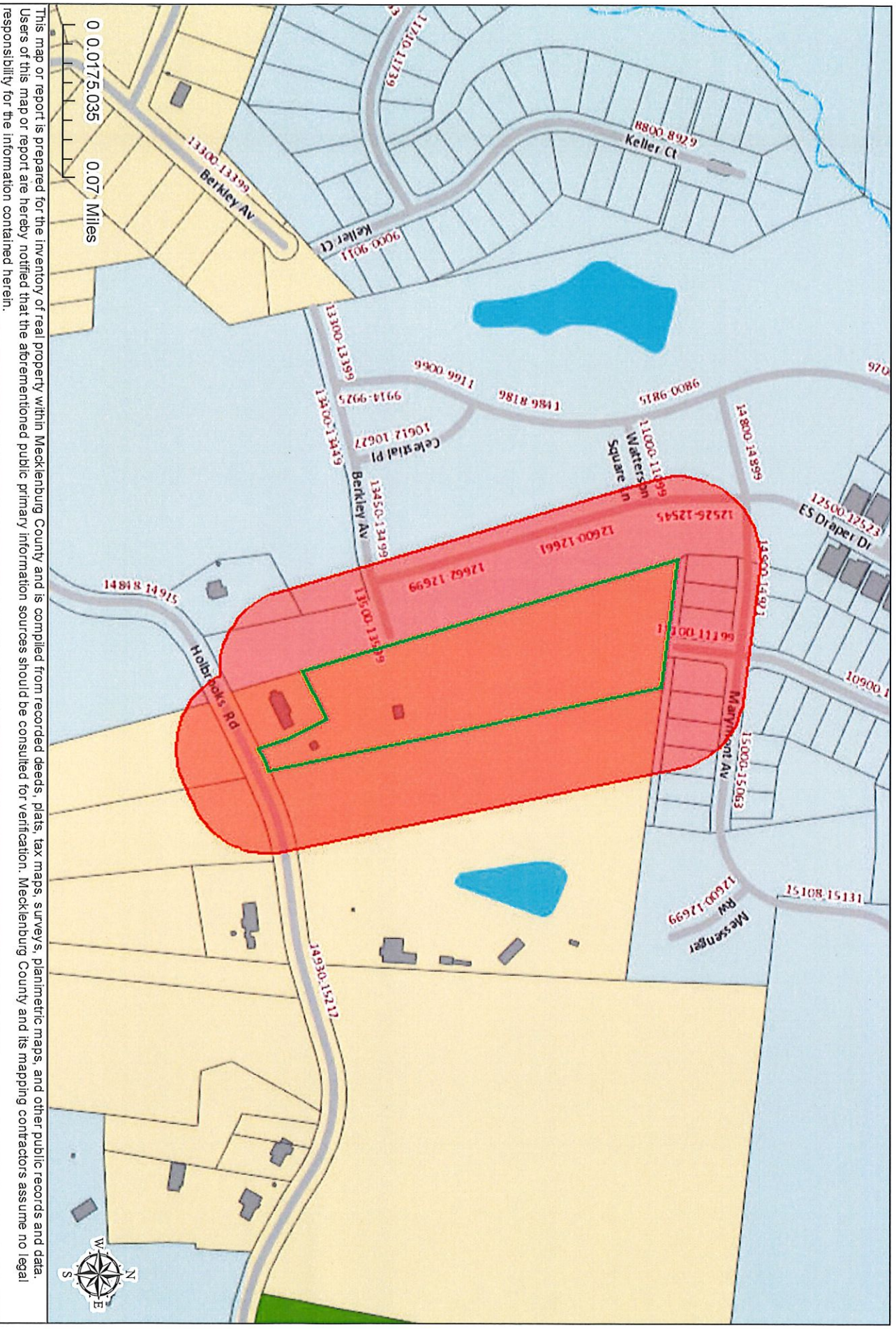
Date Printed: 04/05/2017

Buffer Distance: 200 Feet

No	Parcel ID	Owner Name	Mailing Address	Legal Description	Deed Book	Deed Page	Land Area
17	01927144	1. AVH CAROLINAS LLC,	5615 POTTER RD MATTHEWS NC 28104	L254 M59-950	31646	233	0.22 AC
18	01927174	1. SOUTHSIDE NEIGHBORHOOD LLC,	13815 CINNABAR PL HUNTERSVILLE NC 28078	COS M59-950	29109	546	0.09 AC
19	01927175	1. SOUTHSIDE NEIGHBORHOOD LLC,	13815 CINNABAR PL HUNTERSVILLE NC 28078	COS M59-950	29109	546	0.19 AC
20	01927524	1. AVH CAROLINAS LLC,	10635 DEVONSHIRE DR HUNTERSVILLE NC 28078	L244 M59-950	31316	15	0.26 AC
21	01927525	1. SOUTHSIDE NEIGHBORHOOD LLC,	13815 CINNABAR PL HUNTERSVILLE NC 28078	L245 M59-950	29109	546	0.18 AC
22	01937101	1. BOWMAN DEVELOPMENT GROUP INC,	13815 CINNABAR PL HUNTERSVILLE NC 28078	NA	31509	118	21.156 GIS Acres

Polaris 3G Map – Mecklenburg County, North Carolina

Date Printed: 4/5/2017 1:44:39 PM



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MECKLENBURG COUNTY, NC POLARIS 3G DEED REPORT

Date Printed: 04/05/2017

Buffer Distance: 200 Feet

No	Parcel ID	Owner Name	Mailing Address	Legal Description	Deed Book	Deed Page	Land Area
1	01910101	1. GREENWAY WASTE SOLUTIONS AT NORTH MECK LLC,	19109 W CATAWBA AVE STE 200 CORNELIUS NC 28031	NA	27969	257	2.89 AC
2	01910107	1. GREENWAY WASTE SOLUTIONS AT NORTH MECK LLC,	19109 W CATAWBA AVE STE 200 CORNELIUS NC 28031	NA	30766	773	2.98 AC
3	01910116	1. TOWN OF HUNTERSVILLE,	PO BOX 66428070 HUNTERSVILLE NC 28070	NA	25768	519	41.29 AC
4	01920312	1. BOWMAN DEVELOPMENT GROUP INC,	13815 CINNABAR PL HUNTERSVILLE NC 28078	L1 M59-478	28813	363	0.58 AC
5	01920313	1. MERCADO, DELIA 2.MERCADO, LAURO	15035 HOLBROOKS RD HUNTERSVILLE NC 28078	NA	13987	832	11.318 AC
6	01920313	1. MERCADO, LAURO 2.MERCADO, DELIA	15035 HOLBROOKS RD HUNTERSVILLE NC 28078	NA	13987	832	11.318 AC
7	01920314	1. SOUTHSIDE NEIGHBORHOOD LLC,	13815 CINNABAR PL HUNTERSVILLE NC 28078	N/A	27901	774	0.951 GIS Acres
8	01920315	1. C&D MANAGEMENT COMPANY LLC,	19141 W CATAWBA AVE CORNELIUS NC 28031	NA	25629	675	12.6 AC
9	01920320	1. SOUTHSIDE NEIGHBORHOOD LLC,	13815 CINNABAR PL HUNTERSVILLE NC 28078	M59-478	30977	917	5.37 AC
10	01927101A	1. SOUTHSIDE NEIGHBORHOOD LLC,	13815 CINNABAR PL HUNTERSVILLE NC 28078	NA	29657	787	22.91 AC
11	01927101B	1. SOUTHSIDE NEIGHBORHOOD LLC,	13815 CINNABAR PL HUNTERSVILLE NC 28078	NA	29657	787	4.44 AC
12	01927139	1. AVH CAROLINAS LLC,	10635 DEVONSHIRE DR HUNTERSVILLE NC 28078	L249 M59-950	31527	229	0.2 AC
13	01927140	1. AVH CAROLINAS LLO,	5615 POTTER RD MATTHEWS NC 28104	L250 M59-950	31646	233	0.2 AC
14	01927141	1. AVH CAROLINAS LLC,	5615 POTTER RD MATTHEWS NC 28104	L251 M59-950	31646	233	0.2 AC
15	01927142	1. AVH CAROLINAS LLC,	5615 POTTER RD MATTHEWS NC 28104	L252 M59-950	31646	233	0.2 AC
16	01927143	1. AVH CAROLINAS LLC,	5615 POTTER RD MATTHEWS NC 28104	L253 M59-950	31646	233	0.24 AC
17	01927144	1. AVH CAROLINAS LLC,	5615 POTTER RD MATTHEWS NC 28104	L254 M59-950	31646	233	0.22 AC

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18	01927145	1. AVH CAROLINAS LLC,	5615 POTTER RD MATTHEWS NC 28104	L255 M59-950	31646	233	0.18 AC
19	01927146	1. AVH CAROLINAS LLC,	10635 DEVONSHIRE DR HUNTERSVILLE NC 28078	L256 M59-950	31316	15	0.09 AC
20	01927174	1. SOUTHSIDE NEIGHBORHOOD LLC,	13815 CINNABAR PL HUNTERSVILLE NC 28078	COS M59-950	29109	546	0.09 AC
21	01927175	1. SOUTHSIDE NEIGHBORHOOD LLC,	13815 CINNABAR PL HUNTERSVILLE NC 28078	COS M59-950	29109	546	0.19 AC
22	01927524	1. AVH CAROLINAS LLC,	10635 DEVONSHIRE DR HUNTERSVILLE NC 28078	L244 M59-950	31316	15	0.26 AC
23	01927540	1. SOUTHSIDE NEIGHBORHOOD LLC,	13815 CINNABAR PL HUNTERSVILLE NC 28078	L232 M59-950	29109	546	0.18 AC
24	01927541	1. AVH CAROLINAS LLC,	10635 DEVONSHIRE DR HUNTERSVILLE NC 28078	L233 M59-950	31316	15	0.25 AC



February 2, 2017

Southside Neighborhool, LLC
13815 Cinnabar Pl.
Huntersville, NC 28078

Re: Adequate Public Facilities (APF) Application – Valencia J (File #2017-01)

Dear Mr. Bowman:

The Town has completed its review of the above referenced APF Application and deemed it to be complete, per Article 13.6.3 of the Zoning Ordinance. Based upon your request for an allocation of capital facilities for the above-referenced development proposal, consisting of 71 Single-family homes. I am issuing a "Determination of Adequacy (DOA)" for the following public facilities:

- Fire Vehicles
- Fire Facilities
- Police Facilities
- Police Vehicles

Please be advised that this DOA is valid for one (1) year, or until February 2, 2018, by which date this development proposal must have achieved vesting, per Section 2.2 of the Zoning Ordinance.

Please feel free to contact me with any questions @ brichards@huntersville.org or by phone: (704) 766-2218.

Sincerely,

Brian Richards

Brian Richards
GIS Administrator

Cc: Jack Simoneau, AICP, Planning Director
Gerry Vincent, Assistant Town Manager
Robert Blythe, Town Attorney
Alison Adams, Planner

Town of Huntersville: Sherrill Subdivision

RECOMMENDATION

We have the following comments that are critical to CMS' support of this petition:

Adequacy of existing school capacity in this area is a significant problem. We are particularly concerned about rezoning cases where school utilization exceeds 100% since the proposed development will exacerbate this situation. Approval of this petition will increase overcrowding and/or reliance upon mobile classrooms at the schools listed below.

CMS recommends the petitioner schedule a meeting with staff to discuss any opportunities that the petitioner/developer may propose to improve the adequacy of school capacity in the immediate area of the proposed development.

TOTAL IMPACT FROM PROPOSED DEVELOPMENT

Proposed Housing Units: 77 single- family lot subdivision off of Holbrooks Road under NR(CD) zoning.

CMS Planning Area: 4, 17, 18, 19

Average Student Yield per Unit: 0.4905

This development will add 38 students to the schools in this area.

The following data is as of 20th Day of the 2016-17 school year.

<i>Schools Affected</i>	<i>Total Classroom Teachers</i>	<i>Building Classrooms/ Teacher Stations</i>	<i>20th Day, Enrollment (non-ec)</i>	<i>Building Classroom/Adjusted Capacity (Without Mobiles)</i>	<i>20th Day, Building Utilization (Without Mobiles)</i>	<i>Additional Students As a result of this development</i>	<i>Utilization As of result of this development (Without Mobiles)</i>
BLYTHE ELEMENTARY	67.5	50	1101	816	135%	20	137%
J.M. ALEXANDER MIDDLE	38.7	51	763	1006	76%	8	77%
NORTH MECKLENBURG HIGH	117.5	108	2193	2016	109%	10	109%

Town of Huntersville
REQUEST FOR BOARD ACTION
7/17/2017

REVIEWED:

To: The Honorable Mayor and Board of Commissioners
From: David Peete, AICP, Principal Planner
Subject: Bryton - Lot 2 Outparcels Sketch Plan

Sketch Plan: A proposed Sketch Plan for 3.84-acres to create 6 lots zoned HC-CD. The parcels would be for commercial uses and located abutting Preysing St., Cane Creek Dr., and Bryton Town Center Dr. Property is vacant, with some parking.

ACTION RECOMMENDED:

Final Action on July 17, 2017

FINANCIAL IMPLICATIONS:

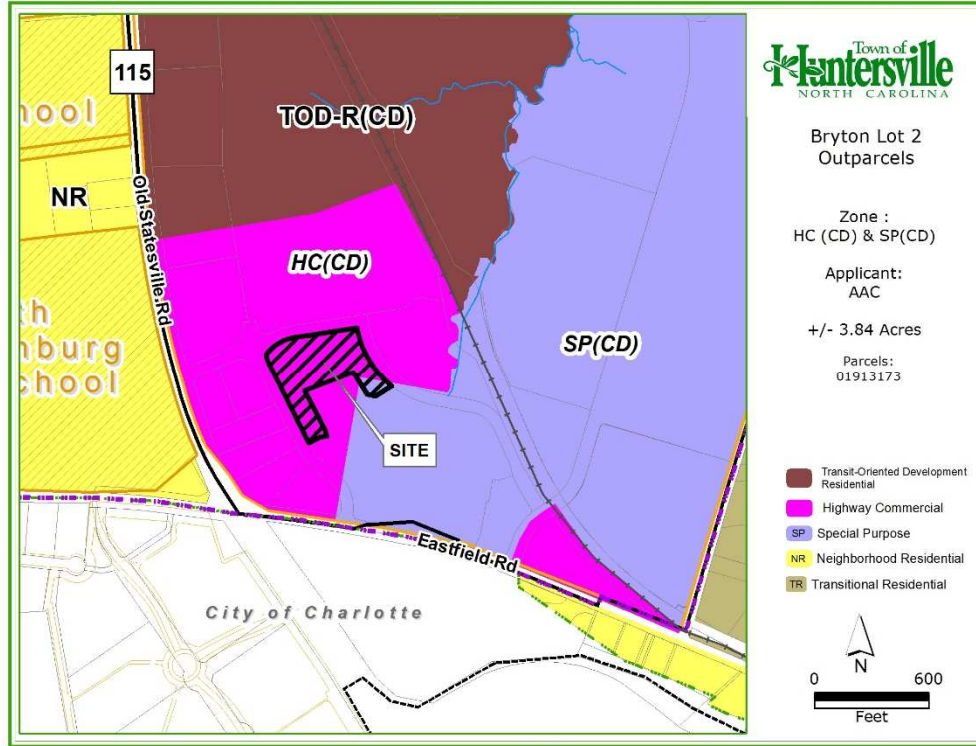
TBD

ATTACHMENTS:

Description	Type
□ Bryton - Lot 2 Outparcels Staff Report (TB)	Cover Memo
□ Attachment A - Sketch Plan Application	Exhibit
□ Attachment B - Subdivision Sketch Plan	Exhibit
□ Attachment C - Neighborhood Mtg Report	Exhibit
□ Attachment D - Wal-Mart Subdivision Sketch Plan	Exhibit

Bryton – Lot 2 Outparcels Sketch Plan

PART 1: PROJECT SUMMARY



Applicant: American Asset Corp.

Property Owner: American Asset Corp.

Property Address: Abuts Preysing St., Cane Creek Dr. & Bryton Town Center Dr.

Project Size: 3.84-acres

Parcel Number: 019-13-173.

Current Zoning: Highway Commercial Conditional District (HC-CD)

Current Land Use: vacant, some parking.

Application is Attachment A and Site Plan is Attachment B.

PART 2: SITE PLAN DESCRIPTION AND ISSUES

- Adjoining Zoning and Land Uses
North: Transit Oriented Development-R Conditional District (TOD-R-CD) – vacant property.
South: Highway Commercial Conditional District (HC-CD) & Special Use Conditional District (SP-CD) – commercial (Wal-Mart).
East: Transit Oriented Development-R Conditional District (TOD-R-CD) – Storm water BMP
West: Highway Commercial Conditional District (HC-CD – Commercial (Sam's Carwash, Bojangles & McDonald's)
- A neighborhood meeting was held on April 24, 2017. The meeting summary is provided (Attachment C).
- In 2005, an illustrative plan for this property was approved as part of the overall Bryton Conditional District rezoning. The rezoning plan allows for 1,000,000 square feet of commercial and this subdivision will not exceed the permitted amount.
- In addition, in June 2011, a sketch plan was approved for Wal-Mart, which left this Lot to be reviewed as a commercial site plan at a later date. However, since the applicant intends to convert one (1) lot into six (6) new lots, this subdivision sketch plan is required (Attachment D).
- The proposed subdivision has 6 lots on 3.84-acres, with lots ranging in size from 4,800 sq. ft. to 10,200 sq. ft.

6. There are no trees on the site, as it was cleared for partial use by the adjoining Wal-Mart. Furthermore, Bryton is permitted 100% tree clearing as they may pay into a tree bank for use at a later time.
7. A water quality concept plan is being reviewed by Mecklenburg County Engineering (LUESA), and their approval is required. The applicant is proposing several sand filters (a water quality measure) throughout the subdivision.
8. A “Willingness to Serve” letter from Charlotte Water is required and has not been provided.
9. For Urban Open Space, a (min.) 2,000 square feet plaza is proposed in the northwest corner of the subdivision. This is part of a “quadrant” urban open space design that has been planned around the traffic circle at Preysing Street and Cane Creek Drive. The location and minimum size of the Urban Open Space is compliant with the zoning ordinance and full design of the space is not required until Preliminary Plan review. However, the general theme and design of the plaza for this subdivision will complement the plaza on the quadrant to the west of this property (see Sketch Sheet C-4).

PART 3: TRANSPORTATION ISSUES

A Traffic Impact Analysis (TIA) was prepared by Kimley-Horn Associates as part of the overall Bryton Development in 2006.

Nearby Improvements.

Numerous road improvements have been completed. Improvements with an impact on this proposed subdivision include the construction of Preysing Street, Cane Creek Drive and Bryton Town Center Drive.

Cross Sections and Future Road Connections.

No street cross-sections are required for this subdivision, as no new streets are proposed to be built. The adjoining public streets have all been fully constructed and include 7 ft. green zones (planting strips), 10 ft. sidewalks and curb and gutter. No future road connections are proposed, as all surrounding public streets are complete. No additional off-site road improvements are required for this proposed Sketch Plan.

PART 4: PLANNING STAFF ANALYSIS

Section 6.200 of the Subdivision Ordinance outlines the “general requirements and policies to be used in the design, review, and approval” of subdivisions in the Town of Huntersville. The following staff findings are provided for the Board’s consideration of the Bryton – Lot 2 Outparcels Subdivision Sketch Plan.

1. Consistency with adopted public plans and policies.

There is no small area plan to reference for this subdivision, however, due to its size; the Bryton Conditional District Rezoning Plan represents a comprehensive, long-term guide for development of this acreage. The proposed subdivision sketch plan is consistent with the approved conceptual plan.

In addition, the following sections of the 2030 Huntersville Community Plan apply to this request:

- **Policy E-2: Location of New Development.** Avoid locating new development in areas of significant environmental, scenic or cultural resources.
Comment: The proposed Sketch Plan, as stated above, is preserving and locating lots away from Cane Creek in order to preserve as well as provide recreational opportunities via a future greenway.
- **Policy T-6: Pedestrian Connections.** Support the installation of sidewalks, bikeways and greenway trails connecting residential, commercial, employment, recreational and institutional uses.
Comment: All surrounding public streets have sidewalks on both sides and the proposed subdivision sketch plan has several pedestrian connections to the public streets.

- **Policy T-8: Street Connectivity.** Promote and require street connectivity in the Town of Huntersville among residential, commercial, employment, recreational and institutional uses.
Comment: The proposed subdivision is surrounded on three (3) sides by existing public streets.
- **Policy PF-2: Adequate Public Facilities Ordinance (APFO).** Continue use of “Adequate Public Facilities Ordinance (APFO)” to ensure that demand generated by existing and future growth and development for police, fire and parks & recreation capital facilities can be met by available supply of facilities.
Comment: An APFO application was not required, as all of Bryton – as originally approved in 2005 / 2006, was accounted for in the original “baseline” APFO level of service for the Town.

2. Conformity.

The proposed commercial lots are adjacent to Wal-Mart and several small-lot commercial uses (Bojangles, McDonalds & a car wash) No other development exists adjacent to this property, therefore, there are no conformity issues.

3. Access Between Adjoining Properties.

The proposed subdivision will have two (2) curb-cuts onto existing public streets and a cross-access easement shared by the adjoining parcel (Wal-Mart).

4. Relation to topography.

The site for the proposed subdivision was graded flat when Wal-Mart was constructed. No additional issues exist.

5. Mature trees and natural vegetation.

The proposed project is not required to save tree canopy, as Bryton has 100 percent coverage ability, but must – over the entire project – save the required percentage of trees. This requirement is being met.

6. Access to parks, schools, etc.

Not Applicable.

7. Discourage through traffic.

All surrounding public streets are appropriately sized for commercial traffic, and the on-street parking along the interior drives should discourage some cut-through traffic.

8. Relationship to railroad rights-of-way.

Not Applicable.

9. Half streets.

Not Applicable.

10. Parallel streets along thoroughfares.

Not Applicable.

11. Public School and Public Park Sites

The parcels associated with Bryton – Lot 2 Outparcel Subdivision have not been identified for a school or park site.

12. Public Facilities

The parcels associated with Bryton – Lot 2 Outparcels Subdivision have not been identified for a public facility.

13. Proposed street names

No new streets are proposed, as Lot 2 abuts three (3) public streets. Therefore, no street names are required.

14. Easements.

Easements have been identified and the plans have been sent to the respective Engineering and Utility Departments.

15. Proposed water and sewerage system.

Water and sewer will need to be extended to the development. A “Willingness to Serve” letter from Charlotte Water is required and has not been provided.

16. Restrictions on the subdivision of land subject to flooding.

No floodplain has been identified on this site.

17. Reserved.

18. Open Space

The proposed development complies with open space requirements.

19. Impact of Development on Public Facilities

Under the provisions of the APF Ordinance, all residential development greater than twenty (20) lots are required to receive a “Determination of Adequacy (DOA)” for the following public facilities: fire vehicles, fire station, police station, police vehicles, indoor park and recreation facilities, parks acreage. An APFO application was not required, as all of Bryton – as originally approved in 2005 / 2006, was accounted for in the original “baseline” APFO level of service for the Town.

PART 5: STAFF RECOMMENDATION

Town Staff has reviewed the proposed Sketch plan and finds the application complete.

There are a few site plan issues that need to be addressed which include:

- Buildings on Lots 2-D & 2-E need to address the intersection. Staff discussing options with applicant on building placement, which can be decided at Preliminary Plan review.
- Provide “Willingness to Serve” letter from Charlotte Water.
- Minor comments to the notes of the site plan

Once the above items are addressed, staff can recommend approval of the proposed Sketch plan.

PART 6: PLANNING BOARD RECOMMENDATION

Planning Board meeting was held on June 27, 2017, and a motion to recommend approval subject to all of staff’s concerns being addressed (as listed in Part 5, above) passed by unanimous (9-0) vote. Included in the Motion to Approve: The application is complete, and complies with all applicable requirements pending addressing intersections for Lots 2D and 2E in regards to the intersections, also pending a Willingness-to-Serve letter provided by Charlotte Water. It is in the public interest in regards to helping Bryton fulfill its potential.

Included in the amended Motion: To indicate that minor comments to the notes on the site plan should be completed to the staff's satisfaction.

PART 7: ATTACHMENTS AND ENCLOSURES

Attachments

- A - Application
- B - Bryton – Lot 2 Outparcel Sketch Plan
- C - Neighborhood Meeting Summary
- D – 2011 Wal-Mart Subdivision Sketch Plan.

PART 8: DECISION STATEMENTS

In considering whether to approve an application for a subdivision sketch plan, the Planning and Town Board must complete the following (a full version can be found in [Section 6.320.5](#) of the Subdivision Ordinance).

- Is the application complete (lacking any particular requirement)? *If no member of the Board moves that the application is incomplete, then this inaction is taken as an affirmative finding that the application is complete.*
- Does the application comply with all the applicable requirements? *A statement must be made that the application complies or does not comply that includes the support documentation of the particular motion.*
- Lastly, the Board must make a motion to approve or deny based on the previous statements.



General Application

Incomplete submissions will not be accepted. Please check all items carefully.

1. Application Type

Please indicate the type of application you are submitting. If you are applying for two (2) actions, provide a separate application for each action. **In addition to the application, the submission process for each application type can be found at**

<http://www.huntersville.org/Departments/Planning/PermitsProcess.aspx>

- ☐ CHANGE OF USE
- ☐ COMMERCIAL SITE PLAN
- ☐ CONDITIONAL REZONING
- ☐ GENERAL REZONING
- ☐ MASTER SIGNAGE PROGRAM
- ☐ REVISION to _____
- ☐ SPECIAL USE PERMIT

SUBDIVISION CATEGORIES: *Per the Huntersville Subdivision Ordinance*

- ☐ SKETCH PLAN
- ☐ PRELIMINARY PLAN
- ☐ FINAL PLAT (includes minor and exempt plats)
- ☐ FINAL PLAT REVISION
- ☐ FARMHOUSE CLUSTER

2. Project Data

Date of Application _____

Name of Project _____ Phase # (if subdivision) _____

Location _____

Parcel Identification Number(s) (PIN) _____

Current Zoning District _____ Proposed District (for rezonings only) _____

Property Size (acres) _____ Street Frontage (feet) _____

Current Land Use _____

Proposed Land Use(s) _____

Is the project within Huntersville's corporate limits?

Yes _____ No _____ If no, does the applicant intend to voluntarily annex? _____

3. Description of Request

Briefly explain the nature of this request. If a separate sheet is necessary, please attach to this application.

4. Site Plan Submittals

Consult the particular type of *Review Process* for the application type selected above. These can be found at: <http://www.huntersville.org/Departments/Planning/PermitsProcess.aspx>.

5. Outside Agency Information

Other agencies may have applications and fees associated with the land development process. The *Review Process* list includes plan documents needed for most town and county reviewing agencies.

For major subdivisions, commercial site plans, and rezoning petitions please enclose a copy of the Charlotte-Mecklenburg Utility *Willingness to Serve* letter for the subject property.

6. Signatures

*Applicant's Signature David Jarrett Printed Name DAVID JARRETT
Address of Applicant 5950 FAIRVIEW RD SUITE 800 CHARLOTTE NC 28210
Email djarrett@aacusa.com

Property Owner's Signature (if different than applicant) _____

Printed Name _____

Property Owner's Address _____ Email _____

* Applicant hereby grants permission to the Town of Huntersville personnel to enter the subject property for any purpose required in processing this application.

Development Firm	Name of contact	Phone	Email
Kimley-Horn	Nathan Tidd, PLA	704-319-5686	nathan.tidd@kimley-horn.com
Design Firm	Name of contact	Phone	Email

If Applying for a General Rezoning:

Please provide the name and Address of owner(s) of fee simple title of each parcel that is included in this rezoning petition. If additional space is needed for signatures, attach an addendum to this application.

If Applying for a Conditional Rezoning:

Every owner of each parcel included in this rezoning petition, or the owner (s) duly authorized agent, must sign this petition. If signed by an agent, this petition **MUST** be accompanied by a statement signed by the property owner (s) and notarized, specifically authorizing the agent to act on the owner (s) behalf in filing this petition. Failure of each owner, or their duly authorized agent, to sign, or failure to include the authority of the agent signed by the property owner, will result in an **INVALID PETITION**. **If additional space is needed for signatures, attach an addendum to this application.**

Signature, name, firm, address, phone number and email of Duly Authorized Agent by owner needed below:

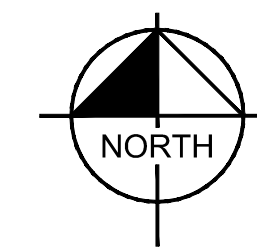
If Applying for a Subdivision:

By signature below, I hereby acknowledge my understanding that the Major Subdivision Sketch Plan Process is a quasi-judicial procedure and contact with the Board of Commissioners shall **only** occur under sworn testimony at the public hearing.

Contact Information

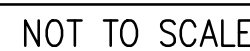
Town of Huntersville	Phone:	704-875-7000
Planning Department	Fax:	704-992-5528
PO Box 664	Physical Address:	105 Gilead Road, Third Floor
Huntersville, NC 28070	Website:	http://www.huntersville.org/Departments/Planning.aspx

Plotted By: Tidd, Nathan_Sheet Set: Bryton_Lot 2_Outparcels_Layout: C-1 COVER SHEET June 08, 2017 10:09:30am K:\CHL_PRL\015272 acc\036 - bryton freestone\02 - DWG\plansheets\C-1 COVER SHEET.dwg



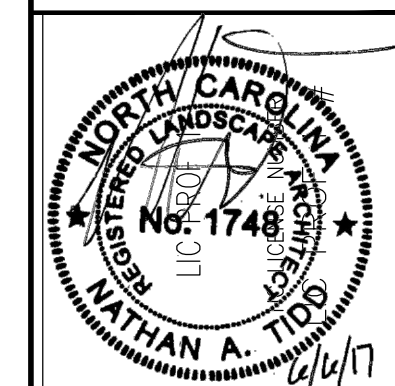
PROJECT LOCATION MAP

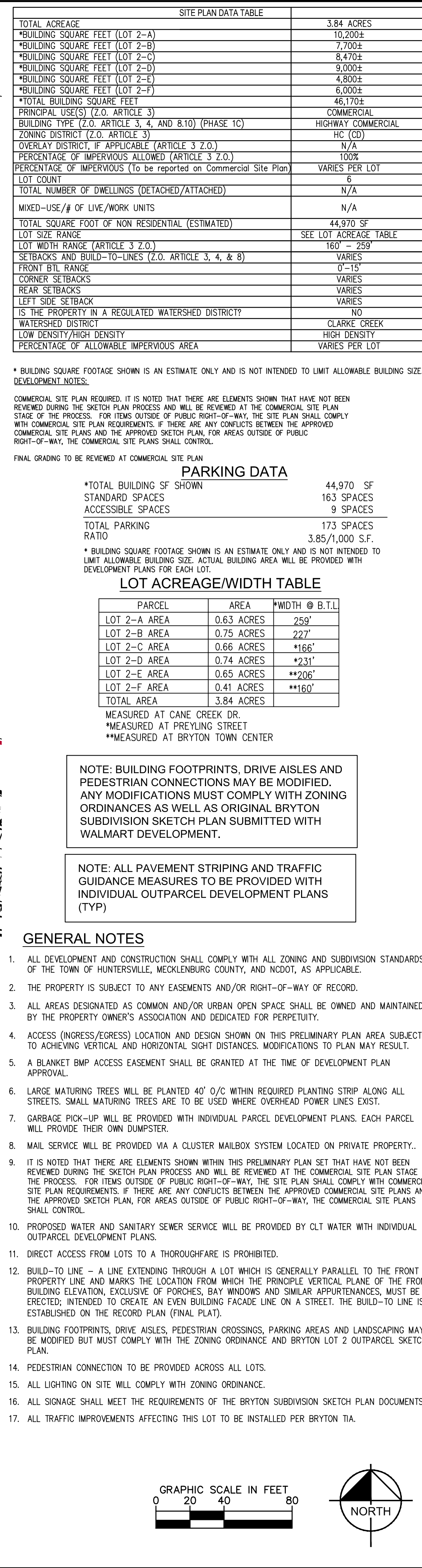
NOT TO SCALE

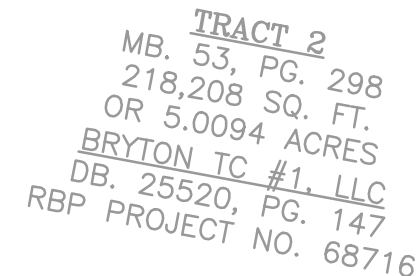


Sheet List Table	
Sheet Number	Sheet Title
C-1	COVER SHEET
C-2	EXISTING FEATURES PLAN
C-3	SKETCH SITE PLAN
C-4	PLAZA DESIGN SKETCHES
C-5	LANDSCAPE SKETCH PLAN
C-6	SKETCH GRADING PLAN

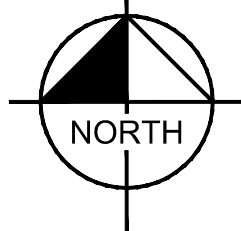
Kimley»»Horn
© 2017 KIMLEY-HORN AND ASSOCIATES, INC.
KIMLEY-HORN NORTH CAROLINA LICENSE #F-0102
300 SOUTH TRYON, SUITE 200, CHARLOTTE, NC 28202
PHONE: 704-333-5131
WWW.KIMLEY-HORN.COM







A diagram showing a black circle representing a valve, with the word "VALVE" written above it and "PIPE" written to its left, intersecting a vertical line representing the pipe.



KHA PROJECT	DATE	SCALE	AS SHOWN	DESIGNED BY	DRAWN BY	CHECKED BY
015272036	2/28/2017					


[illegible]



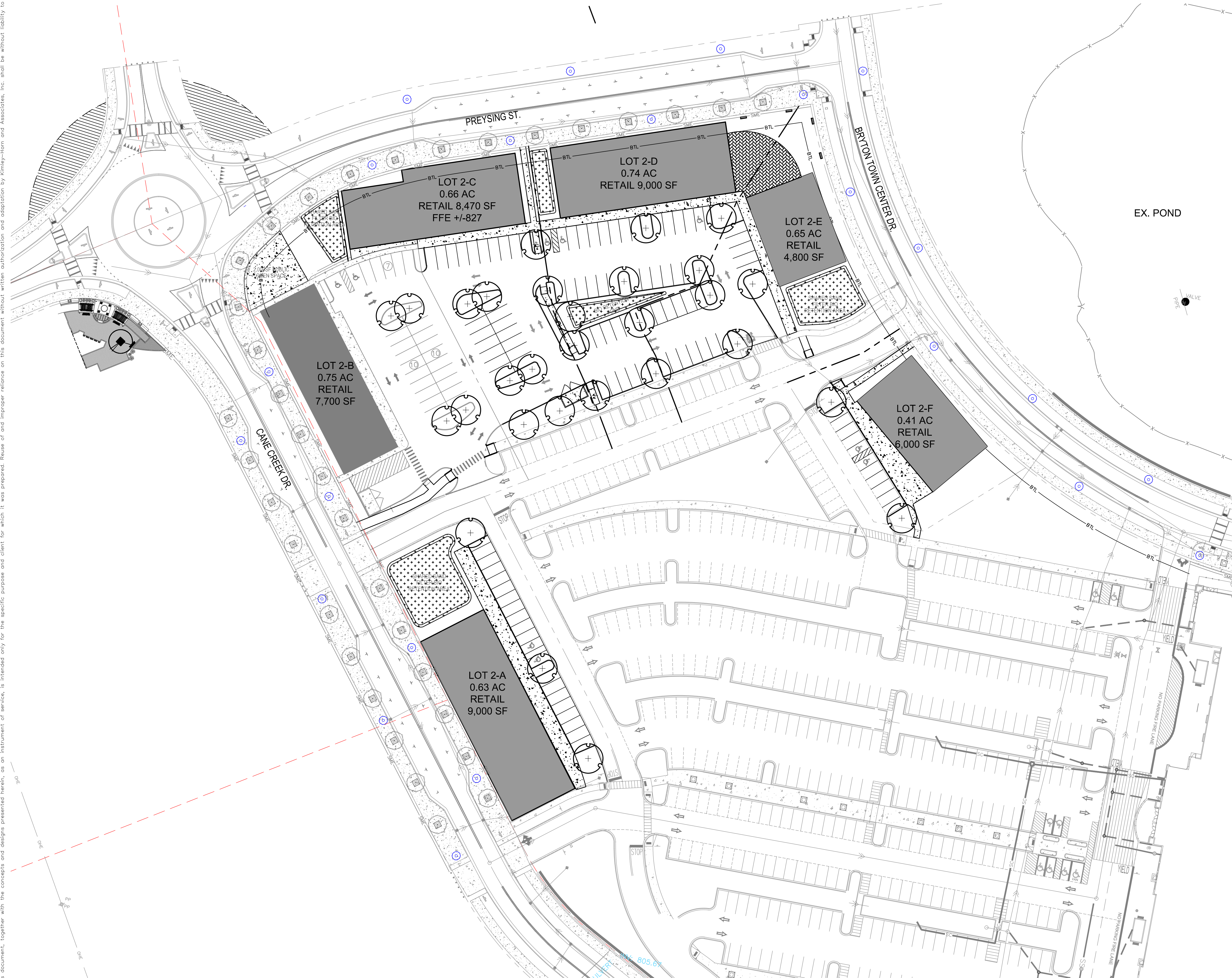
DECORATIVE WALL & PLANTINGS SCHEMATIC DESIGN ELEVATION



DECORATIVE WALL & PLANTINGS SCHEMATIC DESIGN PERSPECTIVE

	SHEET NUMBER	BRYTON LOT 2 OUTPARCELS PREPARED FOR AAC HUNTERSVILLE	NC	PLAZA DESIGN SKETCHES	KHA PROJECT 0152772036 DATE 2 / 28 / 2017 SCALE AS SHOWN DESIGNED BY DRAWN BY CHECKED BY	 2/4/17	Kimley»Horn © 2017 KIMLEY-HORN AND ASSOCIATES, INC. KIMLEY-HORN NORTH CAROLINA LICENSE #F-0102 200 SOUTH TRYON, SUITE 200, CHARLOTTE, NC 28202 PHONE: 704-333-5131 WWW.KIMLEY-HORN.COM	No.	PER TOWN/COUNTY COMMENTS	REVISIONS	DATE	BY
	C-4								1		6/8/17	

Plotted By: Tidd, Nathan Sheet Set: Bryton Lot 2 Outparcels Layout: C-5 Landscape Sketch Plan June 08, 2017 10:11:12am K:\DHL-PRJ\015272.ac\036 - bryton firestone 02 - DWG\plotsheets\C-5 Landscape Sketch Plan.dwg
This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



TOWN OF HUNTERSVILLE

ZONING ORDINANCE REQUIREMENTS	REQUIRED	PROVIDED
STREET TREES AND INTERNAL LANDSCAPING A. LARGE CANOPY TREES @ 40' MAX. O.C.	YES	YES
URBAN OPEN SPACE A. PLAZA @ 2,000 SF. MIN., 30,000 SF MAX. PROVIDED AS 4 ROUNDABOUT QUADRANTS DEVELOP	PLAZA	SW QUADRANT PART OF 441 DEVELOPMENT PLANS. 3 REMAINING QUADRANTS IN THE FUTURE

TOWN OF HUNTERSVILLE LANDSCAPE NOTES

INSTALLATION GUARANTEE REQUIRED

- A FINAL CERTIFICATE OF OCCUPANCY MAY BE ISSUED PRIOR TO THE INSTALLATION OF TREES AND SHRUBS, DURING THE NON-PLANTING SEASON IF A CASH BOND, SURETY BOND OR LETTER OF CREDIT IS ISSUED FOR 120% OF THE COST OF MATERIALS AND INSTALLATION. PLANTING SHALL BE COMPLETED DURING THE NEXT PLANTING SEASON.
- THE PLANTING SEASON SHALL RUN FROM OCTOBER 15 TO MARCH 15, EXCEPT FOR EXTREME WEATHER CONDITIONS AS DETERMINED BY STAFF. A FINAL CERTIFICATE OF OCCUPANCY SHALL NOT BE GIVEN DURING THE PLANTING SEASON UNLESS ALL OF THE LANDSCAPING IS COMPLETELY INSTALLED ACCORDING TO THIS ARTICLE. A TEMPORARY CERTIFICATE OF OCCUPANCY MAY BE ISSUED DURING THE NONPLANTING SEASON IN ORDER TO ALLOW PLANTING TO OCCUR DURING THE NEXT PLANTING SEASON.

MAINTENANCE SURETY REQUIRED

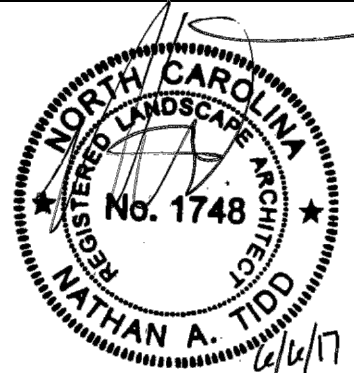
- DEVELOPERS SHALL ENTER INTO A MAINTENANCE SURETY AGREEMENT WITH MECKLENBURG COUNTY GUARANTEEING THE VIABILITY OF STREET TREES AND TREES AND SHRUBS PLANTED IN BUFFER YARDS FOR A PERIOD OF 1 YEAR FOLLOWING PLANTING. THE AMOUNT OF THE SURETY SHALL BE EQUAL TO 50% OF THE VALUE OF THE NEW TREES OR LANDSCAPE MATERIAL AND THEIR INSTALLATION. THE MAINTENANCE SURETY SHALL BE PROVIDED WHEN ALL OF THE REQUIRED TREES AND SHRUBS HAVE BEEN PLANTED.

NOTE: FINAL LANDSCAPE REVIEW AND APPROVAL TO BE COMPLETED AT COMMERCIAL SITE PLAN / PRELIMINARY PLAN STAGE

BRYTON LOT 2
OUTPARCELS
PREPARED FOR
AAC

LANDSCAPE SKETCH
PLAN

KHA PROJECT
015272036
DATE
2/28/2017
SCALE AS SHOWN
DESIGNED BY
DRAWN BY
CHECKED BY



Kimley»Horn
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KIMLEY-HORN NORTH CAROLINA LICENSE #0102
200 SOUTH TRYON, SUITE 200, CHARLOTTE, NC 28202
PHONE: 704-333-5131
WWW.KIMLEY-HORN.COM

PER TOWN/COUNTY COMMENTS	REVISIONS	DATE	BY
1		6/8/17	

SHEET NUMBER
C-5

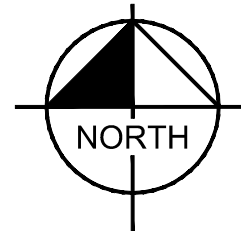
HUNTERSVILLE

NC



EACH OUTPARCEL SHALL BE DESIGNED WITH A MAX POST-DEVELOPMENT "C" FACTOR OF 0.80 ASSUMING A PRE-DEVELOPMENT "C" FACTOR MADE UP OF:
50% WOODS WITH A "C" FACTOR OF 0.25
50% PASTURE WITH A "C" FACTOR OF 0.35

SIMPLE METHOD	
IMPERVIOUS AREA	2.391 ac.
PERVIOUS AREA	0.664 ac.
DRAINAGE AREA	3.055 ac.
IA	0.78 ac.
RV	0.75 in/in
RD	1.00 in.
RUNOFF VOLUME (RV)	8366 cf.
BIORETENTION SIZE	
DESIRED DEPRESSION DEPTH	12.00 in.
REQUIRED SA	8,366 sf.
PROVIDED SA	8,624 sf.



SKETCH GRADING PLAN

KHA PROJECT	DATE	SCALE	AS SHOWN
015272036	2/28/2017	DESIGNED BY	---
		DRAWN BY	---
		CHECKED BY	---

**BRYTON LOT 2 OUT PARCELS
APRIL 24, 2017 – NEIGHBORHOOD MEETING MINUTES**

Meeting Time: Monday, April 24th, 5:30 p.m.

Location: Huntersville Town Hall – Board Room

Attendees: Commissioner Dan Boone – 317 Southland Rd.
Nick Walsh – 11320 Drake Hill Dr.
Town of Huntersville: David Peete
AAC: David Jarrett
Kimley-Horn: Nathan Tidd

Below is a summary of the subject meeting:

Meeting began at 5:30.

Nathan Tidd and David Peete presented the project to the two neighbors in attendance and described the reason for the petition.

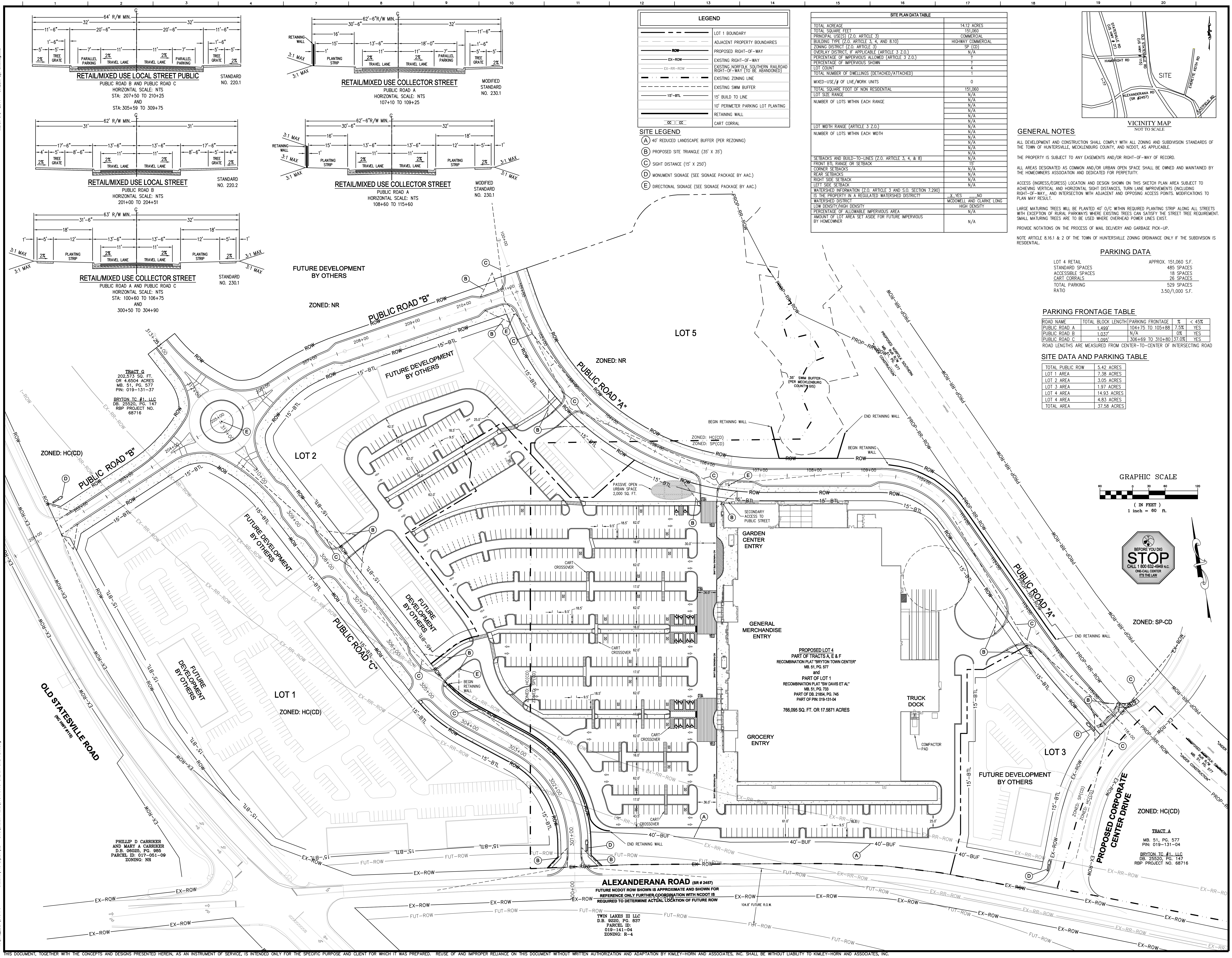
David Peete explained staff's recommendations and comments.

Meeting adjourned at 5:50 p.m.

March 01, 2011 - 9:12am By: tmmgma

Sheet: 115 Bryon02 - D:\Projects\115 Bryon02 - DMS\Sketch Plans\01547615-SKETCH SITE PLAN.dwg

K:\DL\LIB\015476



Kimley-Horn and Associates, Inc.
NC LICENSE # 7-0102
1001 CHARLOTTE PARK DRIVE
SUITE 300
CHARLOTTE, NORTH CAROLINA 28217
PHONE: (704) 333-5151
FAX: (704) 333-0845
© 2011

PERMIT SET

NOT FOR CONSTRUCTION

PROJECT: BRYTON SUBDIVISION SKETCH PLANS

CLIENT: SMI WALTON DEVELOPMENT COMPLEX
BENTONVILLE, ARKANSAS 72716-0550
TEL: (479) 273-4000

TITLE: SKETCH SITE PLAN

DESIGNED BY: TCM
DRAWN BY: JCV
CHECKED BY: BMC
DATE: 03-01-2011
PROJECT#: 015476115

C-3

Town of Huntersville
REQUEST FOR BOARD ACTION
7/17/2017

REVIEWED:

To: The Honorable Mayor and Board of Commissioners
From: Brad Priest, Senior Planner
Subject: SUP17-02: Frankie's Fun Park Lighting

Special Use Permit: SUP 17-02 is a request by Godley Group of Charlotte, LLC for the issuance of a special use permit for Frankie's Fun Park. The purpose of the special use permit is to allow lighting that exceeds some standards of Article 8.26 of the Zoning Ordinance per Article 8.26.1(M).

ACTION RECOMMENDED:

Considering holding a quasi-judicial Special Use Permit Hearing on 7/17/17.

FINANCIAL IMPLICATIONS:

ATTACHMENTS:

Description	Type
▣ Staff Report - Updated	Staff Report
▣ Lighting Plan	Exhibit
▣ Landscape Plans	Exhibit
▣ Sight Lines - At Installation	Exhibit
▣ Sight Lines - In 5 Years	Exhibit
▣ Sight Lines - At Full Maturity	Exhibit
▣ Track Designer Recommendation Letter	Exhibit
▣ Track Designer Canopy Lighting Letter	Exhibit
▣ Ride Rendering - Midi Discovery	Exhibit
▣ Ride Rendering - Family Swinger	Exhibit
▣ Ride Rendering - Midi Teacup	Exhibit
▣ Ride Rendering - Mega Disc	Exhibit
▣ Ride Designer Letter	Exhibit
▣ Ride Designer - Light Reduction Letter	Exhibit
▣ IES Recommendations	Exhibit
▣ Planning Advisory Service - Gas Station Canopies	Exhibit
▣ Ride Light Summary	Exhibit
▣ Landscaping Update Email	Exhibit
▣ Track Designer List of Projects	Backup Material
▣ Special Use Permit Application	Backup Material
▣ Wal-Mart Entrance View of Frankie's Site	Backup Material
▣ Bryton Town Center Drive View of Frankie's Site	Backup Material

REQUEST:

Special Use Permit Application by Doug Godley for Frankie's Fun Park Lighting Plan – SUP17-02

ZONING ORDINANCE CRITERIA AND STAFF COMMENTS

Article 8.26.1 M

Lighting for an outdoor amusement facility with the Special Purpose (SP) Zoning District that cannot conform to all the standards of this section may be approved with the issuance of a Special Use Permit (as outlined in Article 11.4.10), contingent on the following conditions.

STAFF FINDINGS: The property owners of 10621 Bryton Corporate Center Drive (Godley Group of Charlotte, LLC) have applied for a special use permit to exceed the minimum standards of Article 8.26 of the Huntersville Zoning Ordinance. The purpose of the permit application is to allow the lighting of an outdoor amusement facility for Frankie's Fun Park. The property is zoned Special Purpose (SP).

Article 8.26.1 M (1)

Ensure the Special Use Permit (SUP) conforms to the standards of this article regarding safety, downward lighting, glare, offsite light trespass, uniformity ratio, and obtrusive/flashing lighting, etc., to the extent practicable

STAFF FINDINGS: The applicants have submitted a lighting plan and various exhibits that exceed the standards of the ordinance in the following ways:

- 1. The maximum lighting measurement for commercial uses is 10.0 footcandles (FC) and under canopies is 15 FC. The proposed lighting plan shows a maximum 16.2 FC for the mini-golf area, 19.7 FC for the go-kart tracks, and 28.9 FC under the canopies of the go-kart courses.*
 - a. Mini-Golf Area: Attached in the agenda package is a recommended lighting level list for sporting events submitted by the applicant (Illuminating Engineering Society). The recommended lighting level for mini-golf is 10 FC in the document. The "average" light level reading for the mini-golf area is 10.7 footcandles, very close to the recommended light level. The maximum reading is at 16.2 FC which is not significantly greater than the average. Based on the recommended lighting levels submitted and for safety purposes, staff finds the submitted lighting levels at the mini-golf area conforming to the ordinance "to the extent practical".*
 - b. Go-Kart Tracks: Also in the agenda packages is a letter from the track designers (Entertainment Concepts, Inc.). The letter submitted by the track designers states that due to the higher speeds of the go-karts and the safety issues involved, higher lighting levels are needed. They recommend 20 FC max and 10 FC at minimum. Due to the need for clear visibility in driving situations, staff concludes that the proposed lighting level of 19.9 FC max and a general 14 FC average meets the ordinance requirements to the extent practical.*
 - c. Go-Kart Canopies: The letter from the track designer also recommended a lighting level of 20 FC or higher under the canopies ("the pit") for visibility and safety purposes. The proposed plan shows a max 28.9 FC under the canopy with an average around 22 FC. Staff's research through the Planning Advisory Service shows a recommendation of no more than an average 20*

FC under gas station canopies. Staff concludes that the need for safety and visibility under gas station canopies would be similar to that of the track canopies. In order to be consistent then with the Planning Advisory Service's recommendation and the track designer's recommendation, staff would recommend the lighting level be reduced to no more than 20.0 FC average.

2. *Article 8.26.3 D prohibits "flashing, colored, or obtrusive" lighting. The application includes 4 outdoor amusement rides that will include LED lighting on the exteriors. The letter from the ride manufacturer (Zamperla) included in the package states that the lights will not flash. However some of the rides are very tall, and one of which will reach a height of 51 feet making the lighting on the rides very visible, noticeable, and potentially obtrusive on adjacent properties. Please find attached in your agenda packets the view renderings from the applicant and photos from staff on Bryton Town Center Drive. Even at full maturity of the evergreen trees planted by the applicant around the perimeter of the property, the lighting at the top of the rides will be visible from offsite. In addition. The parcel of property to the west of the subject property is currently vacant but has the potential in the future to be developed into apartment buildings several stories tall. Although there will be a stream buffer in between the new development and the Frankie's amusement rides, it is unclear how much screening any remaining trees will provide.*

The applicants have also forwarded a separate letter stating that two of the rides can be modified to reduce the amount of lighting visible toward the back of the property. The lighting of the "backs" and "legs" of the "Mega Disk'O" and the "Midi Discovery 360" rides can be turned off to reduce lighting toward the west. However it is not currently clear if these changes by themselves will eliminate obtrusive lighting from the site. There is no mention of the "Midi Family Swinger" ride in the letter and it is described as offering "an incredible swirl of colors and lights" in its rendering brochure. It seemingly also is very tall (not specifically listed in the submittal, but an estimated 30 feet tall). Also the Midi Discovery 360 has a passenger disk that is lit with many lights and reaches over 50 feet tall at its apex. Staff's outstanding questions would be 1. Would the passenger disk lights of the Midi Discovery 360 ride be removed? 2. Would all lights toward the west of the property be removed/turned off? What lights would remain visible to the west onto potential adjacent properties?

Article 8.26.1 M (2)

All Special Use Permit applications shall be accompanied by a photometric lighting plan, graphics of all exterior lighting fixtures proposed for the facility and any other evidence of conformance with the standards of the article

STAFF FINDINGS: The application submitted included a photometric plan which is attached in your agenda package for review. The lighting plan includes graphics/photos of the fixtures proposed to be used in the application. All light fixtures included are "full cutoff" lights and conform to the requirements of the ordinance (other than the ride lighting discussed above).

Article 8.26.1 M (3)

Upon review of the proposed lighting plan and the specific context of the associated development, the Town Board may add specific conditions to the permit related to the application to ensure that the principles of this article are followed to the extent practicable.

STAFF FINDINGS: The applicants have forwarded several conditions as part of the special use permit application including; letters from the ride designers stating the lights will not flash, lighting plans showing specific light output not to be exceeded, visuals of the rides proposed, etc. The Town Board may add further conditions if needed to ensure compliance with the principles of the ordinance.

Article 8.26.1 M (4)

No Special Use Permit (SUP) may permit lighting levels to exceed 30 footcandles

STAFF FINDING: The submitted lighting plan shows no readings over 30 footcandles. The highest reading is 28.9 footcandles underneath the slick track canopy.

STAFF RECOMMENDATION:

Staff recommends approval of the application with the following conditions:

1. No ride lighting is permitted over 40 feet in mounting height. The applicant is planning to install 20 foot tall evergreen trees along the western side of the site that will ultimately grow to about 40 feet in height at maturity (see landscaping update email attached in your agenda packets). Lights with lower mounting heights will eventually be screened from the west by the vegetation planted once the trees grow to maturity. Staff believes lights installed any taller than that however will have a high degree of visibility to western properties even with the trees grown to full maturity. To the east, lower lights can be screened by the main building and eventually the mature trees planted in the parking lot, while taller lights will again be visible over the building and trees. The applicant has already offered a conditional letter stating some of the rides' lights may be modified so that the lights are not illuminated toward the back or western property line. Staff's recommendation would amend that condition; from turning off lighting to one side or direction of the ride, to turning off the lights higher than 40 feet. It is staff's opinion that this condition would better and more comprehensively reduce off site obtrusive lighting by eliminating lighting that cannot be screened. It should be noted however that even with this condition, many ride lights will be visible from off site until the trees on the site grow to full maturity.
2. Reduce the "Pit Area Canopy" lighting to average 20 footcandles (FC). As described above, the track designer has recommended a minimum of 20 average FC under the track canopy. The Planning Advisory Service published by the American Planning Association recommends an average lighting level not higher than average 20 FC for gas station canopies, which staff feels is a comparable standard. The proposed average footcandles under the track canopies are currently 20.89, 22.17, and 22.34. Staff recommends that those averages all be reduced down to 20.0 to correspond with all recommendations.

PLANNING BOARD RECOMMENDATION

The Planning Board reviewed the application on 6/27/17. After discussion, the Planning Board recommended approval of the application with conditions. Included in the motion was the statement that the approval would be reasonable and would not pose injurious effects on adjacent properties, and that the character of the neighborhood and health, safety, and general welfare of the community will be minimized. The decision was supported by the fact that the mature landscaping coverage will cover the lights and that the lighting selected is adequate for the safety of the public. The recommended conditions were as follows:

1. The landscaping screening on the perimeter of the property is continually maintained.
2. The applicant must resubmit a special use permit amendment application if any future rides are proposed higher than existing ride heights.
3. The lighting of the go cart track canopies is reduced to a maximum average 20.0 FC and not to exceed 20 feet in height.
4. No rides other than the two swinging rides (Midi Discovery and Mega Disc) may exceed 40 feet in height.
5. A third party lighting engineer paid for by the applicant will submit a report following installation showing conformance to the approved lighting plan.

DECISION STATEMENTS

In Favor of the Special Use Permit

In considering the Special Use Permit SUP17-02, Frankie's Fun Park Lighting, we, the Town Board, find that the request meets all required conditions and specifications, is reasonable and does not pose an injurious effect on adjoining properties, and finds that the character of the neighborhood or the health, safety and general welfare of the community will be minimized. This decision is supported by the following findings:

- 1)
- 2)

Add additional statements as necessary.

Against Special Use Permit

In considering the Special Use Permit SUP17-02, Frankie's Fun Park Lighting, we, the Town Board, find that the request does not meet the required conditions and specifications.

(List which conditions are not being met)

- 1)
- 2)

Add additional statements as necessary.

In addition the use poses an injurious effect on adjoining properties and the Town Board finds that the request is not character of the neighborhood and there will be negative effects on the health, safety and general welfare of the surrounding community based on the following findings:

- 1)
- 2)

Add additional statements as necessary

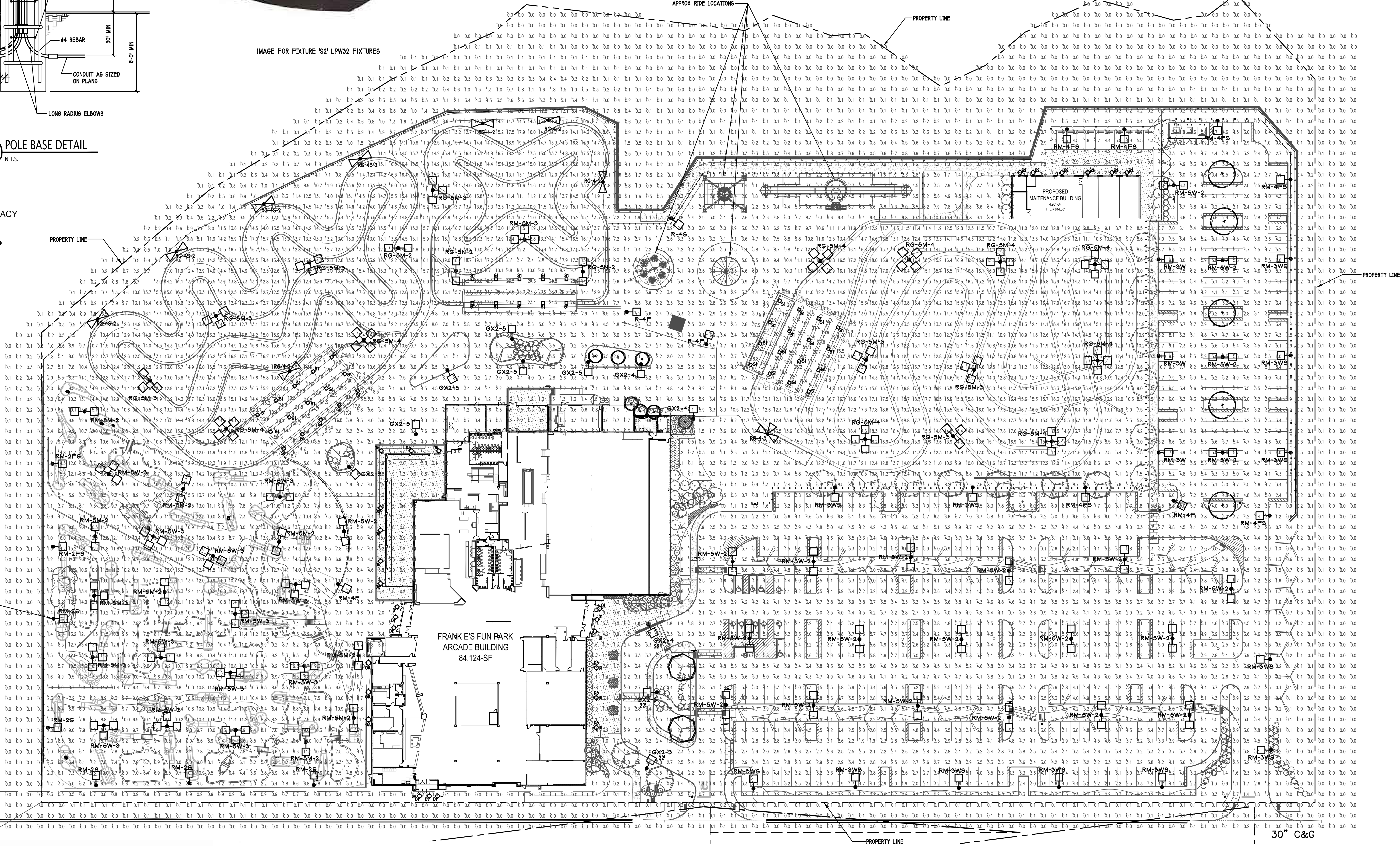


2 POLE BASE DETAIL
ES1 N.T.S.

SIDE VIEWS

PERSPECTIVE VIEW




























SHIELDS ON PROPER
FIXTURES (TYPICAL)



 ELECTRICAL SITE PHOTOMETRIC PLAN

VOLTAGE DROP TABLE				
LOAD		VOLTAGE	WIRE SIZE	ONE-WAY DISTANCE FOR 5% DROP
16A	ON 20A BRKR	120V L-N	10	169 FEET
16A	ON 20A BRKR	120V L-N	8	257 FEET
16A	ON 20A BRKR	6 120V L-N	10	403 FEET
16A	ON 20A BRKR	208V L-L	10	288 FEET
16A	ON 20A BRKR	208V L-L	8	446 FEET
16A	ON 20A BRKR	208V L-L, 1ø	6	699 FEET
16A	ON 20A BRKR	277V L-N	10	391 FEET
16A	ON 20A BRKR	277V L-N	8	594 FEET
16A	ON 20A BRKR	277V L-N	6	891 FEET
16A	ON 20A BRKR	480V L-L, 1ø	10	677 FEET
16A	ON 20A BRKR	480V L-L, 1ø	8	1030 FEET
16A	ON 20A BRKR	480V L-L, 1ø	6	1614 FEET

* ALL VALUES ARE CALCULATED USING ELECTRONIC SOFTWARE

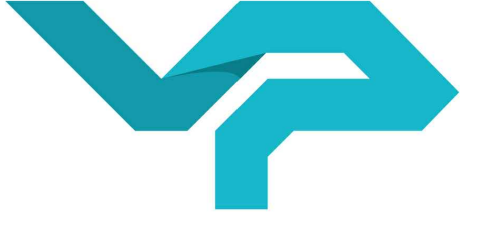
Symbol	Qty	Label	Arrangement	Description	Lum. Lumens	Lum. Watts	LLF	Mt. (Ft)
	2	RG3-3	SINGLE	GLX-III-100VLED-NW-515MA	12317	1587	0.920	15
	2	RG2-4	SINGLE	GLX-IV-120VLED-NW-515MA	12424	1629	0.920	15
	5	RG3-5	SINGLE	GLX-VSQ-100VLED-NW-525MA	18213	1586	0.920	15
	2	R-4F	SINGLE	RZR-IV-FIT-80PLED-1050MA-NW	21242	2667	0.920	30
	1	R-4S	SINGLE	RZR-IV-80PLED-1050MA-NW-HS	17548	2687	0.920	15
	4	RG-2-2	GROUP	RZR-G-IV-120PLED-1050MA-NW	N.A.	N.A.	0.920	30
	1	RG-4-3	GROUP	RZR-G-IV-120PLED-1050MA-NW	N.A.	N.A.	0.920	30
	4	RG-4S-2	GROUP	RZR-G-IV-120PLED-1050MA-NW-HS	N.A.	N.A.	0.920	30
	1	RG-SM-2	2 @ 80 DEGREES	RZR-G-V-SQ-M-120PLED-1050MA-NW	37426	3959	0.920	30
	1	RG-SM-3	3 @ 80 DEGREES	RZR-G-V-SQ-M-120PLED-1050MA-NW	37426	3959	0.920	30
	4	RG-SM-4	4 @ 80 DEGREES	RZR-G-V-SQ-M-120PLED-1050MA-NW	37426	3959	0.920	30
	2	RG-SM-2	2 @ 80 DEGREES	RZR-G-V-SQ-M-120PLED-1050MA-NW	38790	3962	0.920	30
	5	RM-2S	SINGLE	RZM-III-48PLED-1050MA-NW-HS	10540	1602	0.920	15
	2	RM-1P3	SINGLE	RZM-III-FR-48PLED-1050MA-NW-HS	10806	1604	0.920	15
	2	RM-3W	SINGLE	RZM-III-W-48PLED-1050MA-NW-HS	13163	1604	0.920	15
	12	RM-3WS	SINGLE	RZM-III-W-48PLED-1050MA-NW-HS	8981	160	0.920	15
	2	RM-4F	SINGLE	RZR-M-IV-FIT-48PLED-1050MA-NW	12745	1601	0.920	15
	6	RM-4FS	SINGLE	RZR-M-IV-FIT-48PLED-1050MA-NW-HS	10007	1601	0.920	15
	2	RM-SM-2	2 @ 80 DEGREES	RZM-V-SQ-M-48PLED-1050MA-NW	14888	1604	0.920	15
	2	RM-SM-3	3 @ 80 DEGREES	RZM-V-SQ-M-48PLED-1050MA-NW	14888	1604	0.920	15
	22	RM-SM-2	2 @ 80 DEGREES	RZM-V-SQ-M-48PLED-1050MA-NW	14880	160	0.920	15
	15	RM-SM-3	3 @ 80 DEGREES	RZM-V-SQ-M-48PLED-1050MA-NW	14880	160	0.920	15
	4	SI	SINGLE	CRIS-SC-LED-VLW-CV - 19" MH	10471	879	1.000	15
	6	S2	WALL PACK	LPW20	ABSOLUTE	71	1.000	10
	9	D12	DOWN LIGHT	EVO 3515 GR MWO LS 19VLT EZB32	500	19	1.000	-
	10	D5	WALL WASHER	FLCW-R0-800-27-1C-800-35K-WMT	500	8	1.000	-
	3	OA	WALL WASHER	CLS-N-V-S-WIS-83-40-20-XC	2000	20	1.000	-

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE (DEVELOPED AREA)	Illuminance	Fc	6.77	28.8	1.7	3.98	17.0
MINI LOT	Illuminance	Fc	10.7	16.2	6.3	1.71	2.57
PARKING GOLF	Illuminance	Fc	4.21	8.9	1.7	2.48	5.82
PEDESTRIAN AREAS	Illuminance	Fc	4.71	10.0	2.0	2.56	5.0
PROPERTY LINE	Illuminance	Fc	0.08	1.0	0.0	N/A	N/A
TRACK #1 - GRAND PRIX	Illuminance	Fc	3.88	18.2	10.0	1.4	1.82
TRACK #2 - SLICK TRACK	Illuminance	Fc	14.46	18.9	10.0	1.44	1.89
TRACK #3 - ROAD COURSE	Illuminance	Fc	14.28	18.7	10.0	1.42	1.87
GRAND PRIX - CANOPY	Illuminance	Fc	20.89	27.0	14.2	1.47	1.90
SLICK TRACK - CANOPY	Illuminance	Fc	22.17	28.8	14.2	1.56	2.04
ROAD COURSE - CANOPY	Illuminance	Fc	22.54	27.8	17.8	1.26	1.57



architecture planning interiors

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charlotte, north carolina 28203
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f) 704 379 1920
www.adwarchitects.com



VP ENGINEERING

VRETTOS PAPPAS
CONSULTING ENGINEERS, P.A.

PO Box 31847, Charlotte, NC 28231

1414-C South Tryon Street
Charlotte, NC 28203
704.372.7755

www.vnce.com

CORPORATE LICENSE NO.: C-2409



Frankie's of Huntersville

Bryton Corporate
Center Dr
Huntersville, NC

FOR CONSTRUCTION

ELECTRICAL SITE
PHOTOMETRIC PLAN

DATE 06.12.17
PROJECT NO 16008

REVISIONS

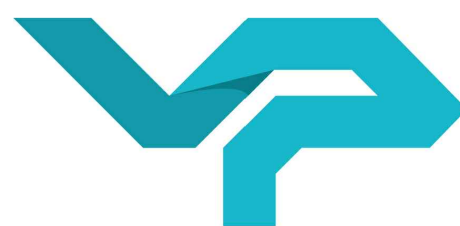
NO	DATE	DESCRIPTION:
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SEAL



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CONSULTING ENGINEERS, P.A.
PO Box 31847, Charlotte, NC 28231

1414-C South Tryon Street
Charlotte, NC 28203
704.372.7755

www.vpce.com

CORPORATE LICENSE NO.: C-2409



Frankie's of
Huntersville

Bryton Corporate
Center Dr
Huntersville, NC

FOR CONSTRUCTION

CANOPY AND BUILDING LIGHTING SPECIFICATION

DATE 06.12.17
PROJECT NO 16008

REVISIONS

NO	DATE	DESCRIPTION:
—	—	—
—	—	—
—	—	—
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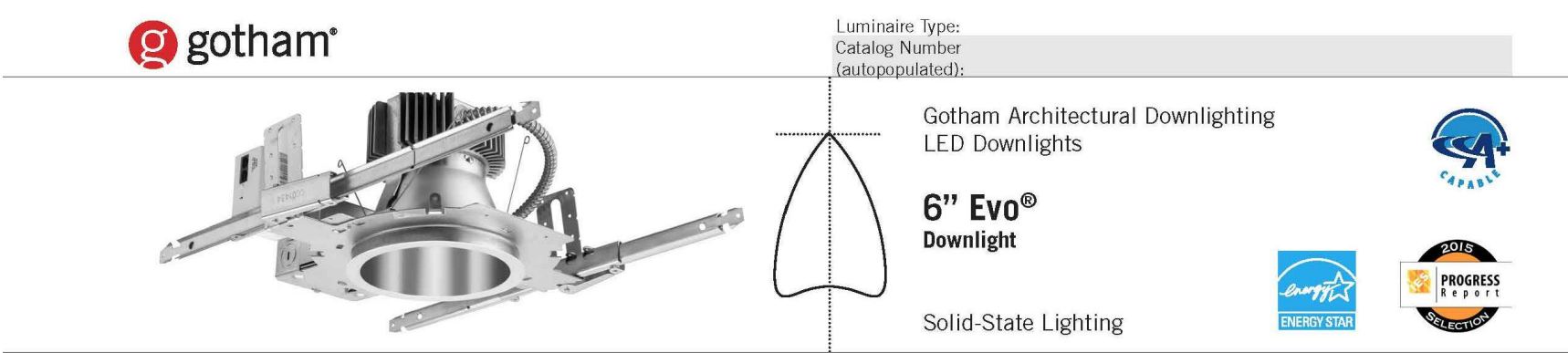


SEAL

06/12/17

ES2

SHEET NUMBER



OPTICAL SYSTEM

- Self-flanged or flangeless semi-specular, matte-diffuse or specular finishing trim
- Patented Bouncing Ray™ optical design (U.S. Patent No. 5,960,050)
- 45° cutoff to source and source image
- Top-down flush characteristic
- Polycarbonate lens integral to light engine

MECHANICAL SYSTEM

- 15-gauge galvanized steel construction; maximum 1-1/2" ceiling thickness
- Telescope mounting base maximum of 3/2" and minimum of 1/2", pre-installed, 4" vertical adjustment
- Toolless adjustments post installation
- Junction box capacity 4 (4 in, 4 out 1.2AWG) rated for 90°C
- Light engine and driver accessible through aperture
- Injection molded metal ring includes built-in flangeless trim. Ships separately. Indicates independently of the mounting frame to reduce cracks in plaster due to vibration.

4+ Cable options indicated
with color background.

EXAMPLE: EVO 35/10 GAR MWD LSS MVOLT EZ1

Series	Color temperature	Nominal lumen values	Aperture/Trim color	Trim Style	Distribution	Finish	Voltage
EVO	27/ 2700 K	10 1000 lumens	BAR	Clear	VND	Semi-specular	120
	30/ 3000 K	15 1500 lumens	6PR	Pewter	LD	Matte-diffuse	128
	35/ 3500 K	20 2000 lumens	SWTR	Wheat	ND	Narrow (0.7	277
	40/ 4000 K	25 2500 lumens	GR	Gold	smh)	LS	347
		30 3000 lumens	SWR	White	MD	Medium	
		35 3500 lumens	SWR	Black	(0.9 smh)		
		40 4000 lumens	SWR	White anti-microbial	MWD	Medium wide	
		45 4500 lumens	SWR	White anti-microbial	WD	Wide (1.2 ft	

Driver ¹	Options
EZ10	etdLED 0-10V ECDriver. Linear dimming to 1% min.
EZ1	etdLED 0-10V ECDriver. Linear dimming to 1% min.
EZ8	etdLED 0-10V SOLDriver. Logarithmic dimming to <1%.
EM8	etdLED 0-10V SOLDriver. Logarithmic dimming to <1%.
EDK8	etdLED 0-10V SOLDriver. Logarithmic dimming to <1%.
	etdLED POWERKey DMX with RDM (remote device management).
	Standalone dimming to <1%. Includes termination resistor. Refer to 0005 (Serial).
EXA1	XPoint Wireless. etdLED 0-10V ECDriver. Linear dimming to 1%. Refer to XPoint tech sheet.
EXA8	XPoint Wireless. etdLED 0-10V SOLDriver. Logarithmic dimming to <1%. Refer to XPoint tech sheet.
ECOS2 ¹	Lutron® H-Lumado 2-wire forward phase driver. Minimum dimming level 1%. Minimum lumen 1000/Maximum lumen 3000.
ECOS3 ¹	Lutron® H-Lumado 3-wire or EcoSystem® dimming driver. Minimum dimming level 1%. Minimum lumen 1000/Maximum lumen 4500.

EV0-6-0759

PR02-1 OF 4

GOTHAM ARCHITECTURAL DOWNLIGHTING | P. 800.315.4382 | gothamlighting.com

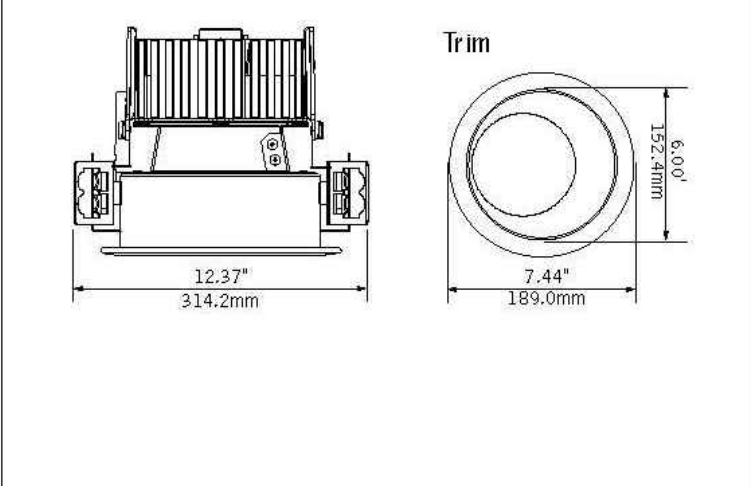
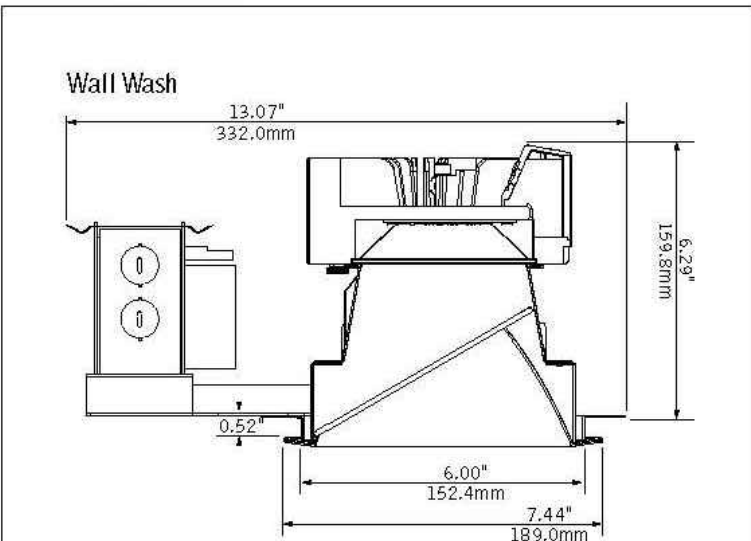
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FIXTURE TYPE 'D1'



DIMENSIONAL DATA



Focal Point Ltd. | 1111 N. Polaris Rd. Chicago, IL 60630 | 773.247.9600 | thewallwash.com | thewallwash.com

February 2017.16

FEATURES

ChromaSure: Color consistency resulting in a 2-step MacAdam ellipse across the entire ID+ product line.

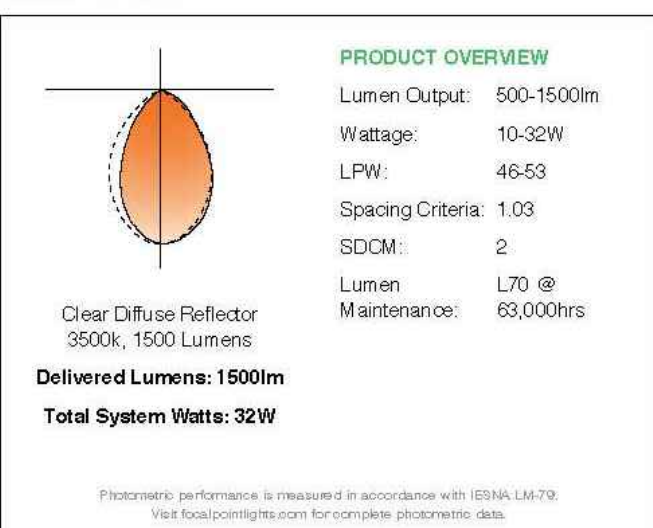
Field adjustability of ceiling thickness from 0.5" - 2.5".

50° cutoff to light source and its image.

Selection of dimming drivers available.

Right Light: Standard delivered lumen outputs 500, 1000 and 1500.

PERFORMANCE



CORE 300 LX
sconce

PROJECT

Job _____
Type _____
Part # _____

Notes

SPECIFICATIONS

Source: Xicato XTM LED module - up to 3000 lumens
C.C.T.: 2700K, 3000K, 3500K or 4000K
Color Consistency: 1x2 SDOM (MacAdam) along BBL, CCT +/- 40K to 70K, Duv +/- .001
CRI (Ra): 83 or 98
Driver / Location: Included / Internal with remote or deep canopy options
Dimming: 0-10V or phase dimming to 10% standard, DALI, DMX and 1% dimming available
Input Voltage: 100 to 277VAC, phase-dimmable versions are 120VAC only
Power: Up to 36 watts max, depending on LED module / driver
Reflector: 20°, 40° or 60° - field replaceable without tools
Material: CNC machined aluminum with stainless steel hardware
Finish: Powder coat - TGIC polyester for exterior and interior use
Weight: 5 lb. [2.3 kg]
Location: Listed for Wet & Damp locations
Approvals: ETL Listed to UL 1598, 2108, 8750 and CSA C22-2 # P & #250 0
L80 Life: > 50,000 hours at 80% lumen maintenance based on IESNA LM-80-08
Warranty: Lifetime Limited Warranty - see warranty for details
IES Files: LM-79-09 IES files available at www.v2lightinggroup.com/downloads
Modifications: Any modification or customization is possible - consult factory



ORDERING LOGIC

Model	Driver	Mounting	Output	CRI *	C.C.T.	Reflector	Shell Color	Options
C3LS -	Location	Location	Location	Location	Location	Location	Location	Location
N-Internal	N-None	D-Canopy	87-700 lm	83-93	27-2700K	20-37°	30K	
R-Remote	R-Phase	W-Wire	10-300 lm	83-93	30-3000K	40-40°	(see chart on page 4)	
D-Deep	K-4-in-1	18-1000 lm	83-93	30-3000K	40-40°			
Canopy	Z-Canopy	20-3000 lm	83-93	40-4000K				

* 98 CRI not available in 3000 lm

Example Part Number: C3LS-83-40-3000-27-40-30K

CORE 300 LX-Resonant - Neutral Driver, No Licensing, Deep Location - 3000 lm, 83 CRI, 2700K, 40° Reflector - 30 Fixed Shell

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v2lightinggroup.com

1

FIXTURE TYPE '0A' (FULL CUT OFF FIXTURE, DOWN LIGHT ONLY)

FIXTURE TYPE 'D5' (LIGHT SHALL BE ANGLED TOWARD THE BUILDING)

INSET A: STREET TREES BETWEEN RAILROAD AND EASTFIELD RD
SCALE 1:40

[illegible]

- SEE SHEET L8 FOR PLANT SCHEDULE, DETAILS, AND NOTES.
- SEE INSET A: FOR STREET TREE PLANTINGS BETWEEN RAILROAD R.O.W AND EASTFIELD ROAD.

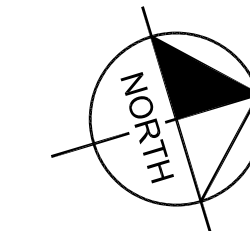
40' O.C.
TYPICAL

X - (3)
RR - (1)

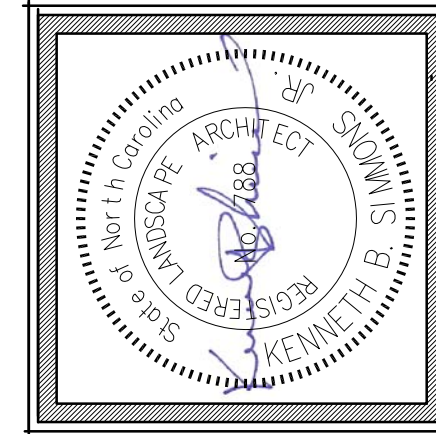
X - (3)
RR - (1)

8 OF

Frankies Huntersville, North Carolina LANDSCAPE PLAN

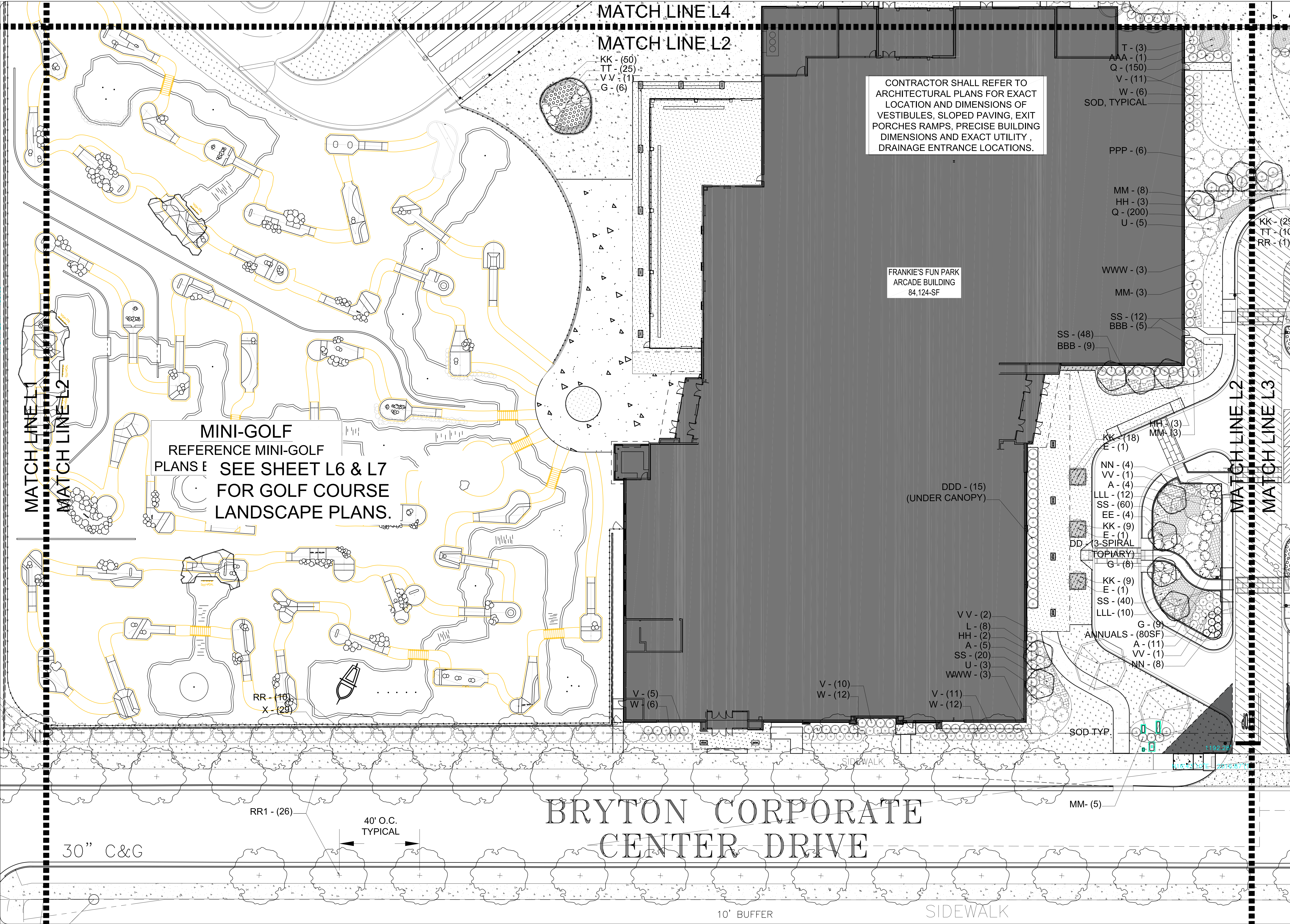


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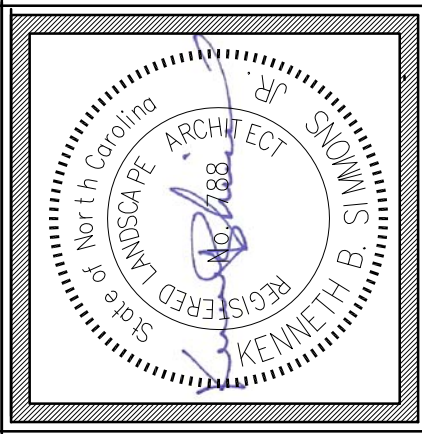


DATE	9-20-2016
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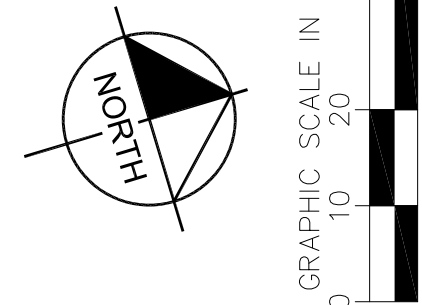
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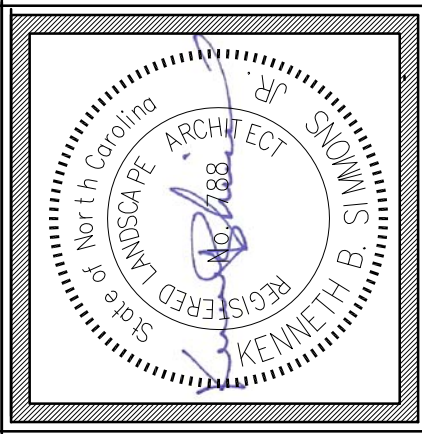
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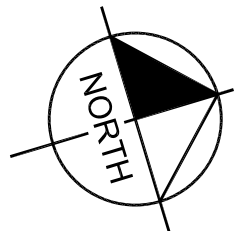
Frankies Huntersville, North Carolina LANDSCAPE PLAN

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	3-17-2017



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A vertical graphic scale in feet. It consists of a vertical line with horizontal tick marks at 0, 10, 20, and 40 feet. The numbers 0, 10, 20, and 40 are placed to the left of the line. The scale is used to measure the height of the building in the adjacent photograph.

Frankies Huntersville, North Carolina LANDSCAPE PLAN

SHEET NO.

LS03

OF

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FIGURE E:30 - TYPICAL PLANTING LIMITS

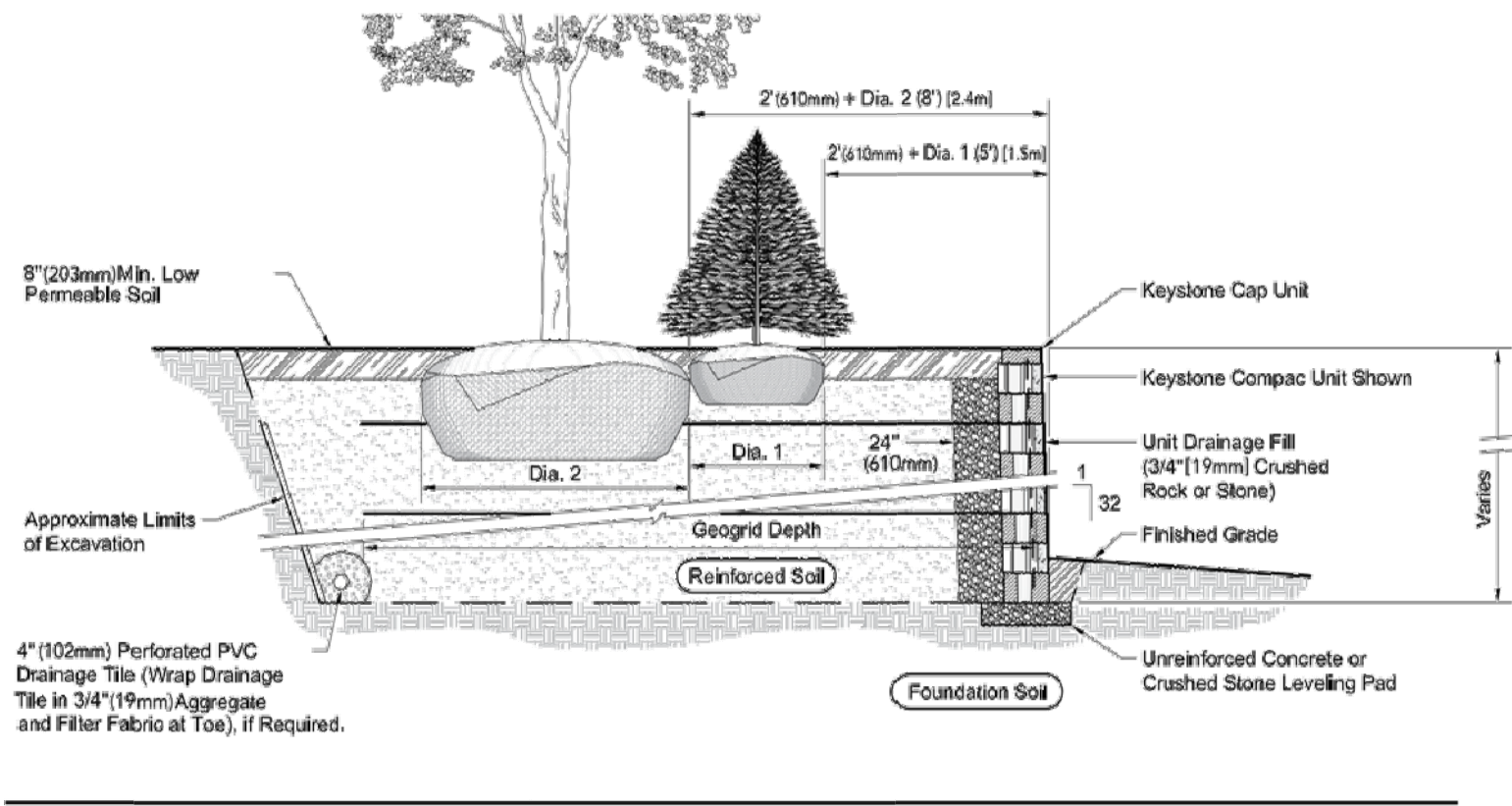
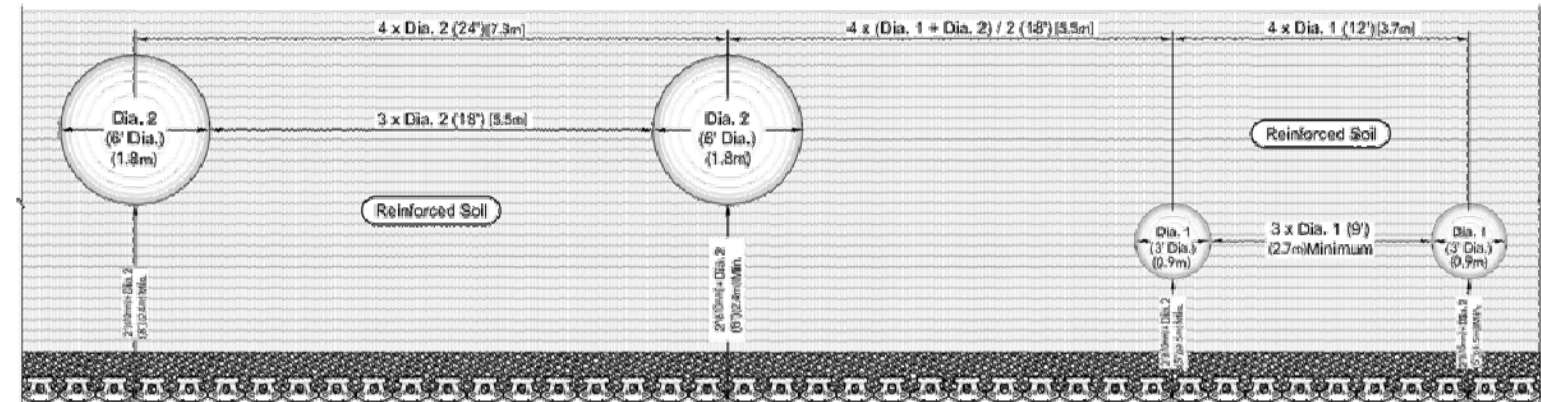


FIGURE E:31 - TYPICAL PLANTING LIMITS



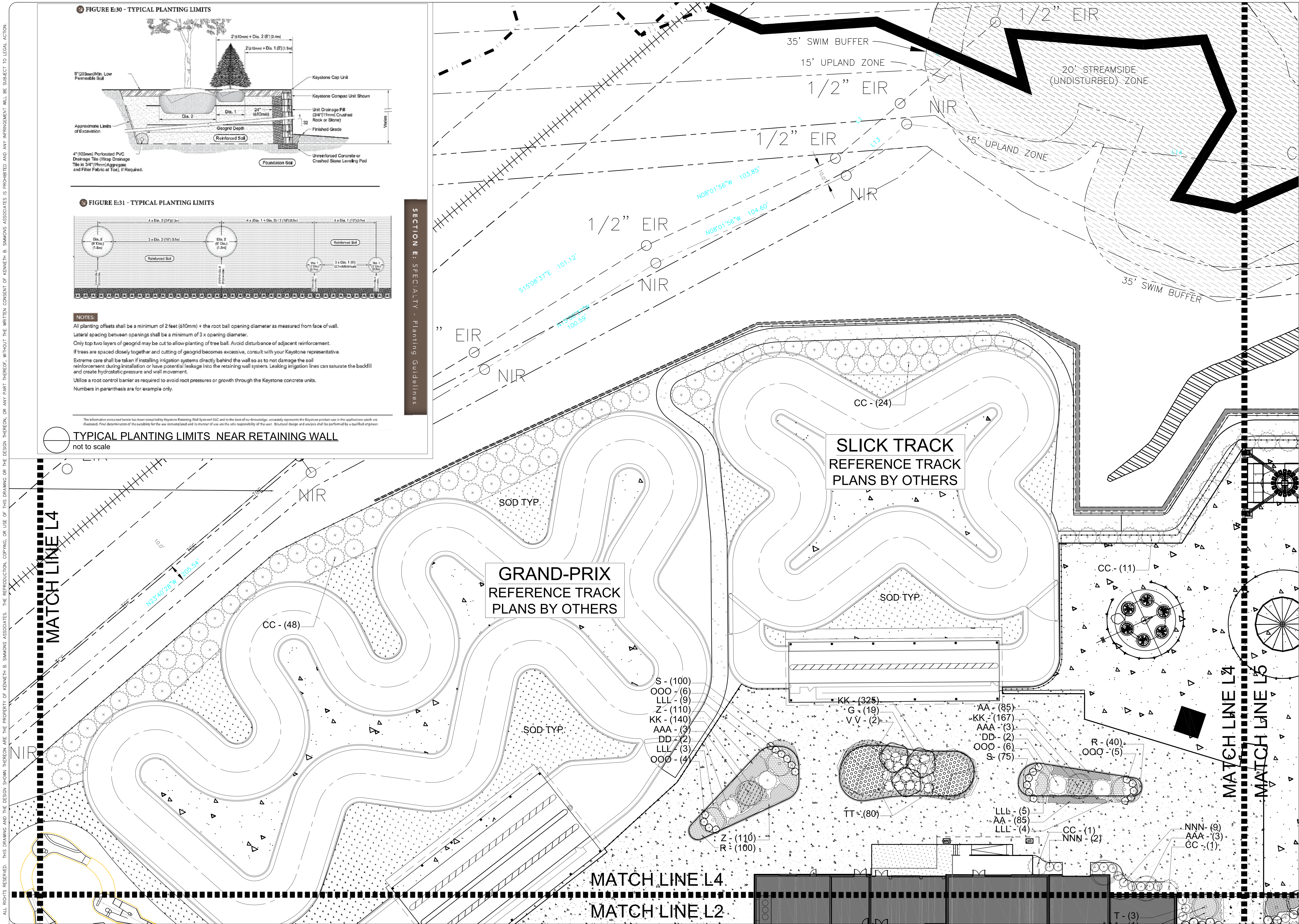
NOTES:

All planting offsets shall be a minimum of 2 feet (610mm) + the root ball opening diameter as measured from face of wall.
Lateral spacing between openings shall be a minimum of 3 x opening diameter.
Only top two layers of geogrid may be cut to allow planting of tree ball. Avoid disturbance of adjacent reinforcement.
If trees are spaced closely together and cutting of geogrid becomes excessive, consult with your Keystone representative.
Extreme care shall be taken if installing irrigation systems directly behind the wall so as to not damage the soil reinforcement during installation or have potential leakage into the retaining wall system. Leaking irrigation lines can saturate the backfill and create hydrostatic pressure and wall movement.
Utilize a root control barrier as required to avoid root pressures or growth through the Keystone concrete units.
Numbers in parenthesis are for example only.

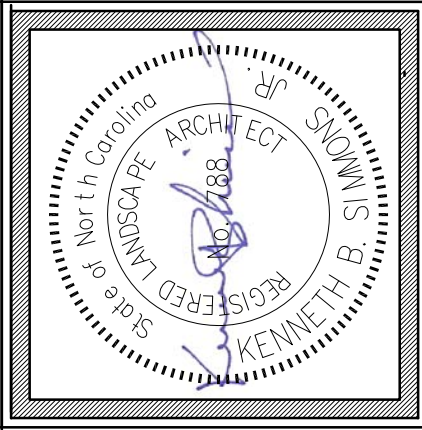
This information contained herein has been compiled by Keystone Retaining Wall Systems LLC and to the best of our knowledge, accurately represents the Keystone product use in the applications which are illustrated. Final determination of the suitability for the use contemplated and its manner of use are the sole responsibility of the user. Structural design and analysis shall be performed by a qualified engineer.

TYPICAL PLANTING LIMITS NEAR RETAINING WALL
not to scale

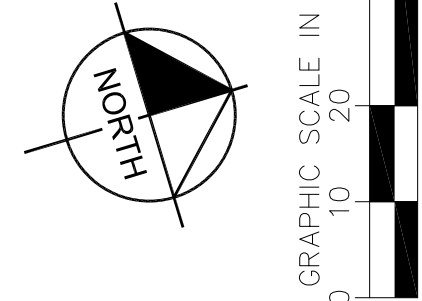
SECTION E: SPECIALTY - Planting Guidelines



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**Frankies
Huntersville, North Carolina
LANDSCAPE PLAN**

SHEET NO.
LS 05
OF **8**

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PLANT SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	SPACING
A	ABELIA X GRANDIFLORA 'Kaleidoscope'	'KALEIDOSCOPE' ABELIA	53	3' HT. Min. 3 GAL.	AS SHOWN
B	ACER BUERGERIANUM	TRIDENT MAPLE	0	3" CAL.	AS SHOWN
C	ACER PALMATUM 'ATROPURPUREUM'	RED-LEAF JAPANESE MAPLE	0	7'-8' HT	AS SHOWN
D	ACER PALMATUM 'SANGOKAKU'	CORAL BARK JAPANESE MAPLE	0	7-8' HT	AS SHOWN
E	ACER PALMATUM DISSECTUM 'WATERFALL'	WATERFALL JAPANESE MAPLE	3	10' HT	AS SHOWN
F	BERBERIS THUNBERGII 'ATROPURPUREA'	JAPANESE BARBERRY	0	3' HT. 3 GAL.	AS SHOWN
G	Camellia sasanqua 'Shishi gashira'	Camellia sasanqua 'Shishi gashira'	91	3' HT. 3 GAL.	AS SHOWN
H	OMITTED	OMITTED			
I	OMITTED	OMITTED			
J	Chamaecyparis pisifera var. filifera 'Sungold'	Sawara False Cypress	0	36" Ht. Min.	AS SHOWN
K	CHIONANTHUS REFUSUS	CHINESE FRINGE TREE	0	5'-6" HT	AS SHOWN
L	CLEYERA JAPONICA	CLEYERA	8	7 GAL.	AS SHOWN
M	Cryptomeria japonica 'Yashino'	Japanese Cedar	8	10'-12' Ht. Min.	AS SHOWN
N	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	0	12'-13' HT	AS SHOWN
O	EUONYMUS ALATUS	BURNING BUSH	0	3' HT. 3 GAL.	AS SHOWN
P	FATSIA JAPONICA	FATSIA	0	3' HT. 3 GAL.	AS SHOWN
Q	HEMEROCALLIS 'YANGTZE' - Yellow	EVERGREEN DAYLILY	625	3" O.C. STAGGERED	
R	Hemerocallis (Various Cultivars - Pink)	Daylilies (PINK - Various Cultivars)	140	9" O.C. STAGGERED	
S	Hemerocallis (Various Cultivars - Red)	Daylilies (RED - Various Cultivars)	175	9" O.C. STAGGERED	
T	Hydrangea macrophylla 'Penny Mac'	'Penny Mac' Hydrangea	3	3' HT. 3 GAL.	AS SHOWN
U	Hydrangeapaniculata 'LimeLight'	'LimeLight' Hydrangea	13	7 GAL.	AS SHOWN
V	ILEX CORNUTA 'BURFORDII NANA'	DWARF BURFORD HOLLY	126	5 GAL.	AS SHOWN
W	ILEX VOMITORIA 'Taylor's Rudolph'	ILEX VOMITORIA 'Taylor's Rudolph'	36	3' HT. Min. 3 GAL.	AS SHOWN
X	Ilex x Savannah	Savannah Holly	32	10'-12' HT.	LIMBS TO GROUND
Y	ILEX VOMITORIA 'FOLSOM'S WEEPING'	WEEPING YAUPON HOLLY	0	6'-7' HT	AS SHOWN
Z	Iris Ensata (YELLOW - Various Cultivars)	Japanese Iris (YELLOW-Variou Cultivars)	220	1 Gallon	12" O.C. STAGGERED
AA	Iris Ensata (PURPLE-Variou Cultivars)	Japanese Iris (PURPLE-Variou Cultivars)	470	1 Gallon	12" O.C. STAGGERED
BB	IRIS PUMILA (VARIOUS CULTIVARS)	BEARDED IRIS	0	1 GAL.	18" O.C. STAGGERED
CC	Juniperus virginiana 'Brodie'	'Brodie' Juniperus	139	12' HT	SEE DETAIL LS 04
DD	JUNIPER (TOPIARY)		7		FIELD LOCATED
EE	LAGERSTROMIA INDICA 'MUSKOGEE'	MUSKOGEE CRAPE MYRTLE	7	15'-16" HT MULTI-STEM	AS SHOWN
FF	LAGERSTROEMIA INDICA 'TUSCARORA'	TUSCARORA CRAPE MYRTLE	0	15'-16" HT STANDARD	AS SHOWN
GG	LAGERSTROEMIA INDICA 'NATCHEZ'	NATCHEZ CRAPE MYRTLE	6	15'-16" HT MULTI-STEM	AS SHOWN
HH	LAGERSTROEMIA INDICA 'CATAWBA'	CATAWBA CRAPE MYRTLE	11	15'-16" HT MULTI-STEM	AS SHOWN
II	LAURESTINUS VIBURNUM 'SPRING BOUQUET'	LAURESTINUS VIBURNUM	0	7 GAL.	AS SHOWN
JJ	Leymus arenarius	Blue Lyme Grass	617	2.5' O.C. STAGGERED	
KK	LIRIOPE MUSCARI 'BIG BLUE'	LIRIOPE	4519	12" O.C. STAGGERED*	
LL	LOROPETALUM CHINENSE (PINK)	LOROPETALUM (TREE FORM)	0	6'-8" HT	AS SHOWN
MM	LOROPETALUM CHINENSE 'RUBY'	LOROPETALUM (MEDIUM SIZE)	53	3' HT. 7 GAL.	AS SHOWN
NN	LOROPETALUM CHINENSE 'Purple Pixie'	LOROPETALUM (DWARF)	12	3' HT. 3 GAL.	AS SHOWN
OO	MISCANTHUS SINENSIS 'ADAGIO'	MISCANTHUS	0	3' HT. 3 GAL.	AS SHOWN
PP	MISCANTHUS SINENSIS 'GRACILLIMUS'	MISCANTHUS	0	3' HT. 3 GAL.	AS SHOWN
QQ	Quercus bicolor	Swamp White Oak	7	4"-5" Cal.	AS SHOWN
RR	Quercus nuttalli	Nuttall Oak	73	4"-5" Cal.	AS SHOWN
RR1	Quercus nuttalli	Nuttall Oak	97	12"-14' HT. 2.5" Cal.	Trees located in R.O.W., 40' O.C.
SS	Rosa 'Meigalpio'	Red Drift Rose	180	3 Gallon	2.5' O.C. STAGGERED
TT	Rosa 'Radtko' PP#16202 CPBR#3104	(Double Red) KNOCK OUT Rose	1386	3 Gallon	3' O.C. STAGGERED
UU	RUDBECKIA FULGIDA 'GOLDSTRUM'	BLACK-EYED SUSAN	110	1 GAL.	2.5' O.C. STAGGERED
VV	Taxodium Distichum	Bald Cypress	20	4"-5" Cal.	AS SHOWN
WW	THUJA OCCIDENTALIS 'EMERALD'	ARBORVITAE	6	6'-8' HT.	AS SHOWN
XX	TRACHELOSPERMUM ASIATIC	ASIATIC JASMINE	90	1.5' O.C. STAGGERED	
YY	Ulmus Parvifolia 'Emer II'	Allee Chinese Elm	32	10-12" HT. 2.5" Cal.	AS SHOWN
ZZ	VERBENA 'HOMESTEAD PURPLE'	VERBENA	0	1 GAL.	3' O.C. STAGGERED
AAA	VITEX AGNUS-CASTUS	CHASTE TREE	12	15 GAL.	AS SHOWN
BBB	CAMELLIA SASANQUA	Sasanqua Camellia	14	15 GAL.	AS SHOWN
CCC	MAGNOLIA GRADIFLORA 'CLAUDIA WANNAMAKER'	Southern Magnolia	3	12'-13' HT.	AS SHOWN
DDD	Aucuba japonica 'Variegata'	VARIGATED AUCUBA	15	7 GAL.	AS SHOWN
EEE	LAGERSTROEMIA 'PILLAG-1' PP#23071	STRAWBERRY DAZZLE - DWARF CRAPE MYRTLE	0	3' HT. 3 GAL.	AS SHOWN
FFF	DISTYLUM 'VINTAGE JADE'	VINTAGE JADE DISTYLUM	0	3' HT. 3 GAL.	AS SHOWN
GGG	HYDRANGEA MACROPHYLLA 'LADY IN RED'	HYDRANGEA 'LADY IN RED'	0	3' HT. 3 GAL.	AS SHOWN
HHH	Spiraea x bumalda 'Anthony Waterer'	Spiraea 'Anthony Waterer'	0	3' HT. 3 GAL.	AS SHOWN
III	Thuja occidentalis 'Golden Globe'	Golden Globe Arborvitae	0	3' HT. 3 GAL.	AS SHOWN
JJJ	Echinacea purpurea	Purple Cone Flower	0	1 GAL.	AS SHOWN
KKK	Veronica x 'Goodness Grows'	Goodness Grows Speedwell	0	1 GAL.	AS SHOWN

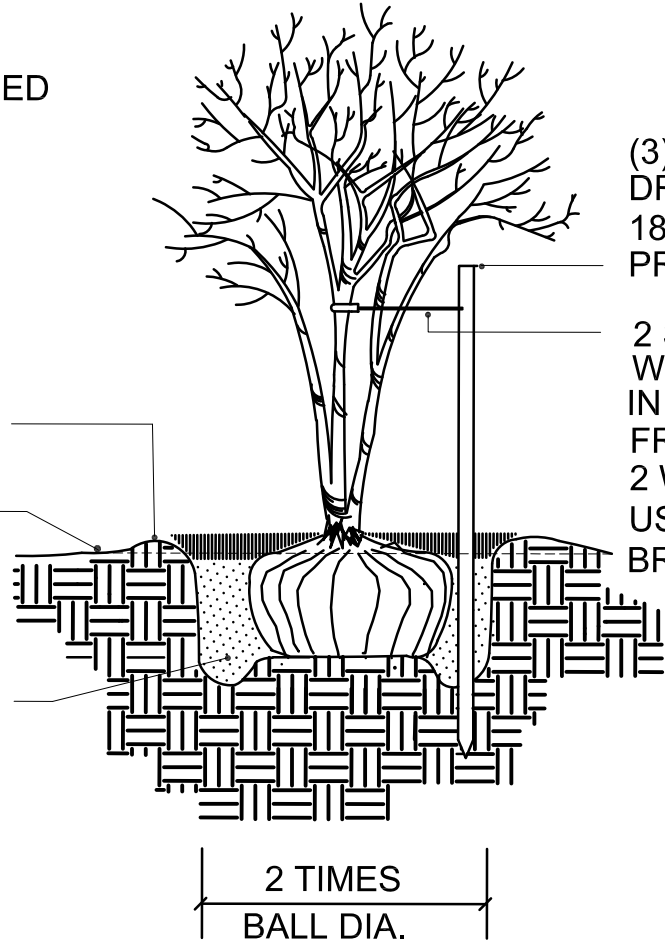
DETAILS:

NOTE:

- *THE CONTRACTOR SHALL STAKE AND WRAP THE TREES AT HIS OR HER OWN DISCRETION.
- THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR (12) TWELVE MONTHS AS PER SECTION 3.08-A OF PLANTING SPECIFICATIONS.
- PLANT SO THAT TOP OF ROOT BALL IS EVEN WITH THE FINISHED GRADE.
- STAKE TO FIRST BRANCHES AS NECESSARY FOR FIRM SUPPORT.*
- WIRE SHALL NOT TOUCH OR RUB ADJACENT TRUNKS OR BRANCHES*

FORM SAUCER WITH
3" CONTINUOUS RIM
FINISH GRADE

SPECIFIED PLANTING
MIX WATER & TAMP TO
REMOVE AIR POCKETS



SMALL & MULTI-TRUNK
TREE PLANTING &
STAKING DETAIL

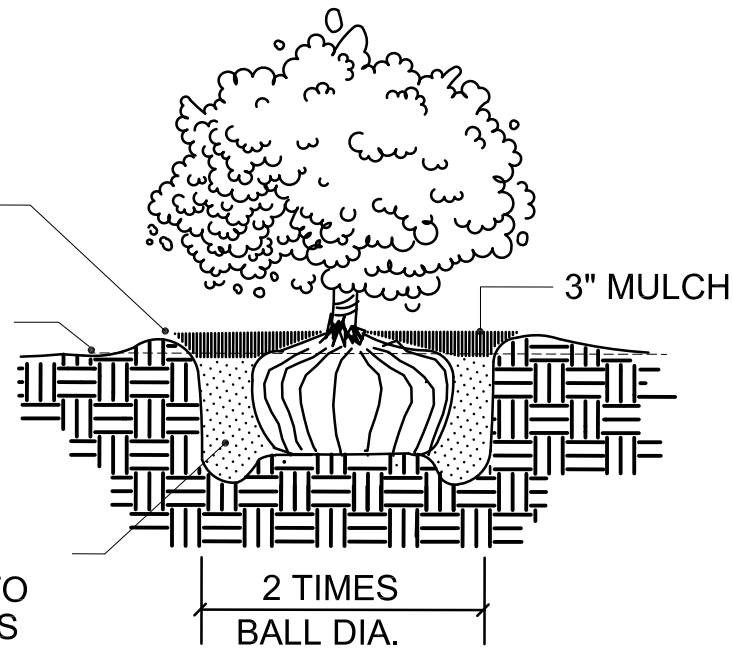
not to scale

NOTE:

- PLANT SO THAT TOP OF ROOT BALL IS EVEN WITH THE FINISHED GRADE.

FORM SAUCER WITH
3" CONTINUOUS RIM
FINISH GRADE

SPECIFIED PLANTING
MIX, WATER & TAMP TO
REMOVE AIR POCKETS



SHRUB PLANTING DETAIL

not to scale

NOTE:

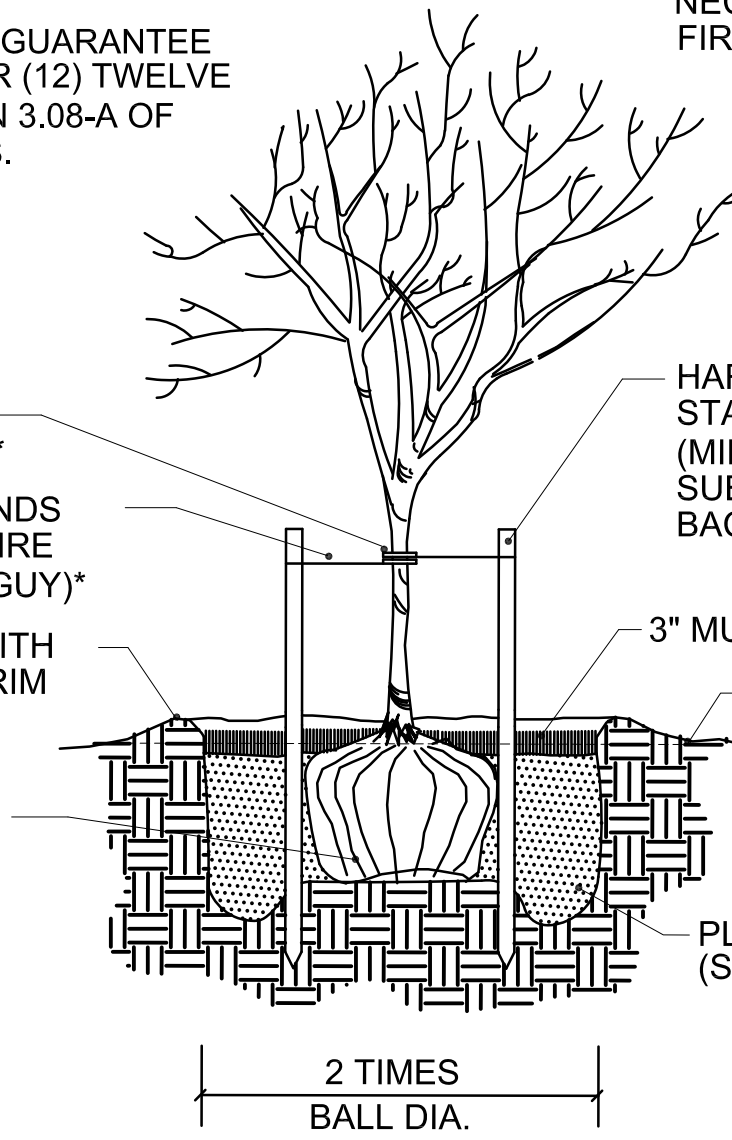
- *THE CONTRACTOR SHALL STAKE AND WRAP THE TREES AT HIS OR HER OWN DISCRETION.
- THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR (12) TWELVE MONTHS AS PER SECTION 3.08-A OF PLANTING SPECIFICATIONS.
- PLANT SO THAT TOP OF ROOT BALL IS EVEN WITH THE FINISHED GRADE.

STAKE ABOVE FIRST
BRANCHES OR AS
NECESSARY FOR
FIRM SUPPORT.*

2 PIECE
RUBBER HOSE*
DOUBLE STRANDS
NO.12 GAGE WIRE
TWISTED (EA. GUY)*

FORM SAUCER WITH
3" CONTINUOUS RIM

REMOVE CONTAINER
OR LOOSEN BURLAP
TIE. PEEL BACK 1/3
OF BURLAP FROM
BALL AFTER PLANTING
SOIL HAS BEEN FIRMLY
TAMPED TO 2/3 DEPTH
OF THE PLANT.



HARDWOOD STAKES 3
STAKES 2" X 2" DRIVEN
(MIN. 18") FIRMLY INTO
SUBGRADE PRIOR TO
BACKFILLING.*

3" MULCH
FINISH GRADE

PLANTING MIXTURE
(SEE SPECS)

2 TIMES
BALL DIA.

LARGE TREE PLANTING
AND STAKING DETAIL

not to scale

NOTE: ENTIRE PLANTING BED SHALL
BE TILLED AND PREPARED AS SPECIFIED.

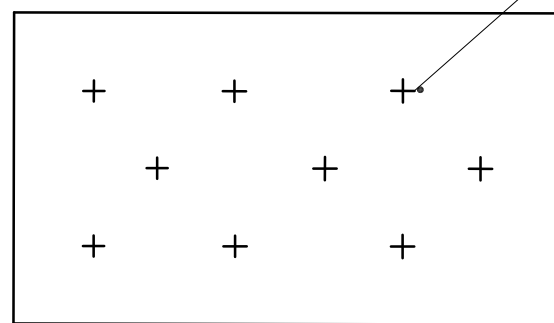
3" MULCH

FINISH GRADE

SECTION

SPECIFIED PLANTING
MIX, WATER & TAMP TO
REMOVE AIR POCKETS

STAGGER PLANTS-
SEE PLANTING PLAN
FOR SPACING



PLAN

PLANTING BED DETAIL

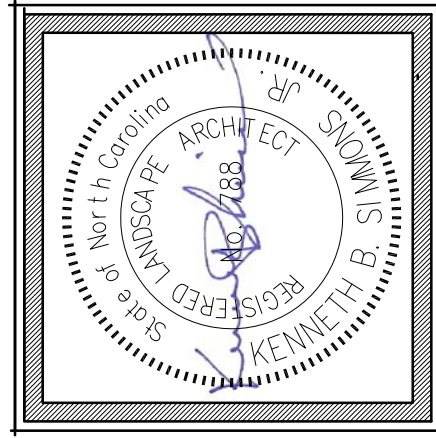
not to scale

PLANT QUANTIES FOR SHEETS L6 & L7 ARE NOT REPRESENTED IN THE PLANT SCHEDULE

PLANT SCHEDULE CONT.

KEY	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	SPACING
LLL	Miscanthus sinensis var. condensatus 'Cosmopolitan'	Miscanthus - Cosmopolitan Grass	43	3' HT. 3 GAL.	AS SHOWN
MMM	OMITTED	OMITTED			
NNN	ABELIA GRADIFLORA 'SHERWOODI'	SHERWOOD ABELIA	19	3' HT. 3 GAL.	AS SHOWN
OOO	BUXUS 'WINTERGREEN'	WINTERGREEN BOXWOOD	21	3' HT. 3 GAL.	AS SHOWN
PPP	ILEX x 'Emily Bruner'	Emily Bruner Holly	41	6' HT.	AS SHOWN
	ANNUALS	ANNUALS	+/- 80 SF	VARIES	VARIES
	SOD	TIFWAY BERMUDA	+/- 71,500 SF		VARIES
	EROGROSTIS CURVULA	WEEPING LOVEGRASS	0		VARIES

DATE	9-20-2016
PROJ. NO.	KBSA 213
DRAWN	AMC
CHECKED	KBS
PRINTED	REVISIONS 2-17-2017
	1-17-2017 4-20-2017



Kenneth B. Simmons Associates, LLC
landscape architecture & planning
2711 Middleburg Drive, Suite 200
Columbia, South Carolina 29204
(803) 254-3791 FAX (803) 254-3790

Frankies
Huntersville, North Carolina
DETAILS & SPECIFICATIONS

SHEET NO.

LS 08

OF 8

MB. 55, PG. 219
BRYTON TC #1, LLC
DB. 25520, PG. 147
A PORTION OF PIN: 019-131-50

VIEW 3

VIEW 4

SLICK TRACK
REFERENCE TRACK
PLANS BY OTHERS

GRAND PRIX
REFERENCE TRACK
PLANS BY OTHERS

ROAD COURSE
REFERENCE
TRACK PLANS BY
OTHERS

CONTRACTOR SHALL REFER TO
ARCHITECTURAL PLANS FOR EXACT
LOCATION AND DIMENSIONS OF
VERTICALS, SLOPED PAVING, EOT,
POCKETS, PUMPS, PRECISE BUILDING
DIMENSIONS AND EXACT UTILITY
DRAINAGE ENTRANCE LOCATIONS.

FRANKIE'S FUN PARK
ARCADE BUILDING
84,124-SF

MINI-GOLF
REFERENCE MINI-GOLF
PLANS BY DESIGN-BUILDER

30" C&G

WV WV

30" C&G

10' BUFFER

FH

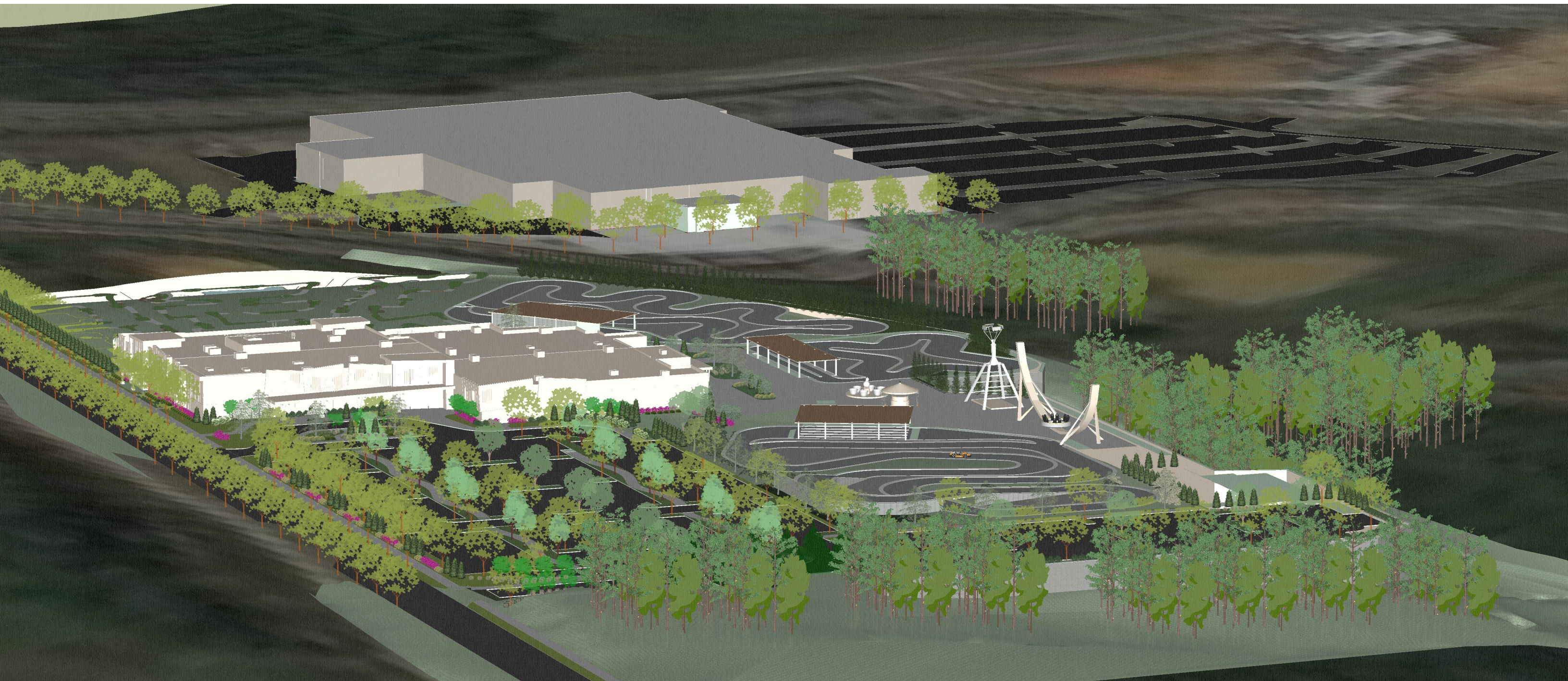
30" C&G

10' BUFFER

SIDEWALK

VIEW 1 - HIGH BIRD'S EYE
VIEW 2 - FROM STREET LEVEL

FRANKIES FUN PARK - HUNTERSVILLE, NC
KEY PLAN



FRANKIES FUN PARK
HUNTERVILLE, NC

VIEW 1 - HIGH BIRDS EYE FROM BRYTON CORPORATE CENTER PARKWAY
LOOKING SOUTHWEST - AT INSTALLATION



FRANKIES FUN PARK
HUNTERSVILLE, NC

VIEW 2 - STREET LEVEL FROM BRYTON CORPORATE CENTER PARKWAY
LOOKING SOUTHWEST - AT INSTALLATION



FRANKIES FUN PARK
HUNTERSVILLE, NC

VIEW 3 - FROM PREYSING ST. AND BRYTON TOWN CENTER INTERSECTION
LOOKING NORTHEAST - AT INSTALLATION



FRANKIES FUN PARK
HUNTERSVILLE, NC

VIEW 4 - FROM BRYTON TOWN CENTER DR. AT NW EDGE OF WALMART
LOOKING NORTHEAST - AT INSTALLATION

MB. 55, PG. 219
BRYTON TC #1, LLC
DB. 25520, PG. 147
A PORTION OF PIN: 019-131-50

VIEW 3

VIEW 4

SLICK TRACK
REFERENCE TRACK
PLANS BY OTHERS

GRAND PRIX
REFERENCE TRACK
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ROAD COURSE
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TRACK PLANS BY
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DIMENSIONS AND EXACT UTILITY
DRAINAGE ENTRANCE LOCATIONS.

FRANKIE'S FUN PARK
ARCADE BUILDING
84,124-SF

MINI-GOLF
REFERENCE MINI-GOLF
PLANS BY DESIGN-BUILDER

30" C&G

WV WV

30" C&G

10' BUFFER

FH

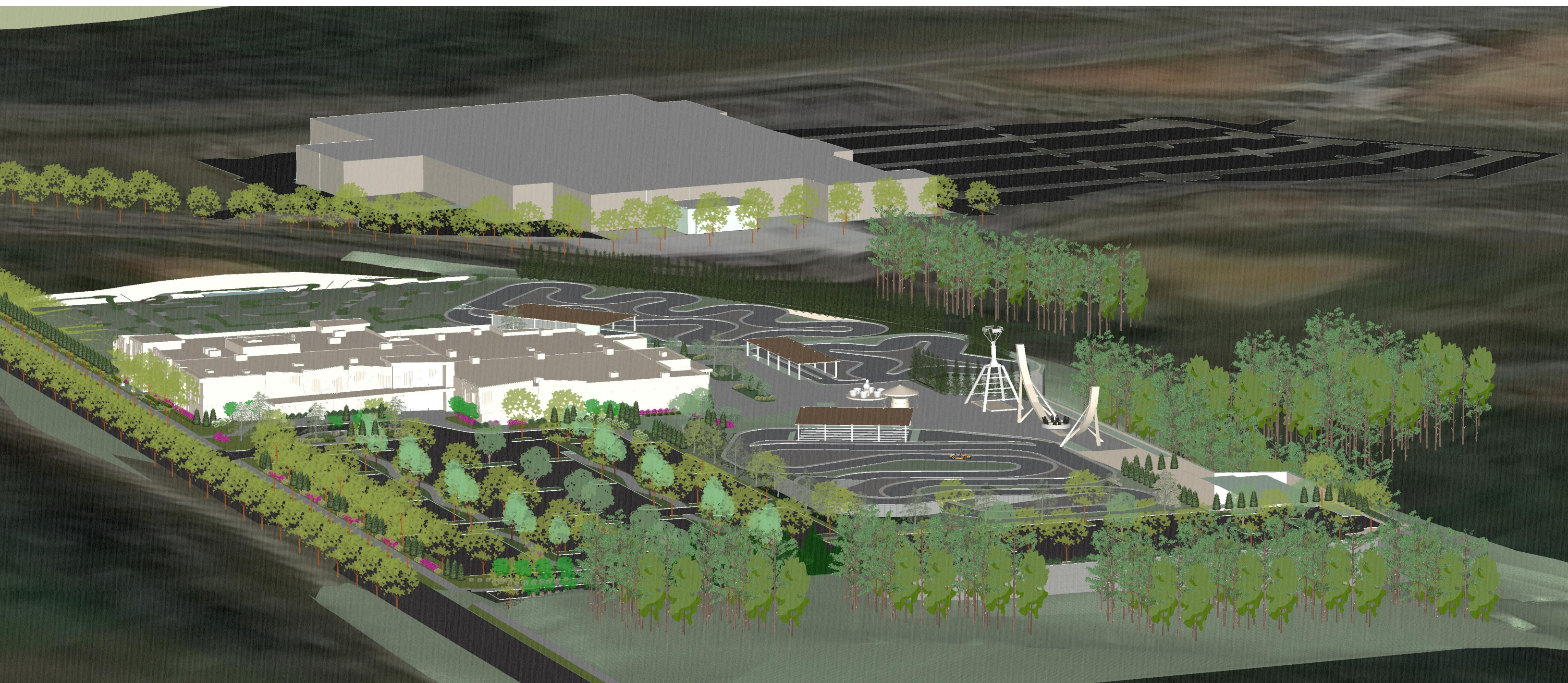
30" C&G

10' BUFFER

SIDEWALK

VIEW 1 - HIGH BIRD'S EYE
VIEW 2 - FROM STREET LEVEL

FRANKIES FUN PARK - HUNTERSVILLE, NC
KEY PLAN



FRANKIES FUN PARK
HUNTERVILLE, NC

VIEW 1 - HIGH BIRDS EYE FROM BRYTON CORPORATE CENTER PARKWAY
LOOKING SOUTHWEST - AT 5 YEARS GROWTH



FRANKIES FUN PARK
HUNTERSVILLE, NC

VIEW 2 - STREET LEVEL FROM BRYTON CORPORATE CENTER PARKWAY
LOOKING SOUTHWEST - AT 5 YEAR GROWTH



FRANKIES FUN PARK
HUNTERVILLE, NC

VIEW 3 - FROM PREYSING ST. AND BRYTON TOWN CENTER INTERSECTION
LOOKING NORTHEAST - AT 5 YEAR GROWTH



FRANKIES FUN PARK
HUNTERSVILLE, NC

VIEW 4 - FROM BRYTON TOWN CENTER DR. AT NW EDGE OF WALMART
LOOKING NORTHEAST - AT 5 YEAR GROWTH

MB. 55, PG. 219
BRYTON TC #1, LLC
DB. 25520, PG. 147
A PORTION OF PIN: 019-131-50

VIEW 3

VIEW 4

GRAND PRIX
REFERENCE TRACK
PLANS BY OTHERS

SLICK TRACK
REFERENCE TRACK
PLANS BY OTHERS

ROAD COURSE
REFERENCE
TRACK PLANS BY
OTHERS

CONTRACTOR SHALL REFER TO
ARCHITECTURAL PLANS FOR EXACT
LOCATION AND DIMENSIONS OF
VERTICALS, SLOPED PAVING, EOT,
POCKETS, PUMPS, PIPES, BUILDING
DIMENSIONS AND EXACT UTILITY
DRAINAGE ENTRANCE LOCATIONS.

FRANKIE'S FUN PARK
ARCADE BUILDING
84,124-SF

MINI-GOLF
REFERENCE MINI-GOLF
PLANS BY DESIGN-BUILDER

30" C&G

30" C&G

10' BUFFER

10' BUFFER

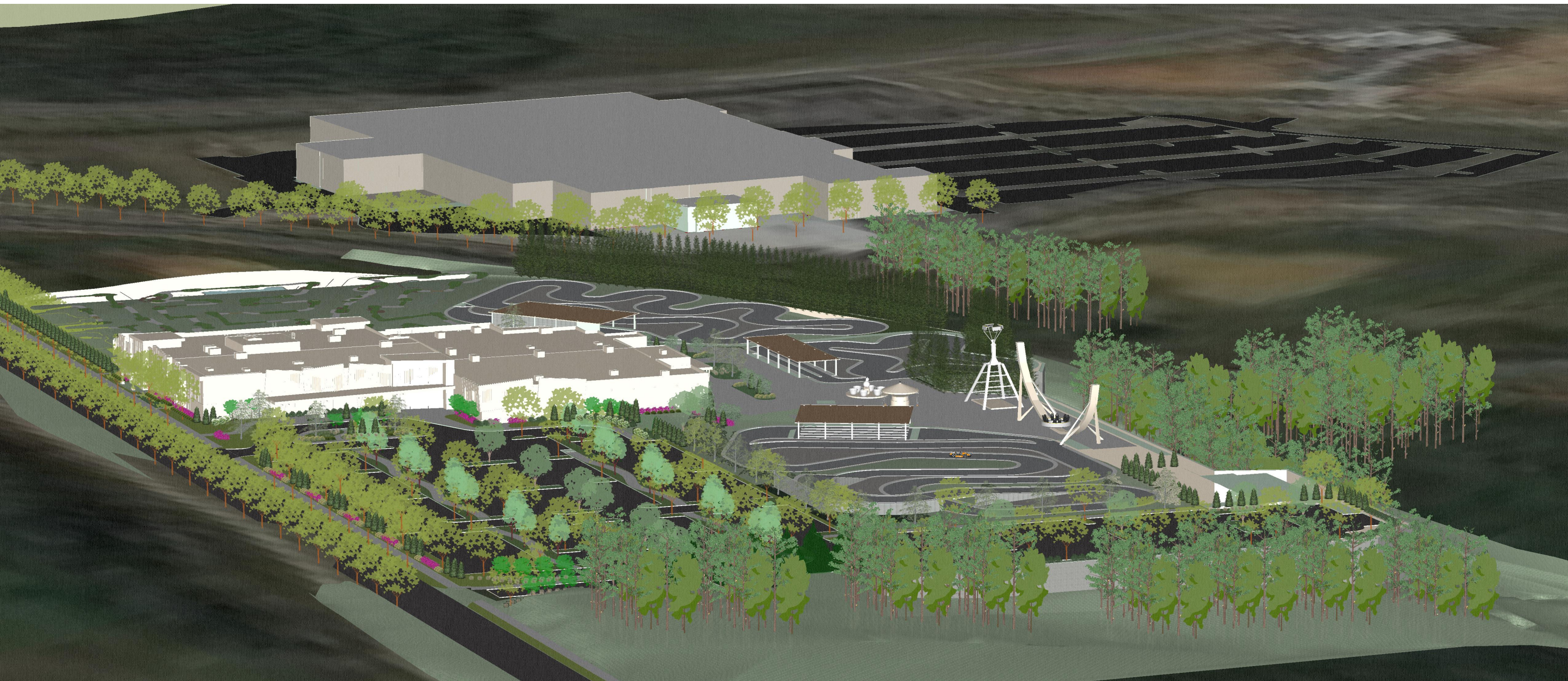
SIDEWALK

WV WV

30" C&G

VIEW 1 - HIGH BIRD'S EYE
VIEW 2 - FROM STREET LEVEL

FRANKIES FUN PARK - HUNTERSVILLE, NC
KEY PLAN



FRANKIES FUN PARK
HUNTERVILLE, NC

VIEW 1 - HIGH BIRDS EYE FROM BRYTON CORPORATE CENTER PARKWAY
LOOKING SOUTHWEST - AT MATURE GROWTH



FRANKIES FUN PARK
HUNTERVILLE, NC

VIEW 2 - STREET LEVEL FROM BRYTON CORPORATE CENTER PARKWAY
LOOKING SOUTHWEST - AT MATURE GROWTH



FRANKIES FUN PARK
HUNTERSVILLE, NC

VIEW 3 - FROM PREYSING ST. AND BRYTON TOWN CENTER INTERSECTION
LOOKING NORTHEAST - AT MATURE GROWTH



FRANKIES FUN PARK
HUNTERSVILLE, NC

VIEW 4 - FROM BRYTON TOWN CENTER DR. AT NW EDGE OF WALMART
LOOKING NORTHEAST - AT MATURE GROWTH

Entertainment Concepts, Inc.

126 South Bobby Lane
Mount Prospect, Illinois 60056

Phone: 847-561-7013 e-mail: peteolesen@yahoo.com Web: www.fecd designers.com

May 1, 2017

Bradley D. Priest
Senior Planner
Town of Huntersville
105 Gilead Road - Third Floor
Huntersville, NC 28070

**Subject: Frankies Fun Park Go-Kart Track Lighting
Huntersville, NC**

Dear Mr. Priest:

We have been requested to address a letter to your office commenting on the go-kart track lighting provided on the plans for the Frankies Fun Park to be located in your community.

Our firm developed the go-kart track designs from concept through final design. The track's lighting design was developed by others as part of a coordinated facility lighting design.

Upon completion of the track plans we were requested to provide our lighting recommendations for each track. Our lighting recommendations were developed over a number of years, based on both a review of IES guidelines for other racing and sports events as no specific guidelines for concession go-karting existed.

The Frankies Tracks' photometrics provided indicate compliance with our recommendations, which were for a peak lighting level of 20 foot candles and a minimum level of 10 foot candles on the tracks' pavement surfaces. We feel strongly that these levels provide a safe level of lighting for both the kart driver and for the track supervisor to have a clear view of all karts at any point on the track.

We recommend an average lighting level of 20 foot candles or higher in the pit area for increased visibility and safety.

The go-karts are small vehicles that sit low to the ground and normally travelling from 18 to 25 miles per hour (depending on specific track configuration and the track operator's settings). At lower lighting levels the go-karts become less visible and therefore are less noticeable without specific visual targeting. Karts spin-out, become stopped against the barrier rails, tangled with other karts, and even some drivers stopping for no reason. These situations can occur regardless of track design or pre-start instruction on all tracks, due to the wide range of skill levels. Therefore it is important for the track supervisor to have a well illuminated track system that allows him to react quickly.

May 1, 2017
Frankies Fun Park Go-Kart Track Lighting
Page 2

Time and again, while visiting tracks not having the lighting levels we recommend, we have observed poor lighting contributing to unnecessary incidents occurring at the track as well as the track supervisor not immediately observing them due to lesser lighting.

Our first track design was constructed in 1991 and we have subsequently designed more than 130 tracks that were actually constructed, most of which are still in operation. Our present recommended lighting guidelines were a part of each of them. The safety of the guests riding on the tracks we design is our first and foremost concern and consideration in our design process. We consider proper illumination to be a critical part of a track's design.

I would be happy to discuss any questions you may have.

Sincerely,

A handwritten signature in black ink, appearing to read "Peter F. Olesen". The signature is stylized with a large, looped "P" and "O".

Peter F. Olesen, P.E. (Illinois & Wisconsin)
President
Entertainment Concepts, Inc.

Entertainment Concepts, Inc.

126 South Bobby Lane

Mount Prospect, Illinois 60056

Phone: 847-561-7013

e-mail: peteolesen@yahoo.com

Web: www.fecdesigners.com

May 12, 2017

Bradley D. Priest
Senior Planner
Town of Huntersville
105 Gilead Road - Third Floor
Huntersville, NC 28070

**Subject: Frankies Fun Park Go-Kart Track Lighting
Lighting Level Under Pit Canopies
Huntersville, NC**

Dear Mr. Priest:

We call for lighting levels of 20 foot candles or higher for the area beneath the pit canopies for the three tracks because this is the area of intense operations during loading and unloading operations. Attendants are viewing the karts for any possible problems, such as loose gas caps, low tire pressures or other issues. They are also checking for guests failing to properly fasten their seat belts or failing to cover or tuck in long hair, wearing floppy sandals or bare feet, or other potential safety concerns.

I would be happy to discuss any questions you may have.

Sincerely,



Peter F. Olesen, P.E. (Illinois & Wisconsin)
President
Entertainment Concepts, Inc.
847-561-7013



These pendulum rides are the compact versions of our Discovery. Suspended from an overhead axis, riders will soon experience the rush of land and sky meshing into one as they fly head over heels through the dual swinging and spinning motions. Once the riders are secured via over the shoulder safety harnesses to their outward looking seats, the deck drops and Discovery begins its fury, ta-

king thrill-seekers on the ride of their lives. While the entire ride is driven back and fourth, riders are spun in endless circles delivering G forces and sensations that needs to be experienced to be believed. After dark, the thrills become illuminated by a dynamic light package- sure to keep people coming back for more.

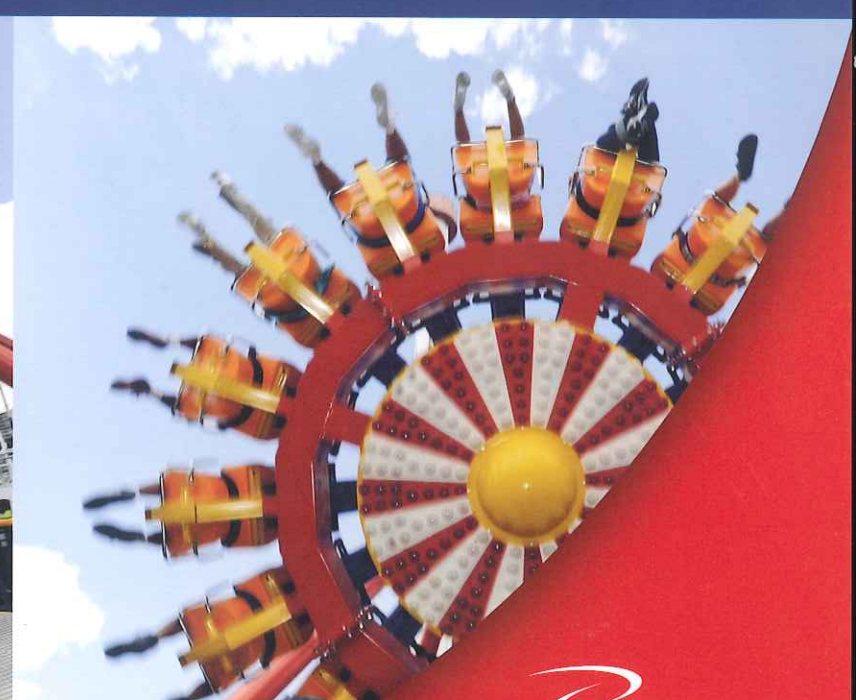
MINI DISCOVERY 12

MINI & MIDI DISCOVERY: TWO

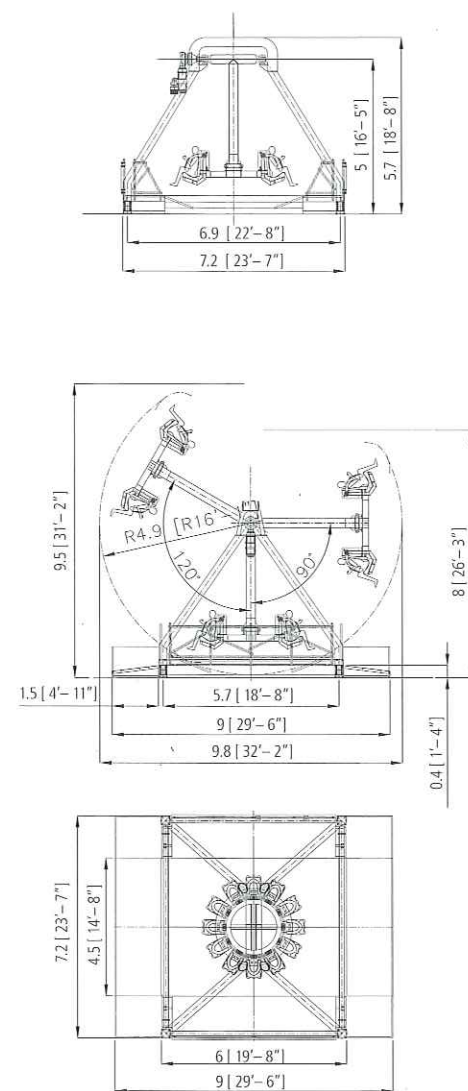


MIDI DISCOVERY 16

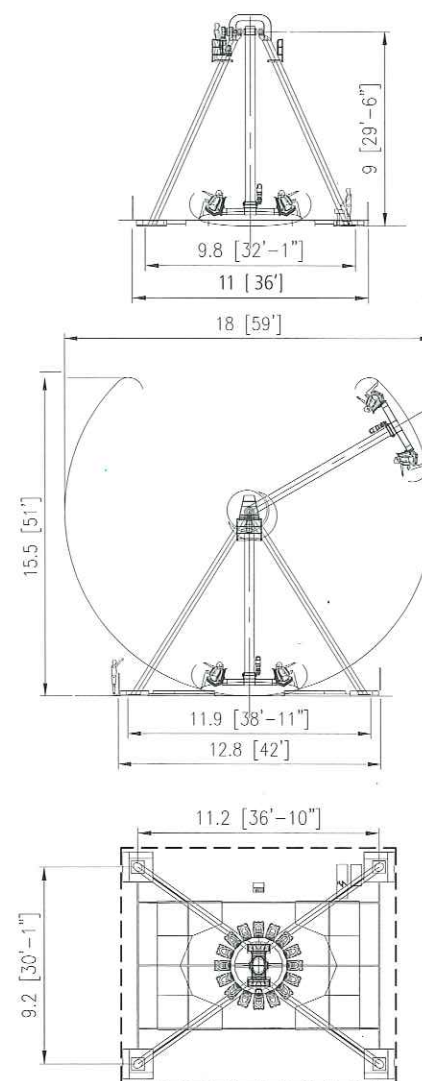
SIZES OF A GUARANTED FUN



MINI DISCOVERY



MIDI DISCOVERY



Technical Data

12
Over the shoulder restraints
8 rpm
40 Km/h
Clockwise/anticlockwise
120 cm (36")
280 pph
60 kW
50 kW
10 kW
1 x 40' O.T. container
8,5 Tons

N° of seats
Seats equipped with
Max rotation speed of the gondola
Max speed
Rotation
Minimum Passengers height
Hourly capacity
Ride total installed power
Motive power
Lights Power
Shipping Details
Total weight with passengers (approx)

16
Over the shoulder restraints
10 rpm
58 Km/h
Clockwise/anticlockwise
120 cm (36")
380 pph
75 kW
70 kW
5 kW
1 x 40' + 1 x 20' O.T. containers
8,8 Tons
(16 Tons self standing)

MINI & MIDI DISCOVERY

12 & 16 seats

CARATI POLETTI
Nov 2010
Rides descriptions and specifications are subject to revisions and changes without prior notice.



ANTONIO ZAMPERLA S.p.A. (HOME OFFICE/FACTORY): Via Monte Grappa, 15/17; I-36077 Altavilla Vic. (VI) - ITALY
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ZAMPERLA®

MIDI TEA CUP



ZAMPERLA®

A CLASSIC REINVENTED

The Tea Cup ride is an all-time classic when it comes to amusement rides and Zamperla has now introduced a new model of this ever-popular attraction with the 8 m. diameter, six cup Midi version, accommodating four riders (two adults and two children) in each cup, thus allowing a family to ride together in the same cup.

The familiar tilted tea pot remains the centrepiece on

the attraction, while each tea cup incorporates a central steering wheel to allow riders to spin the vehicle at their own pace – making for a wild, dizzying, fun-filled ride and adding an interactive element to the experience.

Ground works are again kept to a minimum with the new design which adds another great option for operators looking to add a version of this all time classic.

Zamperla's Family Swinger and Midi Family Swinger, offer an incredible swirl of colors and lights. The rides have a double rotation movement, with an hydraulic lift and a ride axle inclination of 15°. In operation, the rides reach a maximum height of 9m with a tilt that makes the seats soar into the air. The Midi Family Swinger and Family Swinger are perfect for any park, pier, shopping center or carnival midway. They have all of the beauty and flash found on the larger Flying Carousel, only scaled down to make a smaller and more affordable version. Choose from a variety of standard themes, or have Zamperla's artisans create a custom designed breathtaking masterpiece for your park. Zamperla's Family Swinger and Midi Family Swinger will charm everybody with its beautiful colored panels and hundred of lights.



TECHNICAL DATA

FAMILY SWINGER

Motor power:	9,5 KW
Lights power:	12 KW
Seats:	32 passengers (max 16 adults)
HRS capacity:	800 passengers (theoretical)
Minimum passenger Height:	90 cm (36")
Ride weight: (approx)	5000 kg

TECHNICAL DATA

MIDI FAMILY SWINGER

Motor power:	15 KW
Lights power:	7+15 KW
Seats:	32 passengers
HRS capacity:	800 passengers (theoretical)
Minimum passenger height:	105 cm (42")
Ride weight: (approx)	7000 kg

CARATI POLETO / Italia Italy

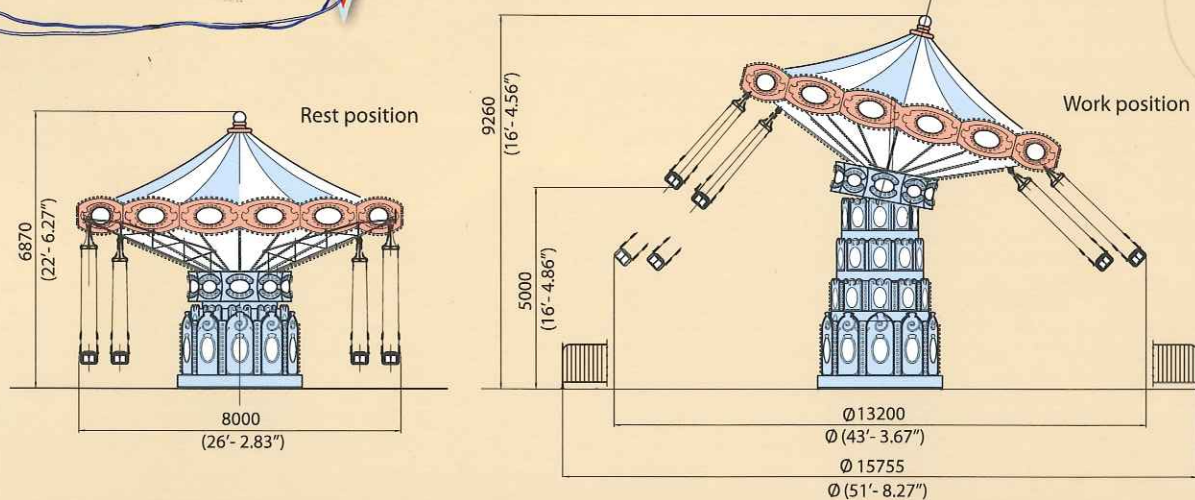
Ride descriptions and specifications are subject to revisions and changes without prior notice



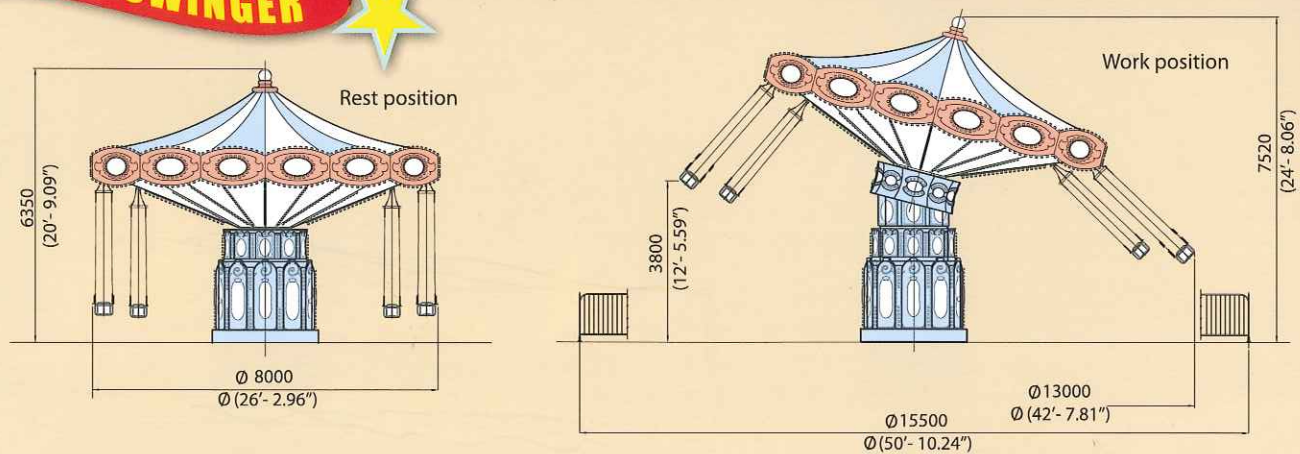
www.zamperla.com



MIDI FAMILY SWINGER



FAMILY SWINGER



EXPERIENCE EXPLORE ENJOY

EXPERIENCE EXPLORE ENJOY



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PHILIPPINES: PH: +63 46 4302025 E-MAIL: sales@zamperla.ph



MIDI FAMILY SWINGER



MFS
2

PARQUE SENDAVIVA - ARGUEDAS, SPAIN



MFS
1

SPACE MODEL

MFS
3

MINITALIA LEOLANDIA - BERGAMO, ITALY



FS
1

COLUMBUS ZOO - POWELL, OHIO, USA

FAMILY SWINGER



FS
2

SOMMARLAND - SKARA, SWEDEN



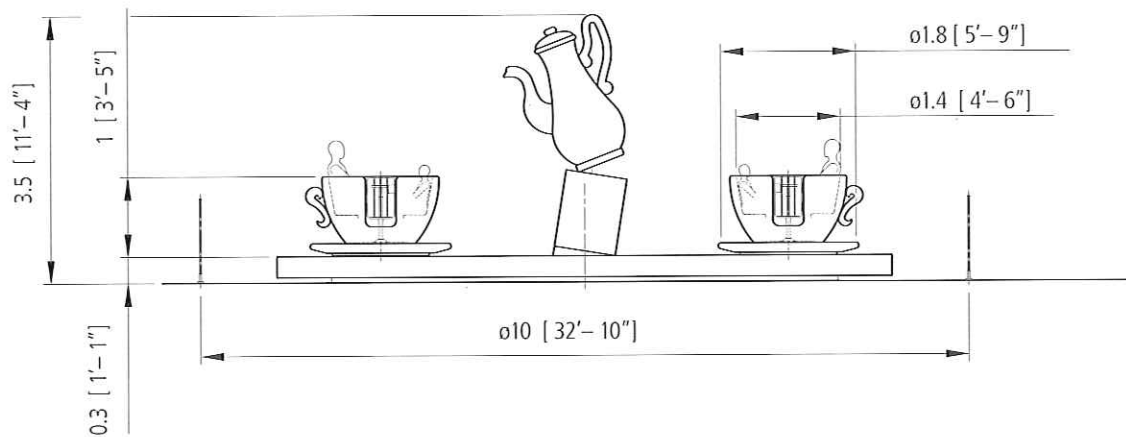
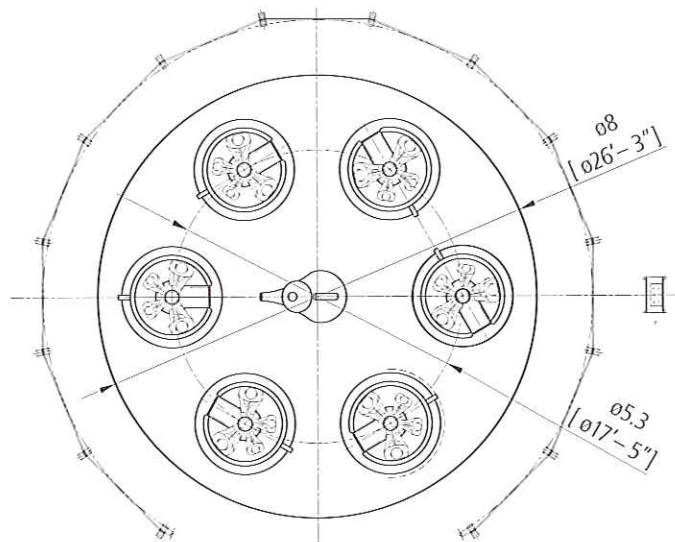
FS
3

VICTORIAN GARDENS - NEW YORK, USA



Technical Data

N° of seats	24 (max 12 adults)
Seats equipped with	Belts
Max revolving speed	5.5 rpm
Rotation	Clockwise
Minimum passengers height	90 cm (36")
Theoretical hourly capacity	480 pph
Ride total installed power	3.6 kW
Motive power	3 kW
Lights Power	0.6 kW
Shipping Details	1 x 40' H.C. H.T. container
Total weight with passengers (approx)	7 Tons




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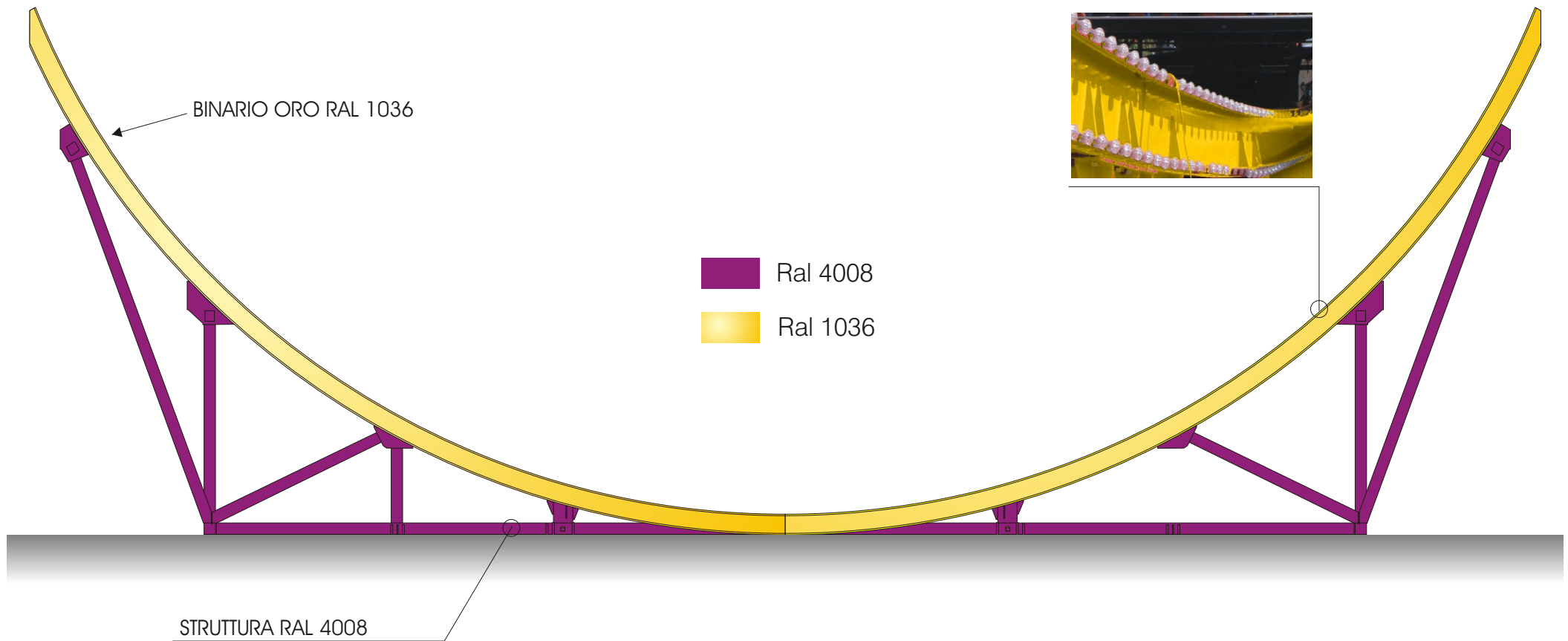
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LUCI BINARIO SOLO SU FRONTE

DISPOSIZIONE LUCI:
CABOCHONS BIANCHI
CALOTTA OPALE, BASE
TRASPARENTE



SCHEDA COLORE N°1 : ASSIEME STRUTTURA
19 GENNAIO 2009

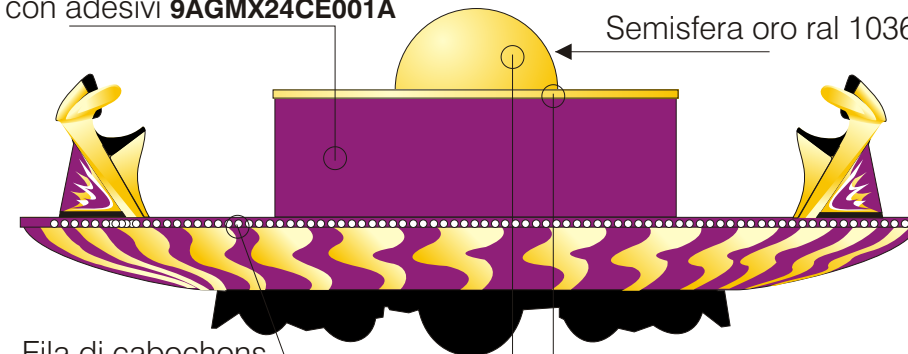
SKMX24F011A

MEGA DISK'O' 24

VISTA DA SOPRA

Sfondo ral 4008
con adesivi **9AGMX24CE001A**

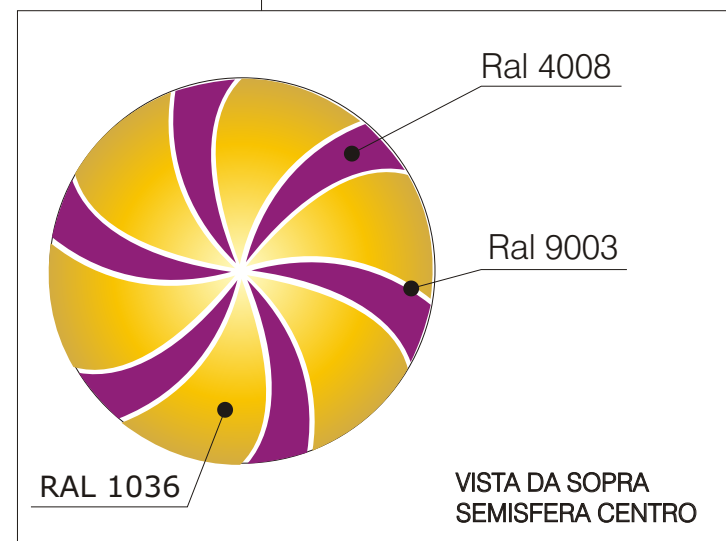
Semisfera oro ral 1036



Fila di cabochons
base trasparente
calotta opale

Oro ral 1036

- Ral 4008
- Ral 1036
- Ral 9003



Ral 4008

Ral 9003

RAL 1036

VISTA DA SOPRA
SEMISFERA CENTRO

VISTA DA SOTTO



SCHEDA COLORE N°2 : CENTRO
19 GENNAIO 2009

SKMX24F011A

MEGA DISK'O' 24

Assieme adesivi decoro centro : **9AGMX24CE001A**



Sviluppo centro

 Ral 4008

 Ral 1036

 Ral 9003



SCHEDA COLORE N° 3 :ADESIVI CENTRO
19 GENNAIO 2009

SKMX24F011A

MEGA DISK'O' 24



Adesivo VIOLA E FUXIA
sul musetto del soggetto
Alto 200 mm x 180 mm
Q.tà n° 24 totale
COD **9AGFB24SO037A**

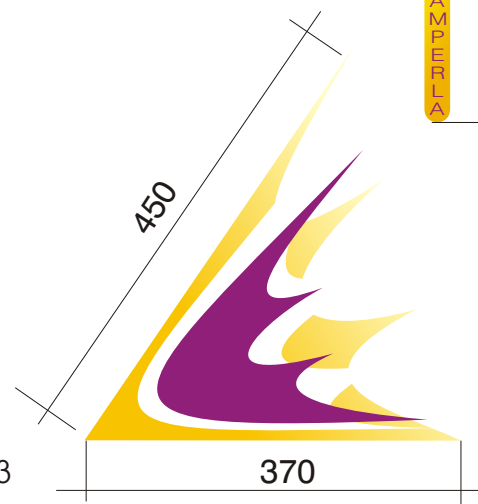


Targhetta sicurezza inglese
giallo e nero 100 x 26 mm
carattere Zurich BlkExBT
Q.tà n°24 da posizionare sui sedili
COD: **9A00000XX010A**



LOGO "ZAMPERLA" VERTICALE
logo Zamperla VIOLA RAL 4008
su fondino oro
H.240 MM x larg.34 mm
Q.TA' N° 40
COD: **9A00000ZA213A**

FASCIA DIPINTA



Adesivo a 3 colori:
ORO,BIANCO,FUXIA
q.tà n°2 per soggetto(DX-SX)
x n° 24 soggetti
COD.: **9AGFB24SO038A**

 Sedile e carter
ORO RAL 1036

 Fronte sedile
RAL 4008

 RAL 9003



SCHEDA COLORE N°4 : SOGGETTO
19 GENNAIO 2009

SKMX24F011A

MEGA DISK'O' 24



April 12, 2017

Bradley D. Priest
Senior Planner
Town of Huntersville
105 Gilead Road - Third Floor
Huntersville, NC 28070

Re: Lighting on the four outdoor Zamperla Rides at Frankie's of Huntersville

Dear Brad,

- The four Zamperla Rides will not have any Blinking or Flashing Lights
- The "Mega Disk'O' 24" ride and the "Discovery 360SQ" ride will have colored LED lights.
- The "Midi Family Swinger" ride and the "Midi Tea Cup 8MT" ride will have white LED lights.

If I can answer specific questions regarding the Zamperla rides, please feel free to contact me.

Best regards,

Ramon Rosario

CC: Doug Godley



June 8, 2017

Attn: Mr. Doug Godley
10261 Bryton Corp, CTR. Pkwy
Huntersville, NC 28078

RE: Lighting for Mega Disko and Midi Discovery

Dear Doug,

Confirming our phone conversation from today:

For job 17110 – Mega Disk'O, the lights can be turned off from backside of the ride reducing the number of lights by approximately 700 lights, or roughly 50,000 lumens.

For job 17109 – Midi Discovery 360, all 4 leg lights have a blank section and the lights will be oriented onto all 4 legs so that the section without lights will be facing the back of the property. This will point approximately 500 additional lights away from adjacent properties and reduce the amount of lumens facing the adjacent properties by approximately 36,000 lm. In addition, the circular sunburst sign facing the back side facing the adjacent property will not be turned on for an additional approximate reduction of 36,000 lumens.

Best regards,

A handwritten signature in blue ink, appearing to read 'Jay Crisler'.

Jay Crisler, P.E.
Head of Engineering and Service

Figure 54. Currently recommended illuminance categories and illuminance values for lighting design—targeted maintained levels.

The following table is a consolidated listing of the IESNA's current illuminance recommendations. This listing is intended to guide the designer in selecting an appropriate illuminance.

Guidance is provided in two forms: (1), in Parts I, II and III as an *Illuminance Category*, representing a range of illuminances; and (2), in Parts IV, V and VI as an *Illuminance Value*. Illuminance categories are represented by letter designations A through I. Illuminance Values are given in *lux* with equivalents in *footcandles* and as such are intended as *target* values with deviations expected. These target values also represent maintained values.

This table has been divided into six parts for ease of use. Part I lists both Illuminance Categories and Illuminance Values for generic types of interior activities and normally is to be used when Illuminance Categories for a specific Area/Activity cannot be found in Parts II and III. Parts IV, V and VI provide target maintained Illuminance Values for outdoor facilities, sports and recreational areas, and transportation vehicles where special considerations apply as discussed.

In all cases the recommendations in this table are based on the assumption that the lighting will be properly designed to take into account the visual characteristics of the task.

I. Illuminance Categories and Illuminance Values for Generic Types of Activities in Interiors

Type of Activity	Illuminance Category	Ranges of Illuminances		Reference Work-Plane
		Lux	Footcandles	
Public spaces with dark surroundings	A	20-30-50	2-3-5	General lighting throughout spaces
Simple orientation for short temporary visits	B	50-75-100	5-7.5-10	
Working spaces where visual tasks are only occasionally performed	C	100-150-200	10-15-20	
Performance of visual tasks of high contrast or large size	D	200-300-500	20-30-50	Illuminance on task
Performance of visual tasks of medium contrast or small size	E	500-750-1000	50-75-100	
Performance of visual tasks of low contrast or very small size	F	1000-1500-2000	100-150-200	
Performance of visual tasks of low contrast and very small size over a prolonged period	G	2000-3000-5000	200-300-500	Illuminance on task, obtained by a combination of general and local (supplementary lighting)
Performance of very prolonged and exacting visual task	H	5000-7500-10000	500-750-1000	
Performance of very special visual tasks of extremely low contrast and small size	I	10000-15000-20000	1000-1500-2000	

II. Commercial, Institutional, Residential and Public Assembly Interiors

Area/Activity	Illuminance Category	Area/Activity	Illuminance Category
Accounting (see Reading)		Churches and synagogues .. (see figure 57)	
Air terminals (see Transportation terminals)		Club and lodge rooms	
Armories	C ¹	Lounge and reading	D
Art galleries (see Museums)		Conference rooms	
Auditoriums		Conferring	D
Assembly	C ¹	Critical seeing (refer to individual task)	
Social activity	B	Court rooms	
Banks (also see Reading)		Seating area	C
Lobby		Court activity area	E ³
General	C	Dance halls and discotheques	B
Writing area	D	Depots, terminals and stations	
Tellers' stations	E ³	(see Transportation terminals)	
Barber shops and beauty parlors	E		

For footnotes, see end of table.

Figure 54 (continued)

V. Continued					
Area/Activity	Lux	Footcandles	Area/Activity	Lux	Footcandles
Professional	2000	200	Golf		
Amateur	1000	100	Tee	50	5
Seats during bout	20	2	Fairway ¹⁴	10-30	1-3
Seats before and after bout ..	50	5	Green	50	5
Casting—bait, dry-fly, wet-fly			Driving range		
Pier or dock	100	10	At 180 meters [200 yards] ¹⁴ ..	50	5
Target (at 24 meters [80 feet] for bait casting and 15 meters [50 feet] for wet or dry-fly casting) ¹⁴	50	5	Over tee area	100	10
Combination (outdoor)			Miniature	100	10
Baseball/football			Practice putting green	100	10
Infield	200	20	Gymnasiums (refer to individual sports listed)		
Outfield and football	150	15	General exercising and recreation	300	30
Industrial softball/football			Handball		
Infield	200	20	Tournament	500	50
Outfield and football	150	15	Club		
Industrial softball/6-man foot- ball	200	20	Indoor—four-wall or squash	300	30
Infield	200	20	Outdoor—two-court	200	20
Outfield and football	150	15	Recreational		
Croquet or Roque			Indoor—four-wall or squash	200	20
Tournament	100	10	Outdoor—two-court	100	10
Recreational	50	5	Hockey, field	200	20
Curling			Hockey, ice (indoor)		
Tournament			College or professional	1000	100
Teas	500	50	Amateur	500	50
Rink	300	30	Recreational	200	20
Recreational			Hockey, ice (outdoor)		
Teas	200	20	College or professional	500	50
Rink	100	10	Amateur	200	20
Fencing			Recreational	100	10
Exhibitions	500	50	Horse shoes		
Recreational	300	30	Tournament	100	10
Football			Recreational	50	5
Distance from nearest side- line to the farthest row of spectators			Horse shows	200	20
Class I Over 30 meters [100 feet]	1000	100	Jai-alai		
Class II 15 to 30 meters [50 to 100 feet]	500	50	Professional	1000	100
Class III 9 to 15 meters [30 to 50 feet]	300	30	Amateur	700	70
Class IV Under 9 meters [30 feet]	200	20	Lacrosse	200	20
Class V No fixed seating facilities	100	10	Playgrounds	50	5
It is generally conceded that the distance between the spectators and the play is the first consideration in deter- mining the class and lighting requirements. However, the potential seating capacity of the stands should also be considered and the following ratio is suggested: Class I for over 30,000 spectators; Class II for 10,000 to 30,000; Class III for 5000 to 10,000; and Class IV for under 5000 spectators.			Quoits	50	5
Football, Canadian—rugby (see Football)			Racing (outdoor)		
Football, six-man			Auto	200	20
High school or college	200	20	Bicycle		
Jr. high and recreational	100	10	Tournament	300	30
			Competitive	200	20
			Recreational	100	10
			Dog	300	30
			Dragstrip		
			Staging area	100	10
			Acceleration, 400 meters [1320 feet]	200	20
			Deceleration, first 200 meters [660 feet]	150	15
			Deceleration, second 200 meters [660 feet]	100	10
			Shutdown, 250 meters [820 feet]	50	5
			Horse	200	20
			Motor (midget of motorcycle) ..	200	20

For footnotes, see end of table.

From: Jack Simoneau
Sent: Wednesday, June 14, 2017 11:20 AM
To: Bradley Priest
Subject: PAS

I stopped at page 50

LIGHTING OF GASOLINE STATION/CONVENIENCE STORE APRONS/CANOPIES

The lighting of gasoline station and/or convenience store aprons has become a widespread lighting problem. These facilities have carried to the extreme the notion that being more brightly illuminated than neighboring properties attracts attention and business. This is particularly true when canopies over gasoline pump islands are installed. Lighting fixtures in the canopies produce very intense light (measured at over 100 foot-candles). In addition to excessive illumination levels, the light fixtures are frequently not adequately shielded, so that glare is produced which hinders visibility for drivers and pedestrians on nearby roadways. By addressing the problems of excessive illumination levels and glare, municipalities will also achieve positive impacts in terms of skyglow and energy efficiency/cost.

Gasoline Station/Convenience Store Lighting Issues

EXCESSIVE LIGHTING LEVELS:

In most gasoline station/convenience store situations, the apron consists of two parts: the area immediately around the gasoline pumps (and under the canopy if there is one), and the more remote area around the periphery of the apron. The former area is where more detailed vision is required for tending to the vehicle, operating the pumps, etc., and this may justify a higher level of illumination than needed in the outlying areas. The outlying areas are essentially used for vehicle storage or parking, and require levels of illumination equivalent to that used in parking lots.

Research on gasoline station lighting suggests that average illumination levels in excess of 10 foot-candles serve no purpose other than attracting attention to the site². The lighting guidelines offered by IESNA³ suggest an average illuminance level of 20 foot-candles.

Another source of excessive lighting is the illumination of canopy fascias at levels well above background levels. In a sense, this is an attempt to use the fascia as a large illuminated sign or billboard.

GLARE:

Glare from canopy lighting is caused primarily when a light fixture with a wide-angle diffusing lens projects below the bottom edge of the fixture. To avoid glare, light fixtures should be designed so that the rim of the fixture and/or the lens is shielded to prevent the fixture from projecting direct light to a cone no more than 85 degrees from the vertical.

Glare coming from light fixtures serving the apron area can be minimized by requiring the use of cut-off fixtures designed to direct light downward and away from adjacent properties.

COLOR:

Most owners and operators of gasoline stations prefer white light. White light is more inviting than yellow light, and color rendering is rarely a problem. If necessary, white light sources should be permitted or a minimum CRI of 90 should be required.

SKYGLOW:

By reducing the lighting levels and controlling the direction of light, skyglow can be eliminated, thus reducing the contribution of the station to the overall skyglow, even that which will be reduced by controlling the lighting of the surrounding area.

ENERGY EFFICIENCY/COST:

The primary impact of the suggested regulation is the reduction of overall illumination levels and the consequent reduction in energy consumption. While recessed fixtures may be more expensive than surface-mounted fixtures, fewer fixtures are required.

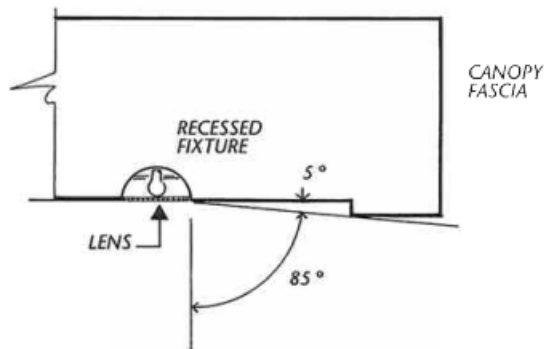
What follows is some suggested language to be incorporated into an outdoor lighting section of local zoning regulations for controlling lighting of gasoline station/convenience store aprons and canopies.

SAMPLE ZONING LANGUAGE

E. Lighting of Gasoline Station/Convenience Store Aprons and Canopies:

Lighting levels on gasoline station/ convenience store aprons and under canopies shall be adequate to facilitate the activities taking place in such locations. Lighting of such areas shall not be used to attract attention to the businesses. Signs allowed under the appropriate section of these regulations shall be used for that purpose.

- i. Areas on the apron away from the gasoline pump islands used for parking or vehicle storage shall be illuminated in accordance with the requirements for parking areas set forth elsewhere in this section. If no gasoline pumps are provided, the entire apron shall be treated as a parking area.
- ii. Areas around the pump islands and under canopies shall be illuminated so that the minimum horizontal illuminance at grade level is at least 1.0 foot-candle and no more than 5.5 foot-candles. The uniformity ratio (ratio of average to minimum



Gas pump canopy.

SAMPLE ZONING LANGUAGE



By using indirect lighting technology, light levels without glare. (PHOTO BY [unreadable])

illuminance) shall be no greater than 5.5 foot-candles, or of no more than 22.0 foot-candles.

iii. Light fixtures mounted on canopies shall be recessed or flush with the bottom of the canopy, and the beam of light shall be directed by the fixture or the edge of the canopy, and shall not be more than 85 degrees from vertical, as shown in the diagram.

iv. As an alternative (or supplement) to the above, lights may be used where light is beamed down from the bottom of the canopy. In this case light shall be directed by the fixture or the edge of the canopy, and shall not be more than 85 degrees from vertical, as shown in the diagram. Light is focused exclusively on the unpaved area.

v. Lights shall not be mounted on the sides (fascias) of the canopy shaft.

Presented below are some suggested regulations that might be incorporated into an outdoor lighting section of local zoning regulations if a community feels that illuminated exterior display/sales areas are current or potential problems.

SAMPLE ZONING LANGUAGE

F. Lighting of Exterior Display/Sales Areas:

Lighting levels on exterior display/sales areas shall be adequate to facilitate the activities taking place in such locations. Lighting of such areas shall not be used to attract attention to the businesses. Signs allowed under the appropriate section of these regulations shall be used for that purpose. The applicant shall designate areas to be considered display/sales areas and areas to be used as parking or passive vehicle storage areas. This designation must be approved by the Planning Commission.

- i. Areas designated as parking or passive vehicle storage areas shall be illuminated in accordance with the requirements for parking areas suggested elsewhere in this section.
- ii. Areas designated as exterior display/sales areas shall be illuminated so that the average horizontal illuminance at grade level is no more than 5.0 foot-candles. The uniformity ratio (ratio of average to minimum illuminance) shall be no greater than 4:1. The average and minimum shall be computed for only that area designated as exterior display/sales area.
- iii. Light fixtures shall meet the IESNA definition of cut-off fixtures, and shall be located, mounted, aimed, and shielded so that direct light is not cast onto adjacent streets or properties.
- iv. Fixtures shall be mounted no more than twenty-five (25) feet above grade, and mounting poles shall be located either inside the illuminated area or no more than ten (10) feet away from the outside edge of the illuminated area.

LIGHTING OF EXTERIOR SPORTS/PERFORMANCE FACILITIES

There are many types of outdoor sports/performance facilities that might be illuminated at nighttime use. The following are some general categories.

- Local recreation facilities (tennis courts, ice skating rinks) intended for use by residents and few, if any, spectators.
- Sports facilities designed not only for the participants but also significant numbers of spectators (major or minor league ball parks and high school ball fields).
- Facilities for outdoor stage presentations (amphitheaters, outdoor concert facilities, open air theaters) which include space for performers and spectators.

Each of these has its own unique lighting needs, and it is not practicable to attempt to address them all in local regulations. The IESNA *Lighting Handbook*⁴ has devoted an entire chapter to lighting outdoor sports and recreational areas, and even this reference recognizes that it is a highly specialized, technical field. Important variables include the type of facility, the number of spectators need to see not only the playing field but also the players, whether the game is played at or very near the playing surface (ice hockey) or substantially above it (basketball), the location of the playing area, and whether players typically look in few or all directions.

Lighting of these types of facilities can be highly visible. If not carefully designed, it can contribute to elevated general illumination levels in surrounding areas, create glare, contribute to skyglow. Careful design by qualified designers can ensure adequate lighting levels, minimal external effects of glare and light trespass, and overall cost efficiency.

With this in mind, local regulations should require the submission of a lighting plan by a qualified lighting designer, which explicitly documents the need for the level of lighting provided; demonstrates that the location, selection, and aiming of all lighting fixtures focus light on the playing areas; minimizes glare and visibility from neighboring areas; minimizes contributions to skyglow; and provides an energy- and cost-efficient overall lighting system.

MUNICIPAL REGULATION AND ORDINANCE

Jack Simoneau, AICP
Huntersville Planning Director
704-766-2211
105 Gilead Road
PO Box 664, Huntersville NC 28070

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Type	Voltage	Watts	Luminous efficacy (lm/W)	Luminous flux (lm)
Infinity 65	24	1.2	60	72
LED E10 - 32	24	0.7	60	42
LED E10 - 28	24	0.7	60	42
LED E10 - 22	24	0.7	60	42
LED E10 - 32	60	0.7	60	42
LED E10 - 28	60	0.7	60	42
LED E10 - 22	60	0.7	60	42
LED E14- 32	24	0.7	60	42
LED E14 - 28	24	0.7	60	42
LED E14 - 22	24	0.7	60	42
LED E14 - 32	60	0.7	60	42
LED E14 - 28	60	0.7	60	42
LED E14 - 22	60	0.7	60	42

Ride: Mega Disk'o 24						
	Lights	Type	Total Lumens	Optimal viewing Lumens	Approximate equivalent in 100W light bulbs	Approximate equivalent in 60W light bulbs
Gondola	1,280	Infinity 65	92,160	42,897	27	54
Track	1,472	Infinity 65	105,984	52,992	33	66
Notes:						
1. Track lighting is front and back. Only half of the lights are considered as optimal viewieg.						
2. Optimal viewing angle of gondola is taken from visible percentage from 100'. Percentage calculated by arc length of visible area/circumference.						
3. Calculation of optimal viewing takes into consideration the angle of view only. Lumens above refers to light emitted, not the amount of light that can be measured at a distance of 100'.						

Ride: Midi Family Swinger						
	Lights	Type	Lumens	Optimal viewing	Approximate equivalent in 100W light bulbs	Approximate equivalent in 60W light bulbs
Center	1,820	Caboled	76,440	38,220	24	48
Notes:						
1. Optimal viewing angle of ride center is taken from visible percentage from 100'. Percentage calculated by arc length of visible area/circumference.						
2. Calculation of optimal viewing takes into consideration the angle of view only. Lumens above refers to light emitted, not the amount of light that can be measured at a distance of 100'.						

Ride: Midi Tea Cup						
	Lights	Type	Lumens	Optimal viewing	Approximate equivalent in 100W light bulbs	Approximate equivalent in 60W light bulbs
Center	80	Caboled	3,360	1,680	1	2
Notes:						
1. Optimal viewing angle of ride center is taken from visible percentage from 100'. Percentage calculated by half since center piece is small.						
2. Calculation of optimal viewing takes into consideration the angle of view only. Lumens above refers to light emitted, not the amount of light that can be measured at a distance of 100'.						

Ride: Midi Discovery						
	Lights	Type	Lumens	Optimal viewing	Approximate equivalent in 100W light bulbs	Approximate equivalent in 60W light bulbs
Ball	40	Infinity 65	2,880	1,440	1	2
Signs	1,000	Infinity 65	72,000	36,000	23	45
Pendulum	400	Infinity 65	28,800	14,400	9	18
Legs	1,000	Infinity 65	72,000	36,000	23	45
Notes:						
1. Assume 50% of lights at 22.5 degrees						
2. Calculation of optimal viewing takes into consideration the angle of view only. Lumens above refers to light emitted, not the amount of light that can be measured at a distance of 100'.						
3. Actual counts may vary by 5%						

From: Doug Godley <dgodley@frankies.com>
Sent: Thursday, June 15, 2017 4:16 PM
To: Bradley Priest
Cc: Jack Simoneau; Austin Watts; Blake Day; Dipali Sheth; Carol Bacon; Drew Cheatham; Ken Simmons
Subject: Fwd: Savannah Hollies Landscape Screen for Zamperla Rides at Frankie's
Attachments: 2017 06 15_FFP Landscape_KBSA2133 L4-L5.pdf

Hello Brad:

We are going to replace the Red Cedars on our Landscape Plan with Savannah Hollies, shown in **red** on the attachment. These Savannah Hollies will be 20' Tall at installation and will mature at 40' Tall. This will provide a better Landscape Screen of our Zamperla Rides from the adjacent properties.

Drew Cheatham can answer specific questions about the Savannah Hollies.

I will ask Austin Watts to edit the Views from the Adjacent Properties to reflect these taller screening trees.

Thanks, Doug

----- Forwarded message -----

From: **Drew** <dcheatham@kbsala.com>
Date: Thu, Jun 15, 2017 at 3:12 PM
Subject: FRANKIES L4-L5
To: Doug Godley <dgodley@frankies.com>
Cc: Ken Simmons <ksimmons@kbsala.com>, billy <billy@haydensnursery.com>, Coker Plowden <cplowden@kbsala.com>

Doug,

Please see revised landscape plan for screening the proposed rides. We have specified *Ilex x attenuate* 'Savannah'/Savannah Holly to be installed at 20' in height.

Savannah Holly is an evergreen tree that reaches a height of 40' at maturity with a spread of 8'. The vertical growth habit should provide an adequate screen for rides without encroaching onto the concrete paving area.

After contacting several suppliers this is the largest available plant material that grows the tallest at maturity. Additionally this plant is on the approved plant list for Huntersville.

Please let me know if you have any questions.

Drew



Andrew M. Cheatham, PLA

KBSA – Landscape Architecture & Planning

2711 Middleburg Drive, Suite 210, Columbia, SC 29204

O: [803.254.3791](tel:803.254.3791) | C: [803.480.3257](tel:803.480.3257) | E: dcheatham@kbsala.com | www.kbsala.com

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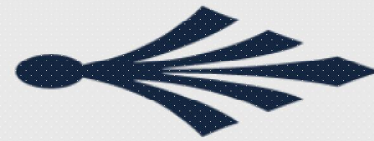
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Entertainment Concepts, Inc.



About Us

An internationally known Family Entertainment studies and design firm, **Entertainment Concepts, Inc.**, is uniquely qualified to provide you with continuous services from your preliminary concept development and initial planning stages through to final design and beyond.

Exceptional Services From Concept, Design, Construction and Beyond

- From the original concept development through studies, design, construction and beyond, Our firm provides experienced study and design services to assure a project that will be competitive and successful for years to come, including ongoing consulting services once your facility is up and running. Our team has expertise in:
- Family Entertainment Center Concepts and Design
- Amusement Park and Family Fun Park Design
- Feasibility Studies and Business Plans
- Theme Park Master Planning & Attraction Design
- Optimum Guest Flow Pattern Development
- Traffic Impact & Safety Studies
- Master Planning & Related Services
- Outdoor Go-kart Tracks
- Indoor Go-Kart Track
- Miniature golf courses
- Bumper boat Ponds
- Recreational Golf Course
- Driving Ranges
- Indoor Attractions



Engineering and Design Staff

Entertainment Concepts, Inc., provides engineers, designers with many years of experience in the development of outstanding attractions for our clients. Over the years, we have become an industry leader in the development of new and exciting concepts for go-kart tracks, miniature golf courses, bumper boat ponds and other attractions. All concepts are developed with safety and accessibility being of prime concern.

Representative Projects

Fort Frenzy - Fort Dodge, Iowa (Under Construction - Open Late Summer 2013)

Complete outdoor/indoor family entertainment center consisting of 25,000 square foot building (formerly industrial building) with 850 foot family road course go-kart track with electric (battery Powered go-karts) designed to operate in both directions, 18-hole miniature golf course (second 18-holes to be constructed next year), eight boat bumper boat pond with battle zone containing water cannon, outdoor stage and future plans for "Adult"slick road course go-kart track. The building contains 6-lane Highway 66 mini-bowling alley, laser tag, bumper cars, birthday party rooms, toddler area/parent's lounge, food service area ((Perky's Pizza), game room, skating rink and banquet hall.

Victory Fun Park - Lewisburg, Tennessee (Open Summer 2013)

The initial project, scheduled for opening in August consists of a nine-hole miniature golf course and parking lot plus a small club house & game room. A second nine -holes will be constructed in the spring of 2014 along with a dual WaterWars and a childrens play area.

Zoomers Amusement Park - Fort Myers, Florida (Opened June 15, 2012)

Complete outdoor/indoor family entertainment center consisting of 13,500 square foot building with 850 foot family road course go-kart track with 850 foot dual pit family road course go-kart track, 300 foot combination "Adult" slick road course/"Rookie" go-kart track, all designed to operate in both directions, an 18 hole ADA compliant miniature golf course, 10 boat bumper boat pond, dual WaterWars, midway with kiddie coaster, tilt-a-whirl, train ride, five flat rides, gem mine and amenities. The building contains birthday party rooms, roller ball miniature lane bowling, a game room, redemption center and food service. Project resurrected a failed (prior to opening in 2006) family amusement park that contained an elevated wood go-kart track and ground level go-kart track with a bridge. Both were demolished because of improper design and construction and replaced with the new tracks and miniature golf course.

Tree Top Family Adventure - Birmingham, Alabama (Opened May 1, 2010)

Complete outdoor/indoor family entertainment center consisting of 18,000 square foot building (formerly industrial building) with 850 foot family road course go-kart track with dual pits designed to operate in both directions, 18-hole ADA compliant miniature golf course with waterfall, stream and receiving pool and dual WaterWars. The building contains 4-lane Highway 66 mini-bowling alley, laser tag, laser maze, large softplay structure, toddler area/parents lounge, birthday party rooms, redemption center and food service area. Khoi Phat - Danang Vietnam (Scheduled opening 2014)

Khoi Phat Family Entertainment Center - Danang Vietnam (Scheduled Opening 2014)

Developed 750 foot indoor electric (battery powered) go-kart track on second floor of large food & entertainment facility, plus outdoor 14 boat bumper boat pond with Battle Zone and 1,000 foot river channel for boat school.

Fast Lane Family Fun Park - Cookeville, Tennessee (Opened October 2009)

First phase of family fun park containing 820 foot family road course go-kart track, 18 hole ADA compliant miniature golf course with waterfall stream and receiving pond, WaterWars, 3,000 square foot pavillion with refreshment stand and outdoor paint ball field.

Earlier Projects

In prior years the firm designed many other projects, including:

Complete FECs such as America's Action Territory in Bristol WI, Shakers Family Entertainment Center in Calgary Alberta, Sugar Grove in Sugar Grove, Illinois, The Park at Middletown KY, Caddie Shak in Donegal PA, Family First Sports Park in Erie PA, Qwivals Family Entertainment Center in Victor MT, Fast Lane Fun Park in Cookeville TN.

Representative Go-Kart (gocart, gokart) Track Clients include Hollywood Park in Crestwood IL, CJ Barrymores in Clinton Twp MI, Haunted Trails in Joliet IL, Crystal Lake in Rock Falls IL, Malibu SpeedZones in Dallas TX, Los Angeles CA and Kenesaw GA, Green Acres in San Antonio TX, Fast Lane Fun Park in Cookeville TN, The Fun Factory in Yuma AZ, The Park at Middletown KY, White Mountain Speedway in Tamworth NH, Frankies Fun Parks in Greenville and Raleigh SC, Qwivals Family Entertainment Center in Victor MT, Putt- Putt Golf and Games in Mandeville LA, Caddie Shak in Donegal PA, Shakers in Calgary Alberta, Sugar Grove Fun Park in Sugar Grove IL, Zoomers in Fort Myers FL, Family First Sports Park in Erie PA, Amazon Station in Janesville WI, America's Action Territory in Bristol WI, Stratford Speedway in Stratford CN, Skateland in Queensbury NY, Overlook Speedway in Poughkeepsie NY,

Representative miniature golf course clients include Zoomers Amusement Park in Fort Myers FL, Tree Top Family Adventure in Birmingham AL, Sugar Grove Fun Park in Sugar Grove IL, Qwivals Family Entertainment Center in Victor MT, Shakers Family Entertainment Center in Calgary Alberta, The Park at Middletown KY, Fun Zone in Geneva-on-the-Lake OH

Representative bumper boat pond clients include Sugar Grove Fun Park in Sugar Grove IL, The Park at Middletown KY, Amazon Station in Janesville WI, Caddy Shak in Donegal PA, Family First Sports Prk in Erie PA., Adventure Zone in Deep Creek Lake MD, America's Action Territory in Bristol WI,

FEC Feasibility Studies for clients in AL, CA, FL, IA, IL, GA, KS, MN, MT, OH, OR, PA, TN, TX, WA. WI

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Entertainment Concepts, Inc.

(847) 561-7013

info@fecdesigners.com



General Application

Incomplete submissions will not be accepted. Please check all items carefully.

1. Application Type

Please indicate the type of application you are submitting. If you are applying for two (2) actions, provide a separate application for each action. **In addition to the application, the submission process for each application type can be found at**

<http://www.huntersville.org/Departments/Planning/PermitsProcess.aspx>

- ☐ CHANGE OF USE
- ☐ COMMERCIAL SITE PLAN
- ☐ CONDITIONAL REZONING
- ☐ GENERAL REZONING
- ☐ MASTER SIGNAGE PROGRAM
- ☐ REVISION to _____
- ☐ SPECIAL USE PERMIT

SUBDIVISION CATEGORIES: *Per the Huntersville Subdivision Ordinance*

- ☐ SKETCH PLAN
- ☐ PRELIMINARY PLAN
- ☐ FINAL PLAT (includes minor and exempt plats)
- ☐ FINAL PLAT REVISION
- ☐ FARMHOUSE CLUSTER

2. Project Data

Date of Application _____

Name of Project _____ Phase # (if subdivision) _____

Location _____

Parcel Identification Number(s) (PIN) _____

Current Zoning District _____ Proposed District (for rezonings only) _____

Property Size (acres) _____ Street Frontage (feet) _____

Current Land Use _____

Proposed Land Use(s) _____

Is the project within Huntersville's corporate limits?

Yes _____ No _____ If no, does the applicant intend to voluntarily annex? _____

3. Description of Request

Briefly explain the nature of this request. If a separate sheet is necessary, please attach to this application.

4. Site Plan Submittals

Consult the particular type of *Review Process* for the application type selected above. These can be found at <http://www.huntersville.org/Departments/Planning/PermitsProcess.aspx>.

5. Outside Agency Information

Other agencies may have applications and fees associated with the land development process. The *Review Process* list includes plan documents needed for most town and county reviewing agencies.

For major subdivisions, commercial site plans, and rezoning petitions please enclose a copy of the Charlotte-Mecklenburg Utility *Willingness to Serve* letter for the subject property.

6. Signatures

*Applicant's Signature _____ Printed Name _____

Address of Applicant _____

Email _____

Property Owner's Signature (if different than applicant) _____

Printed Name _____

Property Owner's Address _____ Email _____

* Applicant hereby grants permission to the Town of Huntersville personnel to enter the subject property for any purpose required in processing this application.

Development Firm	Name of contact	Phone	Email
------------------	-----------------	-------	-------

Design Firm	Name of contact	Phone	Email
-------------	-----------------	-------	-------

If Applying for a General Rezoning:

Please provide the name and Address of owner(s) of fee simple title of **each** parcel that is included in this rezoning petition. If additional space is needed for signatures, attach an addendum to this application.

If Applying for a Conditional Rezoning:

Every owner of each parcel included in this rezoning petition, or the owner (s) duly authorized agent, must sign this petition. If signed by an agent, this petition **MUST** be accompanied by a statement signed by the property owner (s) and notarized, specifically authorizing the agent to act on the owner (s) behalf in filing this petition. Failure of each owner, or their duly authorized agent, to sign, or failure to include the authority of the agent signed by the property owner, will result in an INVALID PETITION. **If additional space is needed for signatures, attach an addendum to this application.**

Signature, name, firm, address, phone number and email of Duly Authorized Agent by owner needed below:

If Applying for a Subdivision:

By signature below, I hereby acknowledge my understanding that the Major Subdivision Sketch Plan Process is a quasi-judicial procedure and contact with the Board of Commissioners shall **only** occur under sworn testimony at the public hearing.

Contact Information

Town of Huntersville	Phone:	704-875-7000
Planning Department	Fax:	704-992-5528
PO Box 664	Physical Address:	105 Gilead Road, Third Floor
Huntersville, NC 28070	Website:	http://www.huntersville.org/Departments/Planning.aspx





Town of Huntersville
REQUEST FOR BOARD ACTION
7/17/2017

REVIEWED:

To: The Honorable Mayor and Board of Commissioners
From: Meredith Nesbitt
Subject: TA17-03, Section 1: Planning Board Term Limits

Text Amendment: TA17-03, Section 1 is a request by the Town of Huntersville Planning Board to amend Article 11.4.2(b).1 to modify the term limits for members from within the Town Limits.

ACTION RECOMMENDED:

Take final action.

FINANCIAL IMPLICATIONS:

None.

ATTACHMENTS:

Description	Type
❑ TA 17-03 Section 1 - TB Staff Report	Staff Report
❑ Attachment A - Application	Exhibit
❑ Attachment B - Proposed Ordinance	Exhibit
❑ Attachment C - Planning Board Term Limit Research	Exhibit

TA #17-03, Section 1: Planning Board Term Limits

PART 1: DESCRIPTION

Text Amendment, TA #17-03, is a three-part request. See Attachment A for application and Attachment B for proposed language.

Section 1 is by the Town of Huntersville Planning Board to amend Article 11.4.2(b).1 to modify the term limits for members from within the Town Limits. Section 1 is the subject of this staff report.

Section 2 is by the Town of Huntersville Planning Board to amend Article 11.4.7(b) to modify the number of times the Planning Board may defer action on a request.

Section 3 is by the Town of Huntersville (Planning Department) to amend Article 4: Lot and Building Type for Detached House to modify a reference to Transitional Residential sideyard setback, which was changed in Article 3 on February 6, 2017.

PART 2: BACKGROUND

Section 1 Background - Upon appointment to the Planning Board, members serve for a three-year term. In accordance with the current language of Article 11.4.2, (b) 1 “retiring members of the Planning Board are eligible for reappointment to succeed himself”. This means a member of the Planning Board could serve an unlimited amount of terms (if continuously reappointed by the Town Board) without a required waiting period between reappointments.

On March 28, 2017, the Town of Huntersville Planning Board discussed and voted to recommend a text amendment to modify term limits for planning board members within the Town Limits, which would limit retiring member’s eligibility for reappointment to two (2) additional three (3) year terms. Prior to recommending this text amendment the Planning Board reviewed seven local communities and found all seven communities set term limits for Planning Boards members, see attachment C for summary of research. If approved, Planning Board members would only be eligible to serve nine (9) consecutive years. Additional language would require members who retire or are not reappointed would have a twelve (12) month waiting period before being eligible for reappointment.

The HOAB reviewed the proposed amendment at their May 4, 2017 meeting and recommended approval of the proposed language.

PART 3: RELEVANT HUNTERSVILLE 2030 COMMUNITY PLAN AND APPLICABLE LONG RANGE PLAN SECTIONS

The following are examples of relevant policies from the 2030 Huntersville Community Plan that may be incorporated into the Board’s statement of consistency for approval or denial of the request.

Policy ED-14: Development Review Process – Support efforts to improve efficiency and responsiveness of development review process for development proposals.

PART 4: STAFF RECOMMENDATION

Staff recommends approval of all three sections of this text amendment requests as proposed in Attachment B based on:

- Consistency with policies of the 2030 Huntersville Community Plan listed in Part 3 of this staff report.
- Specific to Section 1 - Amending term limits for Planning Board members (within the Town Limits), would reduce membership stagnation and facilitate new members with new perspectives be added to the Planning Board.

PART 5: PUBLIC HEARING

The Public Hearing was held on June 5, 2017. Town Board raised concern that this amendment would be limiting the amount of time a citizen could volunteer their time to serve as a member of the Planning Board. No comments from the public were received.

PART 6: PLANNING BOARD RECOMMENDATION

The Planning Board reviewed this text amendment request on June 27, 2017. No comments from the public were received. Planning Board members discussed the concern raised by Town Board at the Public Hearing (June 5), at which time a motion was made to recommend denial of this text amendment request. The motion to recommend denial fail by a vote of 3-5.

A motion to recommend approval was made after further discussion regarding the pros and cons of term limits. The motion to recommend approval of this text amendment request passed with a vote of 5-3.

PART 7: ATTACHMENTS

Attachment A: Text Amendment Application

Attachment B: Proposed Ordinance

Attachment C: Planning Board Term Limit Research

PART 8: STATEMENT OF CONSISTENCY – TA #17-03, Section 1

Planning Department	Planning Board	Board of Commissioners
<p>APPROVAL: In considering the proposed amendment, TA 17-03, Section 1, to amend Article 11.4.2(b) 1 of the Zoning Ordinance, the Planning staff recommends approval of the request as presented based on the amendment being consistent with policy ED-14 of the Town of Huntersville 2030 Community Plan.</p> <p>It is reasonable and in the public interest to amend the Zoning Ordinance because, it facilitates periodical change of Planning Board members (within the Town Limits).</p>	<p>APPROVAL: In considering the proposed amendment, TA 17-03, Section 1, to amend Article 11.4.2(b) 1 of the Zoning Ordinance, the Planning Board recommends approval based on the amendment being consistent with Policy ED-14 of the 2030 Community Plan.</p> <p>It is reasonable and in the public interest to amend the Zoning Ordinance because periodic changes in the Planning Board members allows a balance of needs of experience membership, fresh ideas, and brings the Town of Huntersville Planning Board in line with the policies of other municipalities.</p>	<p>APPROVAL: In considering the proposed amendment, TA 17-03, Section 1, to amend Article 11.4.2(b) 1 of the Zoning Ordinance, the Town Board approves the request based on the amendment being consistent with <u>(insert applicable plan reference)</u></p> <p>It is reasonable and in the public interest to amend the Zoning Ordinance because...(Explain)</p>
		<p>DENIAL: In considering the proposed amendment, TA 17-03, Section 1, to amend Article 11.4.2(b) 1 of the Zoning Ordinance, the Town Board denies the request based on the amendment being (consistent OR inconsistent) with (insert applicable plan reference).</p> <p>It is not reasonable and in the public interest to amend the Zoning Ordinance because....(Explain)</p>



Text Amendment Application

Incomplete submissions will not be accepted.

Applicant Data

Date of Application 4/1/2017

Name Huntersville Planning Board

Address 105 Gilead Rd, 3rd Floor, Huntersville, NC 28078

Phone Number (home) 704-875-7000 (work) 704-875-7000

Email: mnesbitt@huntersville.org

Fee

Text Amendment to the Zoning/Subdivision Ordinance Fee \$400.00

Type of Change

☐ New Addition to text of Zoning Ordinance / Subdivision Ordinance / Other

☒ Revision/Modification to text of Zoning Ordinance / Subdivision Ordinance / Other

Description of Change (If possible, please provide a Word document of the proposed text change)

Proposed text amendment will affect the following:

Ordinance: Zoning Article: 4 and 11 Section: 4: Lot and Building Type for Detached House 11.4.2 (b) and 11.4.7(b) Current Text: See attachment

Proposed Text: See attachment

Reason for requested change (attach additional sheets if necessary): Request of Planning Board members and Town Staff.

NOTE: If the proposed text amendment effects property located along Hwy 73; is 2000 feet from an adjoining municipality, and/or the Mountain Island and Lake Norman Watersheds, additional peer review is required.

Signatures

I hereby certify that the information presented by me in this application is accurate to the best of my knowledge, information and belief.

Applicant Signature: *Meredith Nesbitt*

Date: 4/1/2017

Contact Information

Town of Huntersville
Planning Department
PO Box 664
Huntersville, NC 28070

Phone: 704-875-7000
Fax: 704-875-6546
Physical Address: 105 Gilead Road, Third Floor
Website: <http://www.huntersville.org/Departments/Planning.aspx>

AN ORDINANCE TO AMEND ARTICLE 4: Lot and Building Type for Detached House, 11.4.2(b).1, Planning Board Membership and 11.4.7(b) Planning Board Recommendation and Decision

Section 1. Be it ordained by the Board of Commissioners of the Town of Huntersville that the **Zoning Ordinance** is hereby amended as follows:

Article 4: Lot and Building Type for Detached House

Building Placement/Parking/Vehicle Access Type "A" Typical Condition All Residential

7. Sideyard setback is 12' in the R zone & 6' in the TR zone.

11.4.2(b).1, Memberships From Within the Town Limits

b) Membership.

1) Members From Within the Town Limits.

Each member shall be appointed by the Town Board for a term of three years. In appointing the original members or in the filling of vacancies caused by the expiration of the terms of existing members, the Town Board may appoint certain members for less than three years to the end that thereafter the terms of all members shall not expire at the same time. The expiration date for each term shall be the 30th day of June of the year in which said term is to expire and the term of office of the succeeding member shall begin on the 1st day of July. If the original members are appointed such that their terms of office begin prior to a July 1 date, such terms of original members shall be extended by the period of time between their appointment and June 30 of the year of their appointment, it being the intent of this proviso that original members shall serve terms of one, two, or three years plus a period of time between their initial appointments and June 30 of the year of their initial appointments. A retiring member shall be eligible ~~for reappointment to succeed himself~~ **to be reappointed for two additional three (3) year terms. A member serving a partial term will be eligible to be appointed for three (3) additional terms – allowing partial terms to be added onto the term limits. Members who retire or are not reappointed will have a twelve (12) month waiting period before being eligible for reappointment.** For purposes of this section, original appointments refer to members appointed upon first establishment of the Planning Board, and also to members appointed to newly created seats upon any expansion of the Planning Board.

11.4.7(b) Recommendation and Decision

- (b) No proposed amendment shall be approved unless it is first submitted to the Planning Board for a recommendation. The Planning Board may defer action on a request ~~one time~~ **two times** for one of the following reasons: the public hearing remains open; ordinance required information is not completed; the petitioner agrees and/or requests a deferral. If the Planning Board does not make a written recommendation to approve, approve with conditions, deny, or recommend Town Board defer a decision on the proposed amendment at their initial meeting, or in the case of deferral, their next regularly scheduled meeting, then the Planning Board shall be considered to have recommended deferral for additional deliberation. The petition, along with the recommendation of the Planning Board, shall be placed on the agenda of the Town Board at its next regular zoning meeting.

In making its written recommendation, the Planning Board shall advise and comment on whether the proposed amendment is consistent with the adopted Huntersville Community Plan and other adopted long range plans that are applicable. The Planning Board shall provide a written recommendation to the Town Board that addresses plan consistency and other matters as deemed appropriate by the Planning Board, but a comment by the Planning Board that a proposed amendment is inconsistent with adopted plans shall not preclude consideration or approval of the proposed amendment by the Town Board.

Section 2. That this ordinance shall become effective upon adoption.

LAND DEVELOPMENT ADVISORY BOARD: May 5, 2017

LAND DEVELOPMENT ADVISORY BOARD RECOMMENDATION: Approval

PUBLIC HEARING DATE: June 5, 2017

PLANNING BOARD MEETING: June 27, 2017

PLANNING BOARD RECOMMENDATION:

TOWN BOARD DECISION:

**AN ORDINANCE TO AMEND ARTICLE 4: Lot and Building Type for Detached House,
11.4.2(b).1, *Planning Board Membership* and 11.4.7(b) *Planning Board Recommendation
and Decision***

Section 1. Be it ordained by the Board of Commissioners of the Town of Huntersville that the **Zoning Ordinance** is hereby amended as follows:

Article 11.4.2(b).1, Memberships From Within the Town Limits

b) Membership.

1) Members From Within the Town Limits.

Each member shall be appointed by the Town Board for a term of three years. In appointing the original members or in the filling of vacancies caused by the expiration of the terms of existing members, the Town Board may appoint certain members for less than three years to the end that thereafter the terms of all members shall not expire at the same time. The expiration date for each term shall be the 30th day of June of the year in which said term is to expire and the term of office of the succeeding member shall begin on the 1st day of July. If the original members are appointed such that their terms of office begin prior to a July 1 date, such terms of original members shall be extended by the period of time between their appointment and June 30 of the year of their appointment, it being the intent of this proviso that original members shall serve terms of one, two, or three years plus a period of time between their initial appointments and June 30 of the year of their initial appointments. A retiring member shall be eligible ~~for reappointment to succeed himself~~ **to be reappointed for two additional three (3) year terms. A member serving a partial term will be eligible to be appointed for three (3) additional terms – allowing partial terms to be added onto the term limits. Members who retire or are not reappointed will have a twelve (12) month waiting period before being eligible for reappointment.** For purposes of this section, original appointments refer to members appointed upon first establishment of the Planning Board, and also to members appointed to newly created seats upon any expansion of the Planning Board.

Section 2. Be it ordained by the Board of Commissioners of the Town of Huntersville that the **Zoning Ordinance** is hereby amended as follows:

Article 11.4.7(b) Recommendation and Decision

- (b) No proposed amendment shall be approved unless it is first submitted to the Planning Board for a recommendation. The Planning Board may defer action on a request ~~one time~~ **two times** for one of the following reasons: the public hearing remains open; ordinance required information is not completed; the petitioner agrees and/or requests a deferral. If the Planning Board does not make a written recommendation to approve, approve with conditions, deny, or recommend Town Board defer a decision on the proposed amendment at their initial meeting, or in the case of deferral, their next regularly scheduled meeting, then the Planning Board shall be considered to have recommended deferral for additional deliberation. The petition, along with the recommendation of the Planning Board, shall be placed on the agenda of the Town Board at its next regular zoning meeting.

In making its written recommendation, the Planning Board shall advise and comment on whether the proposed amendment is consistent with the adopted Huntersville Community Plan and other adopted long range plans that are applicable. The Planning Board shall provide a written recommendation to the Town Board that addresses plan consistency and other matters as deemed appropriate by the Planning Board, but a comment by the Planning Board that a proposed

amendment is inconsistent with adopted plans shall not preclude consideration or approval of the proposed amendment by the Town Board.

Section 3. Be it ordained by the Board of Commissioners of the Town of Huntersville that the **Zoning Ordinance** is hereby amended as follows:

Article 4: Lot and Building Type for Detached House

Building Placement/Parking/Vehicle Access Type "A" Typical Condition All Residential

7. Sideyard setback is 12' in the R zone & ~~8'~~ 6' in the TR zone.

Section 4. That this ordinance shall become effective upon adoption.

HUNTERSVILLE ORDINANCES ADVISORY BOARD: May 4, 2017; Approval

PUBLIC HEARING DATE: June 5, 2017

PLANNING BOARD MEETING: June 27, 2017

PLANNING BOARD RECOMMENDATION:

TOWN BOARD DECISION:

Attachment C: Planning Board Term
Limit Research

Town or City	PB Term Limit	Standard	Location of Standards
Belmont	Yes	Planning Board member terms shall be staggered. To allow for staggered terms, three (3) initial appointments will be for terms of three (3) years; three (3) initial appointments will be for terms of two (2) years; and two (2) initial appointments will be for terms of one (1) year. Following the initial appointments, Planning Board terms shall be three (3) years. An appointee to the Planning Board shall not serve more than two (2) consecutive terms or a CHAPTER 19: BOARDS AND COMMISSIONS Belmont Land Development Code as Amended 9/2/14 Page 19 - 2 maximum of seven and a half (7.5) years if a member has filled an unexpired term, after which a member must wait three (3) years before being eligible for reappointment. Vacancies occurring for reasons other than expiration of terms shall be filled as they occur for the period of the unexpired term. The Planning Board shall elect its chair from among its members. The chair shall serve a maximum of two (2) consecutive one (1) year terms. An ETJ member may be elected to serve as chair on a basis that is proportional to the number of ETJ members serving on the Board	Zoning Ordinance
Concord	Yes	All members shall serve a term of three (3) years. A member may be reappointed for a second consecutive term. After two (2) consecutive terms, a member shall be ineligible for reappointment until one calendar year has elapsed from the date of termination of the second term.	Zoning Ordinance
Cornelius	Yes	Members can serve a maximum of two consecutive terms (terms are 3 years). Then may be eligible or appointment again after at least one year lapse in service. ETJ member is the exception.	Planning Board By-Laws
Davidson	Yes	Members are allowed to serve two consecutive terms. There is no limit on the number of terms over a lifetime that a member may serve; but they must take a break after two consecutive terms. This policy was put in place by an official action by our Board of Commissioners earlier this year. It will be included in our Planning Board by-laws when they are updated for 2017.	Planning Board By-Laws – that will be updated in 2017
Kannapolis	Yes	Planning and Zoning Commission member has a term limit of 3 years. They also cannot serve more than three consecutive terms (or 9 years).	Boards and Commission Policy (effective 2012)
Charlotte	Yes	Charlotte-Mecklenburg Planning Commissioner terms are for 3 years. Commissioners can serve 2 three-year terms. However, if a Commissioner is appointed to fill an unexpired term, he or she can complete the unexpired term and then serve their 2 three-year terms. When this occurs, depending on the length of the unexpired term, a Commissioner can serve close to 9 nine years	Unknown at this time, have emailed contact in Charlotte to follow up on information given.
Matthews	Yes	Planning Board members shall be eligible for reappointment for a maximum of two (2) consecutive terms, at which point they would not be eligible for reappointment for at least one (1) year. An appointment to fill a vacancy on the Board will be for the remainder of the unexpired term. Further, all members shall be appointed to terms of two (2) years staggered so that terms overlap.	Zoning Ordinance

Town of Huntersville
REQUEST FOR BOARD ACTION
7/17/2017

REVIEWED:

To: The Honorable Mayor and Board of Commissioners
From: Meredith Nesbitt
Subject: TA17-03, Section 2: Planning Board Deferrals

Text Amendment: TA17-03, Section 2, is a request by the Town of Huntersville Planning Board to amend Article 11.4.7(b) to modify the number of times the Planning Board may defer action on a request.

ACTION RECOMMENDED:

Take final action.

FINANCIAL IMPLICATIONS:

None.

ATTACHMENTS:

Description	Type
☐ TA 17-03, Section 2 - TB Staff Report	Staff Report
☐ Attachment A - Application	Exhibit
☐ Attachment B - Proposed Ordinance	Exhibit

TA #17-03, Section 2: Planning Board Deferrals

PART 1: DESCRIPTION

Text Amendment, TA #17-03, is a three-part request. See Attachment A for application and Attachment B for proposed language.

Section 1 is by the Town of Huntersville Planning Board to amend Article 11.4.2(b).1 to modify the term limits for members from within the Town Limits.

Section 2 is by the Town of Huntersville Planning Board to amend Article 11.4.7(b) to modify the number of times the Planning Board may defer action on a request. Section 2 is the subject of this staff report.

Section 3 is by the Town of Huntersville (Planning Department) to amend Article 4: Lot and Building Type for Detached House to modify a reference to Transitional Residential sideyard setback, which was changed in Article 3 on February 6, 2017.

PART 2: BACKGROUND

Section 2 Background - Under the current language of Article 11.4.7 (b) the Planning Board may defer action on a request one time for the following reasons:

- Public hearing remains open
- Ordinance required information is not completed
- The petitioner agrees and/or request a deferral

The current Planning Board deferral language would allow the petitioner to request a deferral and when the item returned to the Planning Board would require members to take action on the request even if another deferral options was applicable. For example, if a petitioner requests to defer Planning Board action but comes to the next Planning Board meeting with an application that does not have all the Ordinance required information, the Planning Board would be required to take action. In some recent cases, the Planning Board recommended the Town Board send a project back to Planning Board for additional review. To reduce the potential for this “loop effect”, the Planning Board discussed and voted (March 28, 2017) to recommend a text amendment allowing the Planning Board to defer action on a request two (2) times for the same reasons listed above.

The HOAB reviewed the proposed amendment at their May 4, 2017 meeting and recommended approval of the proposed language.

PART 3: RELEVANT HUNTERSVILLE 2030 COMMUNITY PLAN AND APPLICABLE LONG RANGE PLAN SECTIONS

The following are examples of relevant polices from the 2030 Huntersville Community Plan that may be incorporated into the Board’s statement of consistency for approval or denial of the request.

Policy ED-14: Development Review Process – Support efforts to improve efficiency and responsiveness of development review process for development proposals.

PART 4: STAFF RECOMMENDATION

Staff recommends approval of all three sections of this text amendment requests as proposed in Attachment B based on:

- Consistency with policies of the 2030 Huntersville Community Plan listed in Part 3 of this staff report.
- Specific to Section 2 - Amending Planning Board deferrals allows the Planning Board the ability to defer action even after a petitioner requested deferral.

PART 5: PUBLIC HEARING

The Public Hearing was held on June 5, 2017. Town Board raised concern that this amendment would add to the average time it takes to process a request (rezoning, subdivision sketch plan, text amendment, etc.). No comments from the public were received.

PART 6: PLANNING BOARD RECOMMENDATION

The Planning Board reviewed this text amendment request on June 27, 2017. No comments from the public were received. Planning Board voted (8-0) to recommend approval of this text amendment request.

PART 7: ATTACHMENTS

Attachment A: Text Amendment Application

Attachment B: Proposed Ordinance

PART 8: STATEMENT OF CONSISTENCY – TA #17-03, Section 2

Planning Department	Planning Board	Board of Commissioners
<p>APPROVAL: In considering the proposed amendment, TA 17-03, Section 2, to amend Article 11.4.7(b) of the Zoning Ordinance, the Planning staff recommends approval of the request as presented based on the amendment being consistent with policy ED-14 of the Town of Huntersville 2030 Community Plan.</p> <p>It is reasonable and in the public interest to amend the Zoning Ordinance, because this amendment allows Planning Board the ability to defer actions after a petitioner has requested a deferral if the request meets an established reasons for deferral.</p>	<p>APPROVAL: In considering the proposed amendment, TA 17-03, Section 2, to amend Article 11.4.7(b) of the Zoning Ordinance, the Planning Board recommends approval based on the amendment being consistent with the 2030 Community Plan.</p> <p>It is reasonable and in the public interest to amend the Zoning Ordinance because, it approves the efficiency and responsiveness of development review process for development proposals.</p>	<p>APPROVAL: In considering the proposed amendment, TA 17-03, Section 2, to amend Article 11.4.7(b) of the Zoning Ordinance, the Town Board approves the request based on the amendment being consistent with <u>(insert applicable plan reference)</u></p> <p>It is reasonable and in the public interest to amend the Zoning Ordinance because...(Explain)</p>
		<p>DENIAL: In considering the proposed amendment, TA 17-03, Section 2, to amend Article 11.4.7(b) of the Zoning Ordinance, the Town Board denies the request based on the amendment being (consistent OR inconsistent) with (insert applicable plan reference).</p> <p>It is not reasonable and in the public interest to amend the Zoning Ordinance because....(Explain)</p>



Text Amendment Application

Incomplete submissions will not be accepted.

Applicant Data

Date of Application 4/1/2017

Name Huntersville Planning Board

Address 105 Gilead Rd, 3rd Floor, Huntersville, NC 28078

Phone Number (home) 704-875-7000 (work) 704-875-7000

Email: mnesbitt@huntersville.org

Fee

Text Amendment to the Zoning/Subdivision Ordinance Fee \$400.00

Type of Change

☐ New Addition to text of Zoning Ordinance / Subdivision Ordinance / Other

☒ Revision/Modification to text of Zoning Ordinance / Subdivision Ordinance / Other

Description of Change (If possible, please provide a Word document of the proposed text change)

Proposed text amendment will affect the following:

Ordinance: Zoning Article: 4 and 11 Section: 4: Lot and Building Type for Detached House 11.4.2 (b) and 11.4.7(b) Current Text: See attachment

Proposed Text: See attachment

Reason for requested change (attach additional sheets if necessary): Request of Planning Board members and Town Staff.

NOTE: If the proposed text amendment effects property located along Hwy 73; is 2000 feet from an adjoining municipality, and/or the Mountain Island and Lake Norman Watersheds, additional peer review is required.

Signatures

I hereby certify that the information presented by me in this application is accurate to the best of my knowledge, information and belief.

Applicant Signature: *Meredith Nesbitt*

Date: 4/1/2017

Contact Information

Town of Huntersville
Planning Department
PO Box 664
Huntersville, NC 28070

Phone: 704-875-7000
Fax: 704-875-6546
Physical Address: 105 Gilead Road, Third Floor
Website: <http://www.huntersville.org/Departments/Planning.aspx>

AN ORDINANCE TO AMEND ARTICLE 4: Lot and Building Type for Detached House, 11.4.2(b).1, Planning Board Membership and 11.4.7(b) Planning Board Recommendation and Decision

Section 1. Be it ordained by the Board of Commissioners of the Town of Huntersville that the **Zoning Ordinance** is hereby amended as follows:

Article 4: Lot and Building Type for Detached House

Building Placement/Parking/Vehicle Access Type "A" Typical Condition All Residential

7. Sideyard setback is 12' in the R zone & 6' in the TR zone.

11.4.2(b).1, Memberships From Within the Town Limits

b) Membership.

1) Members From Within the Town Limits.

Each member shall be appointed by the Town Board for a term of three years. In appointing the original members or in the filling of vacancies caused by the expiration of the terms of existing members, the Town Board may appoint certain members for less than three years to the end that thereafter the terms of all members shall not expire at the same time. The expiration date for each term shall be the 30th day of June of the year in which said term is to expire and the term of office of the succeeding member shall begin on the 1st day of July. If the original members are appointed such that their terms of office begin prior to a July 1 date, such terms of original members shall be extended by the period of time between their appointment and June 30 of the year of their appointment, it being the intent of this proviso that original members shall serve terms of one, two, or three years plus a period of time between their initial appointments and June 30 of the year of their initial appointments. A retiring member shall be eligible ~~for reappointment to succeed himself~~ **to be reappointed for two additional three (3) year terms. A member serving a partial term will be eligible to be appointed for three (3) additional terms – allowing partial terms to be added onto the term limits. Members who retire or are not reappointed will have a twelve (12) month waiting period before being eligible for reappointment.** For purposes of this section, original appointments refer to members appointed upon first establishment of the Planning Board, and also to members appointed to newly created seats upon any expansion of the Planning Board.

11.4.7(b) Recommendation and Decision

- (b) No proposed amendment shall be approved unless it is first submitted to the Planning Board for a recommendation. The Planning Board may defer action on a request ~~one time~~ **two times** for one of the following reasons: the public hearing remains open; ordinance required information is not completed; the petitioner agrees and/or requests a deferral. If the Planning Board does not make a written recommendation to approve, approve with conditions, deny, or recommend Town Board defer a decision on the proposed amendment at their initial meeting, or in the case of deferral, their next regularly scheduled meeting, then the Planning Board shall be considered to have recommended deferral for additional deliberation. The petition, along with the recommendation of the Planning Board, shall be placed on the agenda of the Town Board at its next regular zoning meeting.

In making its written recommendation, the Planning Board shall advise and comment on whether the proposed amendment is consistent with the adopted Huntersville Community Plan and other adopted long range plans that are applicable. The Planning Board shall provide a written recommendation to the Town Board that addresses plan consistency and other matters as deemed appropriate by the Planning Board, but a comment by the Planning Board that a proposed amendment is inconsistent with adopted plans shall not preclude consideration or approval of the proposed amendment by the Town Board.

Section 2. That this ordinance shall become effective upon adoption.

LAND DEVELOPMENT ADVISORY BOARD: May 5, 2017

LAND DEVELOPMENT ADVISORY BOARD RECOMMENDATION: Approval

PUBLIC HEARING DATE: June 5, 2017

PLANNING BOARD MEETING: June 27, 2017

PLANNING BOARD RECOMMENDATION:

TOWN BOARD DECISION:

**AN ORDINANCE TO AMEND ARTICLE 4: Lot and Building Type for Detached House,
11.4.2(b).1, *Planning Board Membership* and 11.4.7(b) *Planning Board Recommendation
and Decision***

Section 1. Be it ordained by the Board of Commissioners of the Town of Huntersville that the **Zoning Ordinance** is hereby amended as follows:

Article 11.4.2(b).1, Memberships From Within the Town Limits

b) Membership.

1) Members From Within the Town Limits.

Each member shall be appointed by the Town Board for a term of three years. In appointing the original members or in the filling of vacancies caused by the expiration of the terms of existing members, the Town Board may appoint certain members for less than three years to the end that thereafter the terms of all members shall not expire at the same time. The expiration date for each term shall be the 30th day of June of the year in which said term is to expire and the term of office of the succeeding member shall begin on the 1st day of July. If the original members are appointed such that their terms of office begin prior to a July 1 date, such terms of original members shall be extended by the period of time between their appointment and June 30 of the year of their appointment, it being the intent of this proviso that original members shall serve terms of one, two, or three years plus a period of time between their initial appointments and June 30 of the year of their initial appointments. A retiring member shall be eligible ~~for reappointment to succeed himself~~ **to be reappointed for two additional three (3) year terms. A member serving a partial term will be eligible to be appointed for three (3) additional terms – allowing partial terms to be added onto the term limits. Members who retire or are not reappointed will have a twelve (12) month waiting period before being eligible for reappointment.** For purposes of this section, original appointments refer to members appointed upon first establishment of the Planning Board, and also to members appointed to newly created seats upon any expansion of the Planning Board.

Section 2. Be it ordained by the Board of Commissioners of the Town of Huntersville that the **Zoning Ordinance** is hereby amended as follows:

Article 11.4.7(b) Recommendation and Decision

- (b) No proposed amendment shall be approved unless it is first submitted to the Planning Board for a recommendation. The Planning Board may defer action on a request ~~one time~~ **two times** for one of the following reasons: the public hearing remains open; ordinance required information is not completed; the petitioner agrees and/or requests a deferral. If the Planning Board does not make a written recommendation to approve, approve with conditions, deny, or recommend Town Board defer a decision on the proposed amendment at their initial meeting, or in the case of deferral, their next regularly scheduled meeting, then the Planning Board shall be considered to have recommended deferral for additional deliberation. The petition, along with the recommendation of the Planning Board, shall be placed on the agenda of the Town Board at its next regular zoning meeting.

In making its written recommendation, the Planning Board shall advise and comment on whether the proposed amendment is consistent with the adopted Huntersville Community Plan and other adopted long range plans that are applicable. The Planning Board shall provide a written recommendation to the Town Board that addresses plan consistency and other matters as deemed appropriate by the Planning Board, but a comment by the Planning Board that a proposed

amendment is inconsistent with adopted plans shall not preclude consideration or approval of the proposed amendment by the Town Board.

Section 3. Be it ordained by the Board of Commissioners of the Town of Huntersville that the **Zoning Ordinance** is hereby amended as follows:

Article 4: Lot and Building Type for Detached House

Building Placement/Parking/Vehicle Access Type "A" Typical Condition All Residential

7. Sideyard setback is 12' in the R zone & ~~8'~~ 6' in the TR zone.

Section 4. That this ordinance shall become effective upon adoption.

HUNTERSVILLE ORDINANCES ADVISORY BOARD: May 4, 2017; Approval

PUBLIC HEARING DATE: June 5, 2017

PLANNING BOARD MEETING: June 27, 2017

PLANNING BOARD RECOMMENDATION:

TOWN BOARD DECISION:

Town of Huntersville
REQUEST FOR BOARD ACTION
7/17/2017

REVIEWED:

To: The Honorable Mayor and Board of Commissioners
From: Meredith Nesbitt
Subject: TA17-03, Section 3: TR Sideyard Setback in Article 4

Text Amendment: TA17-03, Section 3 is a request by the Town of Huntersville to amend Article 4: Lot and Building Type for Detached House to modify a reference to Transitional Residential sideyard setback, which was changed on February 6, 2017.

ACTION RECOMMENDED:

Take final action.

FINANCIAL IMPLICATIONS:

None.

ATTACHMENTS:

Description	Type
▣ TA 17-03 Section 3 - TB Staff Report	Staff Report
▣ Attachment A - Application	Exhibit
▣ Attachment B - Proposed Ordinance	Exhibit

TA #17-03, Section 3: Sideyard Setback in Article 4

PART 1: DESCRIPTION

Text Amendment, TA #17-03, is a three-part request. See Attachment A for application and Attachment B for proposed language.

Section 1 is by the Town of Huntersville Planning Board to amend Article 11.4.2(b).1 to modify the term limits for members from within the Town Limits.

Section 2 is by the Town of Huntersville Planning Board to amend Article 11.4.7(b) to modify the number of times the Planning Board may defer action on a request.

Section 3 is by the Town of Huntersville (Planning Department) to amend Article 4: Lot and Building Type for Detached House to modify a reference to Transitional Residential sideyard setback, which was changed in Article 3 on February 6, 2017. Section 3 is the subject of this staff report.

PART 2: BACKGROUND

Section 3 Background - On February 6, 2017, the Town Board approved a text amendment modifying Article 3.2.2(d), Transitional Residential (TR) zoning district lot sized, lot widths, and the required sideyard setback. The approved February 2017 text amendment reduced the TR sideyard setback from 8' to 6' in Article 3. However, Article 4, Lot and Building Type for Detached House has a reference to the TR side yard setback that was not amended with the February 2017 request. Planning Staff has initiated this request to clean up the Article 4 side yard setback reference.

The HOAB reviewed the proposed amendment at their May 4, 2017 meeting and recommended approval of the proposed language.

PART 3: RELEVANT HUNTERSVILLE 2030 COMMUNITY PLAN AND APPLICABLE LONG RANGE PLAN SECTIONS

The following are examples of relevant policies from the 2030 Huntersville Community Plan that may be incorporated into the Board's statement of consistency for approval or denial of the request.

Policy ED-14: Development Review Process – Support efforts to improve efficiency and responsiveness of development review process for development proposals.

PART 4: STAFF RECOMMENDATION

Staff recommends approval of all three sections of this text amendment requests as proposed in Attachment B based on:

- Consistency with policies of the 2030 Huntersville Community Plan listed in Part 3 of this staff report.
- Article 4 Lot and Building Type for Detached House cleans up crossed referenced requirements in the Town's Zoning Ordinance.

PART 5: PUBLIC HEARING

The Public Hearing was held on June 5, 2017. No comments from the public or Town Board members were received.

PART 6: PLANNING BOARD RECOMMENDATION

The Planning Board reviewed this text amendment request on June 27, 2017. No comments from the public were received. Planning Board voted (8-0) to recommend approval of this text amendment request.

PART 7: ATTACHMENTS

Attachment A: Text Amendment Application

Attachment B: Proposed Ordinance

PART 8: STATEMENT OF CONSISTENCY – TA #17-03, Section 3

Planning Department	Planning Board	Board of Commissioners
<p>APPROVAL: In considering the proposed amendment, TA 17-03, Section 3, to amend Article 4 of the Zoning Ordinance, the Planning staff recommends approval of the request as presented based on the amendment being consistent with policy ED-14 of the Town of Huntersville 2030 Community Plan.</p> <p>It is reasonable and in the public interest to amend, the Zoning Ordinance because this amendment cleans up crossed referenced requirements.</p>	<p>APPROVAL: In considering the proposed amendment, TA 17-03, Section 3, to amend Article 4 of the Zoning Ordinance, the Planning Board recommends approval based on the amendment being consistent with the 2030 Community Plan.</p> <p>It is reasonable and in the public interest to amend the Zoning Ordinance because this amendment makes the remaining Ordinance consistent.</p>	<p>APPROVAL: In considering the proposed amendment, TA 17-03, Section 3, to amend Article 4 of the Zoning Ordinance, the Town Board approves the request based on the amendment being consistent with <u>(insert applicable plan reference)</u></p> <p>It is reasonable and in the public interest to amend the Zoning Ordinance because...<i>(Explain)</i></p>
		<p>DENIAL: In considering the proposed amendment, TA 17-03, Section 3, to amend Article 4 of the Zoning Ordinance, the Town Board denies the request based on the amendment being (consistent OR inconsistent) with (insert applicable plan reference).</p> <p>It is not reasonable and in the public interest to amend the Zoning Ordinance because....<i>(Explain)</i></p>



Text Amendment Application

Incomplete submissions will not be accepted.

Applicant Data

Date of Application 4/1/2017

Name Huntersville Planning Board

Address 105 Gilead Rd, 3rd Floor, Huntersville, NC 28078

Phone Number (home) 704-875-7000 (work) 704-875-7000

Email: mnesbitt@huntersville.org

Fee

Text Amendment to the Zoning/Subdivision Ordinance Fee \$400.00

Type of Change

☐ New Addition to text of Zoning Ordinance / Subdivision Ordinance / Other

☒ Revision/Modification to text of Zoning Ordinance / Subdivision Ordinance / Other

Description of Change (If possible, please provide a Word document of the proposed text change)

Proposed text amendment will affect the following:

Ordinance: Zoning Article: 4 and 11 Section: 4: Lot and Building Type for Detached House 11.4.2 (b) and 11.4.7(b) Current Text: See attachment

Proposed Text: See attachment

Reason for requested change (attach additional sheets if necessary): Request of Planning Board members and Town Staff.

NOTE: If the proposed text amendment effects property located along Hwy 73; is 2000 feet from an adjoining municipality, and/or the Mountain Island and Lake Norman Watersheds, additional peer review is required.

Signatures

I hereby certify that the information presented by me in this application is accurate to the best of my knowledge, information and belief.

Applicant Signature: *Meredith Nesbitt*

Date: 4/1/2017

Contact Information

Town of Huntersville
Planning Department
PO Box 664
Huntersville, NC 28070

Phone: 704-875-7000
Fax: 704-875-6546
Physical Address: 105 Gilead Road, Third Floor
Website: <http://www.huntersville.org/Departments/Planning.aspx>

AN ORDINANCE TO AMEND ARTICLE 4: Lot and Building Type for Detached House, 11.4.2(b).1, Planning Board Membership and 11.4.7(b) Planning Board Recommendation and Decision

Section 1. Be it ordained by the Board of Commissioners of the Town of Huntersville that the **Zoning Ordinance** is hereby amended as follows:

Article 4: Lot and Building Type for Detached House

Building Placement/Parking/Vehicle Access Type "A" Typical Condition All Residential

7. Sideyard setback is 12' in the R zone & 6' in the TR zone.

11.4.2(b).1, Memberships From Within the Town Limits

b) Membership.

1) Members From Within the Town Limits.

Each member shall be appointed by the Town Board for a term of three years. In appointing the original members or in the filling of vacancies caused by the expiration of the terms of existing members, the Town Board may appoint certain members for less than three years to the end that thereafter the terms of all members shall not expire at the same time. The expiration date for each term shall be the 30th day of June of the year in which said term is to expire and the term of office of the succeeding member shall begin on the 1st day of July. If the original members are appointed such that their terms of office begin prior to a July 1 date, such terms of original members shall be extended by the period of time between their appointment and June 30 of the year of their appointment, it being the intent of this proviso that original members shall serve terms of one, two, or three years plus a period of time between their initial appointments and June 30 of the year of their initial appointments. A retiring member shall be eligible ~~for reappointment to succeed himself~~ **to be reappointed for two additional three (3) year terms. A member serving a partial term will be eligible to be appointed for three (3) additional terms – allowing partial terms to be added onto the term limits. Members who retire or are not reappointed will have a twelve (12) month waiting period before being eligible for reappointment.** For purposes of this section, original appointments refer to members appointed upon first establishment of the Planning Board, and also to members appointed to newly created seats upon any expansion of the Planning Board.

11.4.7(b) Recommendation and Decision

- (b) No proposed amendment shall be approved unless it is first submitted to the Planning Board for a recommendation. The Planning Board may defer action on a request ~~one time~~ **two times** for one of the following reasons: the public hearing remains open; ordinance required information is not completed; the petitioner agrees and/or requests a deferral. If the Planning Board does not make a written recommendation to approve, approve with conditions, deny, or recommend Town Board defer a decision on the proposed amendment at their initial meeting, or in the case of deferral, their next regularly scheduled meeting, then the Planning Board shall be considered to have recommended deferral for additional deliberation. The petition, along with the recommendation of the Planning Board, shall be placed on the agenda of the Town Board at its next regular zoning meeting.

In making its written recommendation, the Planning Board shall advise and comment on whether the proposed amendment is consistent with the adopted Huntersville Community Plan and other adopted long range plans that are applicable. The Planning Board shall provide a written recommendation to the Town Board that addresses plan consistency and other matters as deemed appropriate by the Planning Board, but a comment by the Planning Board that a proposed amendment is inconsistent with adopted plans shall not preclude consideration or approval of the proposed amendment by the Town Board.

Section 2. That this ordinance shall become effective upon adoption.

LAND DEVELOPMENT ADVISORY BOARD: May 5, 2017

LAND DEVELOPMENT ADVISORY BOARD RECOMMENDATION: Approval

PUBLIC HEARING DATE: June 5, 2017

PLANNING BOARD MEETING: June 27, 2017

PLANNING BOARD RECOMMENDATION:

TOWN BOARD DECISION:

**AN ORDINANCE TO AMEND ARTICLE 4: Lot and Building Type for Detached House,
11.4.2(b).1, *Planning Board Membership* and 11.4.7(b) *Planning Board Recommendation
and Decision***

Section 1. Be it ordained by the Board of Commissioners of the Town of Huntersville that the **Zoning Ordinance** is hereby amended as follows:

Article 11.4.2(b).1, Memberships From Within the Town Limits

b) Membership.

1) Members From Within the Town Limits.

Each member shall be appointed by the Town Board for a term of three years. In appointing the original members or in the filling of vacancies caused by the expiration of the terms of existing members, the Town Board may appoint certain members for less than three years to the end that thereafter the terms of all members shall not expire at the same time. The expiration date for each term shall be the 30th day of June of the year in which said term is to expire and the term of office of the succeeding member shall begin on the 1st day of July. If the original members are appointed such that their terms of office begin prior to a July 1 date, such terms of original members shall be extended by the period of time between their appointment and June 30 of the year of their appointment, it being the intent of this proviso that original members shall serve terms of one, two, or three years plus a period of time between their initial appointments and June 30 of the year of their initial appointments. A retiring member shall be eligible ~~for reappointment to succeed himself~~ **to be reappointed for two additional three (3) year terms. A member serving a partial term will be eligible to be appointed for three (3) additional terms – allowing partial terms to be added onto the term limits. Members who retire or are not reappointed will have a twelve (12) month waiting period before being eligible for reappointment.** For purposes of this section, original appointments refer to members appointed upon first establishment of the Planning Board, and also to members appointed to newly created seats upon any expansion of the Planning Board.

Section 2. Be it ordained by the Board of Commissioners of the Town of Huntersville that the **Zoning Ordinance** is hereby amended as follows:

Article 11.4.7(b) Recommendation and Decision

- (b) No proposed amendment shall be approved unless it is first submitted to the Planning Board for a recommendation. The Planning Board may defer action on a request ~~one time~~ **two times** for one of the following reasons: the public hearing remains open; ordinance required information is not completed; the petitioner agrees and/or requests a deferral. If the Planning Board does not make a written recommendation to approve, approve with conditions, deny, or recommend Town Board defer a decision on the proposed amendment at their initial meeting, or in the case of deferral, their next regularly scheduled meeting, then the Planning Board shall be considered to have recommended deferral for additional deliberation. The petition, along with the recommendation of the Planning Board, shall be placed on the agenda of the Town Board at its next regular zoning meeting.

In making its written recommendation, the Planning Board shall advise and comment on whether the proposed amendment is consistent with the adopted Huntersville Community Plan and other adopted long range plans that are applicable. The Planning Board shall provide a written recommendation to the Town Board that addresses plan consistency and other matters as deemed appropriate by the Planning Board, but a comment by the Planning Board that a proposed

amendment is inconsistent with adopted plans shall not preclude consideration or approval of the proposed amendment by the Town Board.

Section 3. Be it ordained by the Board of Commissioners of the Town of Huntersville that the **Zoning Ordinance** is hereby amended as follows:

Article 4: Lot and Building Type for Detached House

Building Placement/Parking/Vehicle Access Type "A" Typical Condition All Residential

7. Sideyard setback is 12' in the R zone & ~~8'~~ 6' in the TR zone.

Section 4. That this ordinance shall become effective upon adoption.

HUNTERSVILLE ORDINANCES ADVISORY BOARD: May 4, 2017; Approval

PUBLIC HEARING DATE: June 5, 2017

PLANNING BOARD MEETING: June 27, 2017

PLANNING BOARD RECOMMENDATION:

TOWN BOARD DECISION:

Town of Huntersville
REQUEST FOR BOARD ACTION
7/17/2017

REVIEWED:

To: The Honorable Mayor and Board of Commissioners
From: Meredith Nesbitt
Subject: TA17-04: Watershed Exemption

Text Amendment: TA17-04 is a request by the Town of Huntersville to amend Article 3.3.2.2(b) and ARTICLE 3.3.3.2(b) of the Huntersville Zoning Ordinance to modify the exceptions to applicability section of the Mountain Island Lake and Lake Norman Watershed regulations.

ACTION RECOMMENDED:

Take final action.

FINANCIAL IMPLICATIONS:

None

ATTACHMENTS:

Description	Type
☐ TA 17-04 Watershed Exemption - TB Staff Report	Staff Report
☐ Attachment A -Text Amendment Application	Exhibit
☐ Attachment B - Proposed Ordinance Language	Exhibit
☐ Attachment C - Timeline of Watershed Overlay Districts Amendments	Exhibit
☐ Attachment D - Residential Subdivisions Approved Prior to Watershed Ordinance Map	Exhibit
☐ Attachment E - November 20, 2006 Town Board Meeting Minutes	Exhibit

TA #17-04 Amend Article 3.3.2.2(b) and Article 3.3.3.2(b): Watershed Overlay Exemptions

PART 1: DESCRIPTION

Text Amendment, TA #17-04, is a request by the Town of Huntersville to amend Article 3.3.2.2(b) and Article 3.3.3.2(b) of the Huntersville Zoning Ordinance to modify the exceptions to applicability section of the Mountain Island Lake and Lake Norman Watershed Overlay District regulations. See Attachment A for application and Attachment B for proposed language.

PART 2: BACKGROUND

Article 3.3.2 *Mountain Island Lake Watershed Overlay District* and Article 3.3.3 *Lake Norman Watershed Overlay District* of the Town Zoning Ordinance were adopted in October 1993 to provide protection of public water supplies as required by the North Carolina Water Supply Watershed Classification and Protection Act (1992).

Since 1993, the Town of Huntersville has processed four text amendments to the Watershed Overlay Districts; see Attachment C for a timeline of amendments. Notably, in 2006 the Watershed Overlay Districts' exceptions to applicability was not applicable to multiple contiguous lots under single ownership. Therefore, if a lot existed prior to the watershed regulations but someone owned more than one lot side-by-side they were no longer exempt from the standards of the Watershed Overlay Districts. This became an issue for staff as development in subdivisions such as Biltmore Park increased with the extension of Charlotte Water lines. Attachment D provides a map of residential subdivisions that existed prior to the adoption of the watershed regulations.

Biltmore Park and Norman Park were subdivided in the late 1960's with, typically, 50' wide by 150' long lots. The restrictive covenants (while not publicly enforced) requires property owners to combination at least two lots in order to build a single-family home. Prior to 2006, the combination of lots eliminated the exception to applicability, found in the ordinance, causing all development to be subject to built-upon area standards.

In 2006, staff proposed a text amendment to the watershed exceptions to applicability sections to remove the provision of applicability for multiple existing lots under single ownership. However, at the November 20, 2006 Town Board meeting concern was raised over eliminating this language, see Attachment E for Town Board Meeting Minutes.

Ultimately, the Text Amendment was approved with modified language that limited the exemption of Watershed Overlay District regulations to no more than two contiguous existing lots under single ownership. Therefore, if you own two contiguous existing lots development could be exempt from the Watershed Overlay District requirements but if you own three or more contiguous existing lots development could not be exempt. Since 2006, Town staff has not seen development patterns that suggest owners of existing lots are taking advantage of the being exempt from watershed overlay built upon area standards, which was some of the concern raised.

The modified text amendment exemption has been the most difficult to apply to the Biltmore Park and Norman Park subdivisions. Staff is aware of a situation in Biltmore Park where three contiguous existing lots under single ownership is prohibiting the owners from being able to put in a pool due to impervious restrictions. Whereas, in the same neighborhood a property owner having only two lots would not face the same impervious restrictions.

The current text amendment request is seeking to remove language that restricts the exception of applicability for the watershed overlay districts for existing contiguous lots under single ownership. If approved, lots existing prior to

the effective date of the Watershed Overlay Districts would be exempt from applicability for the first development permit, regardless of contiguous ownership.

The HOAB reviewed the proposed amendment at their May 4, 2017 meeting and recommended approval of the text amendment request as presented in Attachment B.

PART 3: RELEVANT HUNTERSVILLE 2030 COMMUNITY PLAN AND APPLICABLE LONG RANGE PLAN SECTIONS

The following are examples of relevant polices from the 2030 Huntersville Community Plan that may be incorporated into the Board's statement of consistency for approval or denial of the request.

Police H-10: Redevelopment Areas— Support redevelopment of older established residential areas, consistent with adopted plans, Zoning Ordinance and Subdivision regulations.

Policy ED-14: Development Review Process – Support efforts to improve efficiency and responsiveness of development review process for development proposals.

PART 4: STAFF RECOMMENDATION

Since adoption in 1993, the Mountain Island Lake and Lake Norman Watershed Overlay Districts have exempted existing lots of record from applicability of the watershed development standards (except in regards to buffer requirements). Over the years, single ownership of contiguous existing lots of record have become a difficult issue in administering watershed overlay regulations.

Considering the fact that existing lots of record are currently exempt from watershed overlay standards restricting built upon area allowance and the development patterns occurring in subdivisions such as Biltmore and Norman Park, staff does not see the need to restrict the contiguous ownership of existing lots of record in regards to watershed overlay applicability. Therefore, staff recommends approval of the text amendment as presented.

PART 5: PUBLIC HEARING

The Public Hearing was held on June 19, 2017. No comments directly related to the text amendment were made by Town Board members. Christopher Reep (owner of three contiguous lots in Biltmore Park) spoke in favor of the text amendment request as presented. Mr. Reep had his home built in 2012, at which time he was not aware of the impervious restrictions. The as-built survey for the home did not show impervious information as the surveyor believed the lots to be exempt from the build upon area (impervious) regulations. In 2017, when the Reeps applied for a permit to construct a pool in the backyard, the application was denied because the property was exceeding impervious standards. Mr. Reep mentioned that if he owned only two contiguous lots the pool addition would not exceed impervious standards; this concept seems counterproductive and owning more land was essentially stopping his family from adding a pool to their property. No additional comments from the public were given.

PART 6: PLANNING BOARD RECOMMENDATION

The Planning Board reviewed this text amendment request on June 27, 2017. No comments from the public were received. Planning Board members discussed and had questions for staff regarding the history and applicability of the exceptions to applicability sections of the watershed overlay regulations. After staff answered questions the Planning Board voted to recommend, unanimously, approval (9-0) this text amendment request.

PART 7: ATTACHMENTS

Attachment A: Text Amendment Application

Attachment B: Proposed Ordinance Language

Attachment C: Timeline of Watershed Overlay Districts Amendments

Attachment D: Residential Subdivisions Approved Prior to Watershed Ordinance Map

Attachment E: November 20, 2006 Town Board Meeting Minutes

PART 8: STATEMENT OF CONSISTENCY – TA #17-04

Planning Department	Planning Board	Board of Commissioners
<p>APPROVAL: In considering the proposed amendment, TA 17-04, to amend Article 3.3.2.2(b) and Article 3.3.3.2(b) of the Zoning Ordinance, the Planning staff finds the amendment consistent with the Town of Huntersville 2030 Community Plan and recommends approval.</p> <p>It is reasonable and in the public interest to amend the Zoning Ordinance because since adoption of the watershed overlay district regulations, existing lots of record have been exempt from built upon area development standards.</p>	<p>APPROVAL: In considering the proposed amendment, TA 17-04, to amend Article 3.3.2.2(b) and Article 3.3.3.2(b) of the Zoning Ordinance, the Planning Board recommends approval based on the amendment being consistent with <u>the 2030 Community Plan.</u></p> <p>It is reasonable and in the public interest to amend the Zoning Ordinance because since the adoption of the Watershed Overlay District regulations existing lots of record have been exempt from the build upon area development standards, and it provides flexibility and supports the needs of citizens.</p>	<p>APPROVAL: In considering the proposed amendment, TA 17-04, to amend Article 3.3.2.2(b) and Article 3.3.3.2(b) of the Zoning Ordinance, the Town Board approves the request based on the amendment being consistent with <u>(insert applicable plan reference)</u></p> <p>It is reasonable and in the public interest to amend the Zoning Ordinance because...(Explain)</p>
		<p>DENIAL: In considering the proposed amendment, TA 17-04, to amend Article 3.3.2.2(b) and Article 3.3.3.2(b) of the Zoning Ordinance, the Town Board denies the request based on the amendment being <u>(consistent OR inconsistent)</u> with <u>(insert applicable plan reference).</u></p> <p>It is not reasonable and in the public interest to amend the Zoning Ordinance because....(Explain)</p>



Text Amendment Application

Incomplete submissions will not be accepted.

Applicant Data

Date of Application 5/1/2017

Name Huntersville Planning Department

Address 105 Gilead Rd, 3rd Floor, Huntersville, NC 28078

Phone Number (home) 704-875-7000 (work) 704-875-7000

Email: mnesbitt@huntersville.org

Fee

Text Amendment to the Zoning/Subdivision Ordinance Fee \$400.00

Type of Change

☐ New Addition to text of Zoning Ordinance / Subdivision Ordinance / Other

☒ Revision/Modification to text of Zoning Ordinance / Subdivision Ordinance / Other

Description of Change (If possible, please provide a Word document of the proposed text change)

Proposed text amendment will affect the following:

Ordinance: Zoning Article: 3 Section: 3.3.2.2(b) and 3.3.3.2(b)

Current Text: See attachment

Proposed Text: See attachment

Reason for requested change (attach additional sheets if necessary): Request by Town of Huntersville to modify the exception to applicability section of the Mountain Island Lake and Lake Norman Watershed regulations to allow existing lots, no matter the number of contiguous ownership to be exempt from regulations for single family residential purposes.

NOTE: If the proposed text amendment effects property located along Hwy 73; is 2000 feet from an adjoining municipality, and/or the Mountain Island and Lake Norman Watersheds, additional peer review is required.

Signatures

I hereby certify that the information presented by me in this application is accurate to the best of my knowledge, information and belief.

Applicant Signature: *Meredith Nesbitt*

Date: 5/1/2017

Contact Information

Town of Huntersville
Planning Department
PO Box 664
Huntersville, NC 28070

Phone: 704-875-7000
Fax: 704-875-6546
Physical Address: 105 Gilead Road, Third Floor
Website: <http://www.huntersville.org/Departments/Planning.aspx>

AN ORDINANCE TO AMEND ARTICLE 3.3.2.2(b), *Mountain Island Lake Watershed Overlay District Exceptions to Applicability* and ARTICLE 3.3.3.2(b), *Lake Norman Watershed Overlay District Exceptions to Applicability*

Section 1. Be it ordained by the Board of Commissioners of the Town of Huntersville that the **Zoning Ordinance** is hereby amended as follows:

Article 3.3.2

.2 Exceptions to Applicability:

- a) Existing development, as defined in Section 12.2.3, is not subject to the requirements of the Mountain Island Lake Watershed Overlay District. Expansions to structures classified as existing development must meet the requirements of this section; however the built-upon area of the existing development is not required to be included in the impervious area calculations.
- b) An existing lot, as defined in Section 12.2.3, owned prior to the effective date of this ordinance, regardless of whether or not a vested right has been established, may be developed for single family residential purposes subject only to the buffer requirements of Section 3.3.3-A, f) and g) or Section 3.3.3-B, f) and g), whichever are applicable. ~~however this exemption is not applicable to more than two (2) multiple contiguous lots under single ownership.~~
- c) Existing public utilities may expand without being subject to the restrictions of this part provided that:
 - (i) Such expansion complies with all applicable laws of the State of North Carolina and the United States of America, and
 - (ii) Discharges associated with the existing public utilities may be expanded, however the pollutant load shall not be increased beyond presently permitted levels.

Article 3.3.3

.2 Exceptions to Applicability:

- a) Existing development, as defined in Section 12.2.3, is not subject to the requirements of the Lake Norman Watershed Overlay District. Expansions to structures classified as existing development must meet the requirements of this section; however the built-upon area of the existing development is not required to be included in the impervious area calculations.
- b) An existing lot, as defined in Section 12.2.3, owned prior to the effective date of this ordinance, regardless of whether or not a vested right has been established, may be developed for single family residential purposes subject only to the buffer requirements of Section 3.3.4-A, f) and g), whichever are applicable. ~~however this exemption is not applicable to more than two (2) multiple contiguous lots under single ownership.~~
- c) Existing public utilities may expand without being subject to the restrictions of this part provided that:
 - (i) Such expansion complies with all applicable laws of the State of North Carolina and the United States of America; and
 - (ii) Discharges associated with the existing public utilities may be expanded, however the pollutant load shall not be increased beyond presently permitted levels.

AN ORDINANCE TO AMEND ARTICLE 3.3.2.2(b), *Mountain Island Lake Watershed Overlay District Exceptions to Applicability* and ARTICLE 3.3.3.2(b), *Lake Norman Watershed Overlay District Exceptions to Applicability*

Section 1. Be it ordained by the Board of Commissioners of the Town of Huntersville that the **Zoning Ordinance** is hereby amended as follows:

Article 3.3.2

.2 Exceptions to Applicability:

- a) Existing development, as defined in Section 12.2.3, is not subject to the requirements of the Mountain Island Lake Watershed Overlay District. Expansions to structures classified as existing development must meet the requirements of this section; however the built-upon area of the existing development is not required to be included in the impervious area calculations.
- b) An existing lot, as defined in Section 12.2.3, owned prior to the effective date of this ordinance, regardless of whether or not a vested right has been established, may be developed for single family residential purposes subject only to the buffer requirements of Section 3.3.3-A, f) and g) or Section 3.3.3-B, f) and g), whichever are applicable. ~~however this exemption is not applicable to more than two (2) multiple contiguous lots under single ownership.~~
- c) Existing public utilities may expand without being subject to the restrictions of this part provided that:
 - (i) Such expansion complies with all applicable laws of the State of North Carolina and the United States of America, and
 - (ii) Discharges associated with the existing public utilities may be expanded, however the pollutant load shall not be increased beyond presently permitted levels.

Article 3.3.3

.2 Exceptions to Applicability:

- a) Existing development, as defined in Section 12.2.3, is not subject to the requirements of the Lake Norman Watershed Overlay District. Expansions to structures classified as existing development must meet the requirements of this section; however the built-upon area of the existing development is not required to be included in the impervious area calculations.
- b) An existing lot, as defined in Section 12.2.3, owned prior to the effective date of this ordinance, regardless of whether or not a vested right has been established, may be developed for single family residential purposes subject only to the buffer requirements of Section 3.3.4-A, f) and g), whichever are applicable. ~~however this exemption is not applicable to more than two (2) multiple contiguous lots under single ownership.~~
- c) Existing public utilities may expand without being subject to the restrictions of this part provided that:
 - (i) Such expansion complies with all applicable laws of the State of North Carolina and the United States of America; and
 - (ii) Discharges associated with the existing public utilities may be expanded, however the pollutant load shall not be increased beyond presently permitted levels.

Section 2. That this ordinance shall become effective upon adoption.

LAND DEVELOPMENT ADVISORY BOARD: May 4, 2017 – Recommended Approval

PUBLIC HEARING DATE: June 19, 2017

PLANNING BOARD MEETING: June 27, 2017

TOWN BOARD DECISION:

Since 1993 the Town of Huntersville processed four amendments to Watershed regulations:

- **TA 03-06, Approved April 19, 2004:** amendment modified buffer size and buffer protection elements of the Watershed regulations. (This amendment only affected lake front lots that have a required buffer from “full pond” elevation).
- **TA 06-14, Approved November 20, 2006:** amendment modified the “exceptions to applicability” section of the Watershed regulations. (This amendment affected all lots existing prior to the affected date of the ordinance, October 1, 1993).
 - Original exemption language read “however this exemption is not applicable to multiple contiguous lots under single ownership.” Meaning more than one lot under single ownership was not exempt from Watershed regulations regardless of when the lot was created.
 - Adopted exemption language reads “however this exemption is not application to more than two multiple contiguous lots under single ownership.” Meaning a property owner could own two contiguous lots that existed prior to the affected date of the Ordinance and be exempt from Watershed regulations.
- **TA 08-12, Approved September 15, 2008:** amendment again modified the buffer protection section of the watershed regulations. (This amendment only affected lake front lots that have a required buffer from “full pond” elevation).
- **TA 11-04, Approved May 7, 2012:** amendment to add density-averaging criteria to Watershed regulations. Density Averaging is the transfer of impervious development rights between two parcels by way of irrevocable undisturbed natural areas. This amendment provided another option for property owners seeking to increase their maximum impervious allowance.

Residential Subdivision Impervious Applicability

Watershed Boundary

Critical Area

Residential Subdivision

Subject to Impervious Restrictions

Approved Prior to 10/1/1993*

Farmhouse Cluster

Subject to Impervious Restrictions

N

0

0.5

1

Miles

0

1,000

2,000

Feet

1:20,000

Revised June 12, 2017

* 1st permit exempt:
additions subject to impervious limits.

Path: W:\PLANNING\Text Amendments 2011\Text Amendments\Map Subdivision Impervious Map 6-12-17.mxd

Mr. Simoneau said Jerry reminded me when this development was first approved I think it was just over 2,000 units and now you are at 917. Right before I got here there was a change that Mr. Bowman had asked for. At that time the Town Board gave the approval of that plan but said he had to do a traffic impact analysis and he did ultimately prepare that traffic impact analysis, which the plans are in line with that. Jerry did want me to remind everybody about that aspect, that there were some things that he conceded to do and in fact has done and has provided.

Commissioner Leonhardt asked is there some retail planned south of that roundabout?

Mr. Gordon said the conceptual plan for the East Huntersville Plan calls for some.....here's Anchor Mill and right here would be the location in here for some retail, which would back up to Vermillion, but be right on Huntersville-Concord Road. Here's the turn, we are talking now about a roundabout per the UDA recommendation, and then some commercial in here.

Mr. Bowman said that is currently zoned for commercial. The whole goal of getting a small neighborhood center, not even the size of Rosedale, is to interrupt vehicle miles traveled that would be going through the center of your town, through the intersection here that I have to wait at every day, to try to give goods and services to the people even at Northstone that don't want to go up 73. Our goal is to maybe get a grocery store, one drugstore and some live/work units and some small neighborhood shopping. We are not trying to be Birkdale Village. The goal of the commercial is to foster shorter trips. Hopefully what we intended originally was for people to actually walk to the grocery store and save some of your traffic, much as Rosedale has saved traffic from crossing your lights over to this side of town to get to Food Lion. We expect that to be an excellent opportunity on the east side of town.

Commissioner Sisson made a substitute motion to approve the revised sketch plan.

Commissioner Jeter withdrew his motion to defer.

Commissioner Swain seconded motion to approve.

Motion carried 3 to 2, with Commissioners McAulay and Leonhardt opposed.

Petition #TA06-14. Petition #TA06-14 is a request by the Town of Huntersville to amend Section 3.3.2.2(b) and 3.3.3.2(b) of the Zoning Ordinance to include "multiple contiguous lots under single ownership" in the exemption to the Mountain Island Lake Watershed Overlay District and the Lake Norman Watershed Overlay District for existing lots owned prior to the effective date of the ordinance.

Staff Analysis and other related documents attached hereto as Attachment No. 11.

Commissioner Swain made a motion to approve Petition #TA06-14. Commissioner Sisson seconded motion.

Commissioner McAulay said I noticed that Biltmore Park is mentioned here. Do we think this text amendment will affect other areas?

Lisa McCarter, Planner, said these could potentially be affected. The one that probably most likely would be affected besides Biltmore Park is Norman Park, which also has really small lots. The rest have a little bit bigger lots.

Commissioner McAulay asked what is the purpose of this?

Ms. McCarter said lots that were approved prior to the effective date of the watershed ordinance are exempt from the impervious restrictions of the Lake Norman Overlay and the Mountain Island Lake Overlay, but the last sentence says "However, this exemption is not applicable to multiple contiguous lots under single ownership." If you own two lots side-by-side, you are not exempt anymore even though the lot regulations were not for large lots back then, it was for smaller lots, so it makes it a very restrictive situation.

Commissioner McAulay asked could we amend this to apply to combining two lots and no more?

Ms. McCarter said there's probably a way to word that.

Commissioner McAulay said somebody could go out and buy up all the lots there and there's a lot left in Biltmore Park that's not developed, then they could be exempt from the watershed regulations and Norman Woods wraps around off of Hambright Road and is there that much development back in there?

Ms. McCarter said there's beginning to be more development because they are getting sewer back there, so there's more and more houses being built.

Commissioner McAulay said one entity could come up and buy 10 lots and build them and be exempt from the watershed regulations.

Ms. McCarter said yes.

Mr. Simoneau said that would be a true statement. How we got to this point is the odd situation that this happens to be a portion of Biltmore Park. If you owned a 50'x150' lot, you are exempt from the watershed regulations, but the restrictive covenants say you've got to combine these lots. When they cut them up into tiny lots they said you need to combine them so that you had more than 50' wide lots. Now because the restrictive covenants say they have to combine the two lots, the watershed rules kick in. These folks are caught in a catch 22. They could have unlimited build-on of 50'x150' but the restrictive covenants say you can't build on one lot, you've got to combine at least two or more. When they do that, it's no longer exempt.

Mayor Phillips asked would it be better to say a maximum footage?

Commissioner McAulay made a substitute motion that we re-word it to combine two 50' lots. Commissioner Swain seconded motion.

Mr. Blythe asked are there some lots that are different sizes than 50'?

Mr. Simoneau said we hear the concerns of the Town Board. You see where the folks have combined lots, because it's much wider. If you want, we could defer and take a hard look at it just to see all the different possibilities that could come up.

Commissioner McAulay said let's take Biltmore Park, where you see the larger lots there, I think those are the only ones that have houses on them.

Commissioner Leonhardt asked is it just limiting the lots to two, no specific size?

Commissioner McAulay amended her motion to approve Petition #TA06-14 and re-word it to combine two lots. Commissioner Swain seconded amended motion.

Motion carried unanimously.

Petition #TA06-15. Petition #TA06-15 is a request by the Town of Huntersville to amend Section 3.2.1-d)e. and 3.2.2-d)d. of the Zoning Ordinance to clarify that only major subdivisions are required to provide an 80' opaque vegetative buffer along existing State maintained roads and future thoroughfares (minor thoroughfares would be reviewed on a case-by-case basis and designed around the open space principles of Article 7.13).

Commissioner McAulay made a motion to approve Petition #TA06-15. Commissioner Leonhardt seconded motion. Motion carried unanimously.

North Mecklenburg Communication Center Interlocal Agreement. Commissioner McAulay said I was handed this e-mail from the attorney in Cornelius that was sent about 4 p.m. today. Cornelius is not voting on this tonight and there's some changes.

Greg Ferguson, Assistant Town Manager, said subsequent to your receipt of the draft interlocal on 10-10, which was the final version that came out of the committee, the committee had been working on this draft interlocal for a number of months and had requested that there be input from all parties. On 10-10 you and the folks at Cornelius received the final version of that document. Last Tuesday we did have some additional input from the Cornelius attorney, which Bob then responded to on that day and on the 15th of last week Bob and I crafted a revised interlocal that took into account a couple of comments that they had which included adding the date of the original interlocal, which was 1992. Bob suggested adding that to the whereas clauses on the first page. That was sent out again on Wednesday of last week and apparently did not make it into the

Town of Huntersville
REQUEST FOR BOARD ACTION
7/17/2017

REVIEWED:

To: The Honorable Mayor and Board of Commissioners
From: Brian Richards
Subject: R17-07 503 S. Old Statesville Rd

Request by Charles Guignard to rezone 0.33 acres located at 503 S. Old Statesville Rd (south of Mt. Holly-Huntersville Rd.) from Neighborhood Residential Conditional District (NR-CD) to Neighborhood Residential (NR) to remove an existing multifamily overlay. Parcel ID # 01907202.

ACTION RECOMMENDED:

Call Public Hearing for Monday, August 7, 2017

FINANCIAL IMPLICATIONS:

n/a

Town of Huntersville
REQUEST FOR BOARD ACTION
7/17/2017

REVIEWED:

To: The Honorable Mayor and Board of Commissioners
From: Jack Simoneau, Planning Director
Subject: Consider appointing member to Planning Board

Consider appointing a new member to the Planning Board to fill a vacant seat due to the resignation of Adam Planty effective June 30, 2017, from date of appointment to June 30, 2018.

ACTION RECOMMENDED:

FINANCIAL IMPLICATIONS:

ATTACHMENTS:

Description	Type
❑ Cummings application	Cover Memo
❑ Gillespie application	Backup Material
❑ Lemon application	Backup Material
❑ Guerra Application	Backup Material
❑ Marrelli Application	Backup Material
❑ Ruff application	Backup Material
❑ McClellond application	Backup Material
❑ Rosethal application	Cover Memo
❑ Membership	Cover Memo
❑ Fisher application	Backup Material



NOTIFICATION FOR SERVICE FOR THE
TOWN OF HUNTERSVILLE
PLANNING BOARD

Please type or print in black ink

NAME John M. Cummings, Jr. HOME PHONE 304-633-9464
HOME ADDRESS 12808 Coral Sunrise Drive CELL PHONE _____
DO YOU RESIDE IN THE TOWN LIMITS OR ETJ? Insite town limits
PRESENT OCCUPATION Identity Management Specialist WORK PHONE _____
PLACE OF EMPLOYMENT University of North Carolina, Charlotte
EMAIL ADDRESS john@jcummings.net

APPROXIMATE HOURS AVAILABLE PER MONTH FOR SERVING ON ADVISORY BOARD 20

NAME OF ANY TOWN OR COUNTY BOARDS/COMMITTEES/COMMISSIONS YOU ARE PRESENTLY
SERVING ON:

EXPIRATION DATE _____
EXPIRATION DATE _____

EDUCATION Bachelor of Arts in Political Science, some graduate course work in Fine Arts

BUSINESS AND CIVIC EXPERIENCE Former Chariman of Create Huntington (part of Create WV)
Chair of United Way Campaign, Marshall University
Make A Wish Foundation Wish Intake Counselor

AREAS OF EXPERTISE AND INTERESTS/SKILLS _____

I, the undersigned, acknowledge that this application and questionnaire will remain active for a two (2) year period, unless withdrawn by me, the applicant, and if appointed, the Town Board may remove members who do not meet attendance requirements pursuant to the Rules of Procedure¹.

John Cummings 6/23/17
(Signature of Applicant) (Date)

¹ Must attend seventy-five percent (75%) of the Regular meetings in a twelve (12) consecutive month period, or miss three (3) consecutive regular meetings



QUESTIONNAIRE

To assist the Board of Commissioners in making appointments to the Planning Board, please respond briefly to the following questions. There is no right or wrong answer. Your responses will provide a framework for discussion with the Mayor and Commissioners.

Overview: The Planning Board consists of nine (9) total members of whom at least seven (7) members shall reside within the corporate limits, appointed by the Town Board, and in no instance be less than one (1) ETJ member appointed by the Board of County Commissioners. The Planning Board acts as an advisory body to the Board of Commissioners on all matters related to the growth and development of Huntersville. The Planning Board considers the facts relative to rezoning applications, new subdivisions and site plans, and ordinance amendments, among other issues. The Board formulates a recommendation on each matter, which in turn goes to the Commissioners for final action.

1. Please describe the areas of community service in which you have participated, in Huntersville or elsewhere.

2. Briefly describe your vision for Huntersville in the next 10 to 15 years. What factors during that time will shape the growth of our community?

3. What obstacles do you see to achieving this vision?

4. What special opportunities could be used to achieve your vision?

5. With rapid development occurring in Huntersville and the surrounding area, the character and growth patterns of our community are changing rapidly. Please discuss briefly any problems that you perceive, anything that you would like to change, and/or anything you find particularly appropriate to Huntersville.



Other comments:

The Town of Huntersville Board of Commissioners sincerely appreciates the interest of all citizens in the Town's advisory committees and urges the public to nominate qualified persons for membership. Nominations may be sent to:

Town of Huntersville
Attn: Michelle Haines
Post Office Box 664
Huntersville, NC 28070

For more information on the responsibilities of various advisory bodies, applicants may contact the Planning Department at (704) 875-7000.

**Thank you for completing the application and questionnaire.
Please return to the Huntersville Planning Department**



NOTIFICATION FOR SERVICE FOR THE
TOWN OF HUNTERSVILLE
PLANNING BOARD

Please type or print in black ink

NAME Erin Gillespie HOME PHONE (910) 690-3551
HOME ADDRESS 14039 Bankside Drive, HVL, NC 28078 CELL PHONE (910) 690-3551
DO YOU RESIDE IN THE TOWN LIMITS OR ETJ? in the Town limits
PRESENT OCCUPATION Planning & Development Associate WORK PHONE (704) 332-9588
PLACE OF EMPLOYMENT Charlotte Center City Partners
EMAIL ADDRESS erin.gillespie@gmail.com

APPROXIMATE HOURS AVAILABLE PER MONTH FOR SERVING ON ADVISORY BOARD 10

NAME OF ANY TOWN OR COUNTY BOARDS/COMMITTEES/COMMISSIONS YOU ARE PRESENTLY SERVING ON:

none

EXPIRATION DATE _____

EXPIRATION DATE _____

EDUCATION 2010 Master of City and Regional Planning (UNC Chapel Hill)
2006 Bachelor of Environmental Design in Architecture (NC State University)

BUSINESS AND CIVIC EXPERIENCE I have worked at CCCP in the Planning and Development Dept for 2 years; prior to that I worked in Dayton, OH at a neighborhood-center community development agency managing an affordable housing development and East End's economic development activity.

AREAS OF EXPERTISE AND INTERESTS/SKILLS In my current work, I help manage and implement long-range planning initiatives in Center City Charlotte, including the Rail Trail initiative and assisting in the North Tryon vision plan. I also work on urban design, transportation and placemaking projects.

I, the undersigned, acknowledge that this application and questionnaire will remain active for a two (2) year period, unless withdrawn by me, the applicant, and if appointed, the Town Board may remove members who do not meet attendance requirements pursuant to the Rules of Procedure¹.

Erin Gillespie
(Signature of Applicant)

05/24/17
(Date)

¹ Must attend seventy-five percent (75%) of the Regular meetings in a twelve (12) consecutive month period, or miss three (3) consecutive regular meetings



QUESTIONNAIRE

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1. Please describe the areas of community service in which you have participated, in Huntersville or elsewhere.

I am a proud, recent graduate of the Spring 2017 Huntersville 101 class. In the Lake Norman area, I am an active volunteer at my Fellowship. In Ohio, I was the chair of UpDayton, a nonprofit dedicated to the attraction and retention of young talent. I am a community planner professionally and I have always valued being an active neighborhood association member. Through my work at CCCP, I work regularly with the Rail Trail community stakeholders including neighbors, property owners, nonprofits and education groups to carry out their vision.

2. Briefly describe your vision for Huntersville in the next 10 to 15 years. What factors during that time will shape the growth of our community?

I think Huntersville is the most livable community in North Mecklenburg. As a first-ring suburb of a booming city, HVL is poised to experience immense growth residentially but also in commercial and retail. A comprehensive transportation system will help link residents to jobs and amenities. Active transportation enhancements will boost quality of life measures for homeowners, business owners, residents and visitors. HVL will continue to serve as a gateway between the city and the LKN community & will continue to attract employers.

3. What obstacles do you see to achieving this vision?

State, federal and regional funding for transportation projects is in flux and will continue to be unpredictable. Pressure to build for short-term gain may impact long-range growth opportunities. Regional economic development efforts need improvement but are strong across LKN communities. Transitioning from residential growth to commercial/industrial growth may continue to require a lot of education and awareness-building in the community, particularly the impacts on land use and transportation.

4. What special opportunities could be used to achieve your vision?

I would encourage more regional planning efforts between the North Meck communities and with the City. I would also see the complex transportation challenges facing the community as opportunities to re-examine and recommit to our values and vision. I am encouraged by the town's direction in embracing the continued growth and I would look forward to helping maintain (or improve!) our high quality of life standard while adding new residents, neighbors and employers! I also think Downtown HVL is poised to be the next vibrant town center.

5. With rapid development occurring in Huntersville and the surrounding area, the character and growth patterns of our community are changing rapidly. Please discuss briefly any problems that you perceive, anything that you would like to change, and/or anything you find particularly appropriate to Huntersville.

As an urban planner, I admire HVL's early adoption of form-based codes. The values embedded in those regulations are visible in the streets and neighborhoods today. I think HVL gets great value from being a transit-served community with walkable neighborhoods and town centers. I also think the network of parks, open space and greenways also give residents great value-add. I support the plans to revitalize downtown HVL where affordable spaces in a walkable setting could boost emerging biz owners and entrepreneurs.



Other comments:

Thank you for the opportunity to apply to the Planning Board and to continue to serve my community!

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Town of Huntersville
Attn: Michelle Haines
Post Office Box 664
Huntersville, NC 28070

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**Thank you for completing the application and questionnaire.
Please return to the Huntersville Planning Department**



NOTIFICATION FOR SERVICE FOR THE
TOWN OF HUNTERSVILLE
PLANNING BOARD

Please type or print in black ink

NAME BOB LEMON
HOME ADDRESS 9607 WHISPERING MEADOWS DR HUNTERSVILLE NC 28078
DO YOU RESIDE IN THE TOWN LIMITS OR ETJ? YES
PRESENT OCCUPATION MANAGER WORK PHONE 704-359-3103
PLACE OF EMPLOYMENT AMERICAN AIRLINES
EMAIL ADDRESS LEMONBEST@YAHOO.COM
APPROXIMATE HOURS AVAILABLE PER MONTH FOR SERVING ON ADVISORY BOARD 20+
NAME OF ANY TOWN OR COUNTY BOARDS/COMMITTEES/COMMISSIONS YOU ARE PRESENTLY SERVING ON:
EXPIRATION DATE _____
EXPIRATION DATE _____

EDUCATION 4 YRS COLLEGE
2 YRS PROFESSIONAL TRAINING AMERICAN AIRLINES

BUSINESS AND CIVIC EXPERIENCE VOL SERVED THRU DOGWOOD AMERICAN AIRLINES - VOL CHURCH SERVICE
SERVED - TRANSIT ADVISORY GROUP - COT, PLANNING BOARD - HUNTERSVILLE - MID 90'S AFFORDABLE HOUSING
AREAS OF EXPERTISE AND INTERESTS/SKILLS PREVIOUS SERVICE, IN TASK FORCE
PLANNING - URBAN DESIGN - NATURAL SITE SENSE
FOUNDATION & DESIGN OF URBAN AREAS

I, the undersigned, acknowledge that this application and questionnaire will remain active for a two (2) year period, unless withdrawn by me, the applicant, and if appointed, the Town Board may remove members who do not meet attendance requirements pursuant to the Rules of Procedure.

Bob Lemon
(Signature of Applicant)

6/24/17
(Date)

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QUESTIONNAIRE

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1. Please describe the areas of community service in which you have participated, in Huntersville or elsewhere.
 351 - HUNTERSVILLE PLANNING BOARD
 HUNTERSVILLE GOLF AND COUNTRY CLUB
 PROJECT - COMMUNITY SERVICE THIRD BOARD
 CHURCH TRUST ADVISORY SMITH AREA
 GROWTH.

2. Briefly describe your vision for Huntersville in the next 10 to 15 years. What factors during that time will shape the growth of our community?
 A STRONG FINANCIAL ORIENTED COMMUNITY - THAT
 IS AFFORDABLE, AND DESIGN FOUNDATION WORK TOGETHER
 TEAMS QUALITY, EDUCATION, DRAWING BUSINESSES
 & COLLABORATION WITH 3 - HORTON TOWNS TO
 ACCOMPLISH THIS.

3. What obstacles do you see to achieving this vision?
 THOSE, THE WILL TO DO IT, OLD THINKING

4. What special opportunities could be used to achieve your vision?
 CITY - STATE - BUSINESS PARTNERSHIP ALL WORKING
 AND SPENDING TOGETHER - ALSO A TRUE
 ADEQUATE PUBLIC UTILITIES PROVIDE
 FORWARD VISION - & THINKING - DENIAL
 IS A KILLER.

5. With rapid development occurring in Huntersville and the surrounding area, the character and growth patterns of our community are changing rapidly. Please discuss briefly any problems that you perceive, anything that you would like to change, and/or anything you find particularly appropriate to Huntersville.
 SETTING COMMUNITY - & FORDS - A STRONG
 BOUNDARY - BETTER BUS SERVICE & PUBLIC
 REVISITING THE ZONING ORDINANCE WOULD
 HELP



Other comments:

we live in a wonderful community, but
more work is needed. And the development
community must stop or do this part
more than they do currently. we need
more parks & green space that are good
not ball fields -
RAIL IS A MUST - THIS IS A REGION IN DEMAND
STILL ABOUT THE GROWTH THAT IS HAPPENING
PLANNING NOW IS KEY -

The Town of Huntersville Board of Commissioners sincerely appreciates the interest of all citizens in the Town's advisory
committees and urges the public to nominate qualified persons for membership. Nominations may be sent to:

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Attn: Michelle Haines
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Please return to the Huntersville Planning and Questionnaire.



NOTIFICATION FOR SERVICE FOR THE
TOWN OF HUNTERSVILLE
PLANNING BOARD

Please type or print in black ink

NAME Richard C. Guerra Jr. HOME PHONE 714-699-6874
HOME ADDRESS 16565 Kimbolten Dr, Huntersville NC CELL PHONE 714-699-6874
DO YOU RESIDE IN THE TOWN LIMITS OR ETJ? Yes
PRESENT OCCUPATION Operations Specialist/Auditor WORK PHONE 213-98-4585
PLACE OF EMPLOYMENT The Foursquare Church - Denomination Headquarters
EMAIL ADDRESS r Guerra@foursquare.org

APPROXIMATE HOURS AVAILABLE PER MONTH FOR SERVING ON ADVISORY BOARD 20

NAME OF ANY TOWN OR COUNTY BOARDS/COMMITTEES/COMMISSIONS YOU ARE PRESENTLY SERVING ON:

EXPIRATION DATE _____

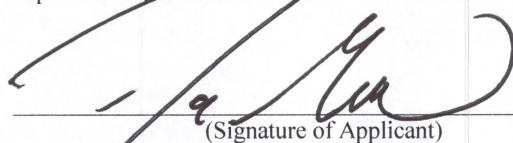
EXPIRATION DATE _____

EDUCATION MBA - University of Southern California BA - Global Studies, Azusa Pacific Univ.
In progress - Doctor of Business Administration (DBA) - Liberty University

BUSINESS AND CIVIC EXPERIENCE Have served for 17 years in the non-profit sector as an executive, Facility project manager, adjunct professor and district leader. Also worked in public accounting for two years and served as a corporate accounting for The Walt Disney Company.

AREAS OF EXPERTISE AND INTERESTS/SKILLS High level of expertise in accounting, project management and managerial finance. Expert level proficiency with multiple software suites including: MS Office. Apple iWork Suite, Adobe InDesign, MS Visio and Project and other design software.

I, the undersigned, acknowledge that this application and questionnaire will remain active for a two (2) year period, unless withdrawn by me, the applicant, and if appointed, the Town Board may remove members who do not meet attendance requirements pursuant to the Rules of Procedure¹.


(Signature of Applicant)

6/25/17
(Date)

¹ Must attend seventy-five percent (75%) of the Regular meetings in a twelve (12) consecutive month period, or miss three (3) consecutive regular meetings

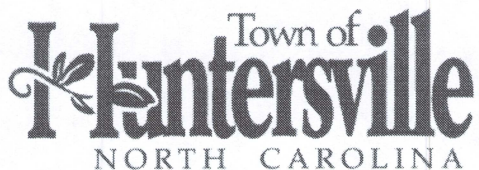


QUESTIONNAIRE

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1. Please describe the areas of community service in which you have participated, in Huntersville or elsewhere.
I have served as Treasurer of the Boy Scouts of America Troop 323 in Huntersville and help to facilitate and staff the numkin patch fundraiser held next to Brewsters Ice Cream in Kenton Place Shopping area off Catawba Ave. and participated in the Fall 2016 food drive. I have also been actively involved with the "Love Week" community outreaches organized by Elevation Church - Lake Norman campus. Looking for other ways to serve my community.
2. Briefly describe your vision for Huntersville in the next 10 to 15 years. What factors during that time will shape the growth of our community?
I believe that Huntersville is postured to be an area that will continue to draw new transplant residents from all over the country due to the natural appeal of the region, affordable cost of living, desirable culture for raising a family and accessibility to Charlotte for employment opportunities. I would like to see town engage this reality by preparing the infrastructure in way that gives forethought to the associated challenges that come with continued population growth, while preserving the charm and quasi-rural allure of the area of that makes this town such a desirable place to live.
3. What obstacles do you see to achieving this vision?
I believe the most significant obstacles lie in identifying the appropriate balance between the approval of new housing and commercial developments, along with the associated benefits of increased tax revenue, etc., and the impact on traffic, school utilization, strain on city services and amenities. There is a delicate balance that must be struck when granting entitlements for new property developments to ensure that the infrastructure can keep pace with the increases in population density.
4. What special opportunities could be used to achieve your vision?
I believe there are some significant opportunities for increased partnership between neighboring towns for reciprocal services and long-term master planning of roads to better connect the east and west regions of Lake Norman to provide alternative routes for traffic and to allow for neighboring communities to absorb some of the impact of continued growth and increased population density in the region through win-win arrangements.
5. With rapid development occurring in Huntersville and the surrounding area, the character and growth patterns of our community are changing rapidly. Please discuss briefly any problems that you perceive, anything that you would like to change, and/or anything you find particularly appropriate to Huntersville.
Towns that experience this kind of rapid growth often run into space constraints for community events, particularly those associated with children and youth. It can become very difficult to accommodate, school graduation ceremonies, recitals, sports programs etc. due to facility size and parking constraints. I would love to see an initiative for the development of new multi-purpose facilities with large and



Other comments:

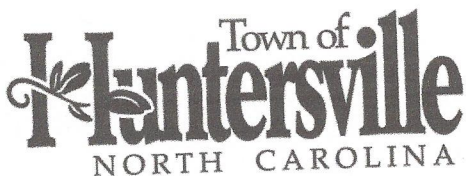
extensible assembly spaces that could be managed in a way that affords more venues and opportunities for these kinds of events. Perhaps incentives could even be offered to schools, churches or performing arts businesses to construct these venues in exchange, for the town's ability to access these venues to accommodate the needs of the community. I have experience navigating a similar arrangement in California between the City of Anaheim, and the Anaheim Foursquare Church in the operation of a 2,400 seat performing arts venue that was utilized through a partnership between the church and the City Department of Community Development.

The Town of Huntersville Board of Commissioners sincerely appreciates the interest of all citizens in the Town's advisory committees and urges the public to nominate qualified persons for membership. Nominations may be sent to:

Town of Huntersville
Attn: Michelle Haines
Post Office Box 664
Huntersville, NC 28070

For more information on the responsibilities of various advisory bodies, applicants may contact the Planning Department at (704) 875-7000.

**Thank you for completing the application and questionnaire.
Please return to the Huntersville Planning Department**



NOTIFICATION FOR SERVICE FOR THE
TOWN OF HUNTERSVILLE
PLANNING BOARD

Please type or print in black ink

NAME DOUG MARRELLI HOME PHONE 704-301-8828
HOME ADDRESS 15722 AGINCOURT DR. HUNTERSVILLE, NC 28078 CELL PHONE 704-301-8828
DO YOU RESIDE IN THE TOWN LIMITS OR ETJ? YES (TOWN LIMITS)
PRESENT OCCUPATION DIRECTOR WORK PHONE 704-301-8828
PLACE OF EMPLOYMENT ARCHITECTURAL IMPORTS
EMAIL ADDRESS DOUG.MARRELLI@GMAIL.COM

APPROXIMATE HOURS AVAILABLE PER MONTH FOR SERVING ON ADVISORY BOARD 20

NAME OF ANY TOWN OR COUNTY BOARDS/COMMITTEES/COMMISSIONS YOU ARE PRESENTLY SERVING ON: N/A EXPIRATION DATE _____

EXPIRATION DATE _____

EDUCATION MASTERS DEGREE - MBA

BUSINESS AND CIVIC EXPERIENCE EXTENSIVE EXPERIENCE LIVING, WORKING AND TRAVELING GLOBALLY; MANAGE BUSINESS IN EXCESS OF \$45 MILLION ANNUAL REVENUE; PAST ELECTED PRESIDENT OF COUNCIL OF SUPPLY CHAIN MANAGEMENT PROFESSIONALS

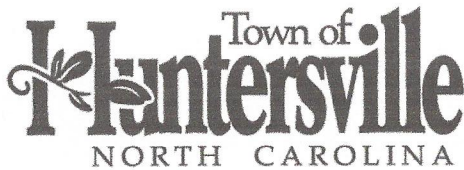
AREAS OF EXPERTISE AND INTERESTS/SKILLS ALUM HUNTERSVILLE 101 (2012 CLASS); WORKING EXPERIENCE WITH CHAMBERS OF COMMERCE; VOLUNTEER FOR VARIOUS NON-PROFIT ENTITIES; HABITAT FOR HUMANITY TRIP TO GUATEMALA

I, the undersigned, acknowledge that this application and questionnaire will remain active for a two (2) year period, unless withdrawn by me, the applicant, and if appointed, the Town Board may remove members who do not meet attendance requirements pursuant to the Rules of Procedure¹.

Doug Marrelli
(Signature of Applicant)

7/7/17
(Date)

¹ Must attend seventy-five percent (75%) of the Regular meetings in a twelve (12) consecutive month period, or miss three (3) consecutive regular meetings



QUESTIONNAIRE

To assist the Board of Commissioners in making appointments to the Planning Board, please respond briefly to the following questions. There is no right or wrong answer. Your responses will provide a framework for discussion with the Mayor and Commissioners.

Overview: The Planning Board consists of nine (9) total members of whom at least seven (7) members shall reside within the corporate limits, appointed by the Town Board, and in no instance be less than one (1) ETJ member appointed by the Board of County Commissioners. The Planning Board acts as an advisory body to the Board of Commissioners on all matters related to the growth and development of Huntersville. The Planning Board considers the facts relative to rezoning applications, new subdivisions and site plans, and ordinance amendments, among other issues. The Board formulates a recommendation on each matter, which in turn goes to the Commissioners for final action.

1. Please describe the areas of community service in which you have participated, in Huntersville or elsewhere.

HUNTERSVILLE 101 - CLASS OF 2012
HABITAT FOR HUMANITY
GRAND OAK ELEMENTARY AND BRADLEY MIDDLE SCHOOL VOLUNTEER
ADA JENKINS MONTHLY VOLUNTEER

2. Briefly describe your vision for Huntersville in the next 10 to 15 years. What factors during that time will shape the growth of our community?

FORESIGHT SMART PLANNING, AND CONTINUING TO WORK WITH OUR
NEIGHBORS (I.E. COANELIUS) WILL ALLOW OUR COMMUNITY TO POSITIVELY
FLORISH.

3. What obstacles do you see to achieving this vision?

WE LIVE IN A VERY DESIRABLE AREA, SO BY DEFINITION, OTHERS
WANT TO MOVE HERE. SMART, MANAGED GROWTH-PLANNING IS KEY.

4. What special opportunities could be used to achieve your vision?

I HAVE BEEN FORTUNATE TO LIVE IN HUNTERSVILLE FOR OVER 17 YEARS
NOW AND HAVE EXPERIENCED OUR PHENOMENAL GROWTH. MY WIFE AND
OUR TWO CHILDREN ARE THRIVING IN THE PUBLIC SCHOOLS. I AM WELL
ROOTED IN THE AREA AND CAN VOICE SHARED COMMUNITY INSIGHTS.

5. With rapid development occurring in Huntersville and the surrounding area, the character and growth patterns of our community are changing rapidly. Please discuss briefly any problems that you perceive, anything that you would like to change, and/or anything you find particularly appropriate to Huntersville.

ONE BIG CONCERN, AS MANY ALSO FEEL, IS TRAFFIC. GETTING
IN FRONT OF TRANSPORTATION NEEDS AS MUCH AS POSSIBLE,
WILL KEEP HUNTERSVILLE A DESIRABLE PLACE TO LIVE.



Other comments:

I LEARNED A GREAT DEAL WHILE ATTENDING MY LEADERSHIP CHARLOTTE AND ALSO MY HUNTERSVILLE 101 CLASSES. I CONTINUE TO ENJOY OUR ALUMNI GATHERINGS. AS MY CHILDREN, 9 + 12, ARE A BIT OLDER NOW, MY SCHEDULE ALLOWS ME TO GET MORE INVOLVED AND HELP MY COMMUNITY.

The Town of Huntersville Board of Commissioners sincerely appreciates the interest of all citizens in the Town's advisory committees and urges the public to nominate qualified persons for membership. Nominations may be sent to:

Town of Huntersville
Attn: Michelle Haines
Post Office Box 664
Huntersville, NC 28070

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Please return to the Huntersville Planning Department**



NOTIFICATION FOR SERVICE FOR THE
TOWN OF HUNTERSVILLE
PLANNING BOARD

Please type or print in black ink

NAME: Lauren Temple Ruff

HOME PHONE: N/A

HOME ADDRESS: 16866 Bridgeton Lane, Huntersville NC 28078 CELL PHONE: 504-451-3397

DO YOU RESIDE IN THE TOWN LIMITS OR ETJ?: within the town limits

PRESENT OCCUPATION: advertising account manager WORK PHONE: 704-332-2299

PLACE OF EMPLOYMENT: Birdsong Gregory (715 N. Church St., #101, Charlotte NC, 28202)

EMAIL ADDRESS: l.templeruff@gmail.com

APPROXIMATE HOURS AVAILABLE PER MONTH FOR SERVING ON ADVISORY BOARD: 20-25

NAME OF ANY TOWN OR COUNTY BOARDS/COMMITTEES/COMMISSIONS YOU ARE PRESENTLY SERVING ON: N/A

EDUCATION: 2007: M.S. Communication Strategy from Virginia Commonwealth University - Brandcenter;
2004: B.A. Classics from The College of William and Mary

BUSINESS AND CIVIC EXPERIENCE: As both a private employee and professor, I have extensive strategic advertising, media, and publishing experience. I most recently taught marketing at Tulane University. While in Louisiana, I also served as online editor of Edible New Orleans, as well as a board member/chair with both TREE (Teaching Responsible Earth Education) and the American Advertising Federation (NOLA).

AREAS OF EXPERTISE AND INTERESTS/SKILLS: communications strategy and design; marketing; organizational leadership; public speaking; writing and editing; event planning; board leadership (with formal training in parliamentary process, fiduciary duty, etc.)

I, the undersigned, acknowledge that this application and questionnaire will remain active for a two (2) year period, unless withdrawn by me, the applicant, and if appointed, the Town Board may remove members who do not meet attendance requirements pursuant to the Rules of Procedure¹.

L. Temple Ruff
(Signature of Applicant)

7-7-17

(Date)

¹ Must attend seventy-five percent (75%) of the Regular meetings in a twelve (12) consecutive month period, or miss three (3) consecutive regular meetings



NOTIFICATION FOR SERVICE FOR THE
TOWN OF HUNTERSVILLE
PLANNING BOARD

Please type or print in black ink

NAME: **Lauren Temple Ruff**

HOME PHONE: **N/A**

HOME ADDRESS: **16866 Bridgeton Lane, Huntersville NC 28078** CELL PHONE: **504-451-3397**

DO YOU RESIDE IN THE TOWN LIMITS OR ETJ?: **within the town limits**

PRESENT OCCUPATION: **advertising account manager** WORK PHONE: **704-332-2299**

PLACE OF EMPLOYMENT: **Birdsong Gregory (715 N. Church St., #101, Charlotte NC, 28202)**

EMAIL ADDRESS: **l.templeruff@gmail.com**

APPROXIMATE HOURS AVAILABLE PER MONTH FOR SERVING ON ADVISORY BOARD: **20-25**

NAME OF ANY TOWN OR COUNTY BOARDS/COMMITTEES/COMMISSIONS YOU ARE PRESENTLY SERVING ON: **N/A**

EDUCATION: **2007: M.S. Communication Strategy from Virginia Commonwealth University - Brandcenter; 2004: B.A. Classics from The College of William and Mary**

BUSINESS AND CIVIC EXPERIENCE: **As both a private employee and professor, I have extensive strategic advertising, media, and publishing experience. I most recently taught marketing at Tulane University. While in Louisiana, I also served as online editor of Edible New Orleans, as well as a board member/chair with both TREE (Teaching Responsible Earth Education) and the American Advertising Federation (NOLA).**

AREAS OF EXPERTISE AND INTERESTS/SKILLS: **communications strategy and design; marketing; organizational leadership; public speaking; writing and editing; event planning; board leadership (with formal training in parliamentary process, fiduciary duty, etc.)**

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Please see addendum scan (included as page 1 of PDF)
(Signature of Applicant)

(Date)

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QUESTIONNAIRE

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1. Please describe the areas of community service in which you have participated, in Huntersville or elsewhere.:
The majority of my recent community service participation has been completed in conjunction with the Junior League (both Charlotte and New Orleans chapters). My efforts have ranged from sorting retail donations and home repair to planning fundraiser events and providing pro-bono design/marketing services. I have also volunteered extensively with the The Edible Schoolyard Project and other community-based organizations (especially those dealing with child or animal welfare).

2. Briefly describe your vision for Huntersville in the next 10 to 15 years. What factors during that time will shape the growth of our community?:

Huntersville will continue to grow - attracting residents from within CharMeck, as well as external transplants. A healthy balance of commercial and residential areas, both suburban and rural, should be sought. Likewise, culturally-pertinent local and region-based businesses should also be encouraged. We must maintain Huntersville as an attractive and affordable place to live (for all segments of our population).

3. What obstacles do you see to achieving this vision?:

In the midst of fast-paced growth (both residential and commercial), there may be a push to fully saturate the Huntersville market. It will be important to encourage expansion (recognizing urgent opportunities) without overwhelming or losing the area's unique "green" quality. We have to respectfully ensure that recreational, "shared" spaces are not only maintained, but open and accessible to the public at large.

4. What special opportunities could be used to achieve your vision?:

Huntersville has the opportunity to reinvigorate its downtown through not only the revitalization of existing properties and businesses, but also the introduction of fresh, yet compatible, additions. The area has a noted success in establishing mixed-use developments that appeal to a range of residents and visitors. Continuing this emphasis of "indoor/outdoor" balance and accessibility will be an advantage in attracting a diverse and synergistic population.

5. With rapid development occurring in Huntersville and the surrounding area, the character and growth patterns of our community are changing rapidly. Please discuss briefly any problems that you perceive, anything that you would like to change, and/or anything you find particularly appropriate to Huntersville.:

Transportation and infrastructure are consistent challenges to be considered. It will be important to avoid Huntersville becoming a thoroughfare (or worse yet, parking lot) between the cities of Charlotte and Mooresville. This can be avoided by encouraging smart growth (maintaining a healthy balance of developed and open space) that prioritizes quality and local investment (not just "big boxes"). Within Huntersville, we need to maintain a unifying identity and enthusiasm for our town that both allows for and benefits from growth.



Other comments:

Thank you for taking the time to consider my interest in this role. I am excited as to the opportunity, and look forward to the possibility of working together. If any additional information will be helpful, please let me know.

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Attn: Michelle Haines
Post Office Box 664
Huntersville, NC 28070

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Please return to the Huntersville Planning Department**



NOTIFICATION FOR SERVICE FOR THE
TOWN OF HUNTERSVILLE
PLANNING BOARD

Please type or print in black ink

NAME John McClelland HOME PHONE 704.789.3509
HOME ADDRESS 219 Nottingham Drive CELL PHONE 704.789.3509
DO YOU RESIDE IN THE TOWN LIMITS OR ETJ? Town Limits
PRESENT OCCUPATION Real Estate Broker WORK PHONE 704.789.3509
PLACE OF EMPLOYMENT Keller Williams LKN
EMAIL ADDRESS johnrmcclellandii@gmail.com

APPROXIMATE HOURS AVAILABLE PER MONTH FOR SERVING ON ADVISORY BOARD 10

NAME OF ANY TOWN OR COUNTY BOARDS/COMMITTEES/COMMISSIONS YOU ARE PRESENTLY SERVING ON:

None EXPIRATION DATE _____
EXPIRATION DATE _____

EDUCATION B.S. in Organizational Management from Charleston Southern University

BUSINESS AND CIVIC EXPERIENCE 4 years residential real estate broker, 1 year commercial construction project management and sales, 3 years warehousing and distribution.
Currently starting a construction company. Active member at Lake Forest Community Church.

AREAS OF EXPERTISE AND INTERESTS/SKILLS Communication, organization, residential real estate, construction, & leadership.
Small business, entrepreneurship, individual contribution to the community.

I, the undersigned, acknowledge that this application and questionnaire will remain active for a two (2) year period, unless withdrawn by me, the applicant, and if appointed, the Town Board may remove members who do not meet attendance requirements pursuant to the Rules of Procedure¹.

John McClelland
(Signature of Applicant)

06-27-2017
(Date)

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QUESTIONNAIRE

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1. Please describe the areas of community service in which you have participated, in Huntersville or elsewhere.

Lake Forest Community Church, Habitat for Humanity, mentoring under privileged youth, help build an orphanage in the Dominican Republic.

2. Briefly describe your vision for Huntersville in the next 10 to 15 years. What factors during that time will shape the growth of our community?

A vibrant community that is both aesthetically pleasing and functional for its residential and business citizens. I see Huntersville as an area that will continue to grow in both population and economic impact. I believe Huntersville has a lot to offer. We have a responsibility and opportunity to manage Huntersville's rapid increase in population by providing (quality housing, shopping, and service based businesses) to its citizens that will lead to continued growth along side the city of Charlotte.

3. What obstacles do you see to achieving this vision?

Infrastructure, competing municipalities that could offer better incentives to residents and/or businesses, a population segment that is unwilling to embrace new ideas and solutions for dealing with the growing pains of our town.

4. What special opportunities could be used to achieve your vision?

Repurposing and/or rezoning existing property in way that benefits our community now and in the future. Pushing NCDOT to make transportation improvement in our area a priority.

5. With rapid development occurring in Huntersville and the surrounding area, the character and growth patterns of our community are changing rapidly. Please discuss briefly any problems that you perceive, anything that you would like to change, and/or anything you find particularly appropriate to Huntersville.

I have been so excited to see downtown Huntersville expand and develop into what it is today (and what it could be). The biggest problem I perceive is our infrastructure and could inhibit future growth.



Other comments:

Having grown up in the area and my family being from Charlotte for many generations, I have seen a lot of changes both good and bad. I can only hope that we retain our identity and rich history while we open our hearts and minds to embrace change and growth. I'm excited for the potential opportunity to serve my community and it's citizens.

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Huntersville, NC 28070

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NOTIFICATION FOR SERVICE FOR THE
TOWN OF HUNTERSVILLE
PLANNING BOARD

Please type or print in black ink

NAME David Rosenthal HOME PHONE -
HOME ADDRESS 7629 Dinniston Drive CELL PHONE 517-295-9386
DO YOU RESIDE IN THE TOWN LIMITS OR ETJ? Huntersville Town Limits
PRESENT OCCUPATION Product Manager WORK PHONE -
PLACE OF EMPLOYMENT American Chemical Technologies
EMAIL ADDRESS dave.m.rosenthal@gmail.com

APPROXIMATE HOURS AVAILABLE PER MONTH FOR SERVING ON ADVISORY BOARD _____

NAME OF ANY TOWN OR COUNTY BOARDS/COMMITTEES/COMMISSIONS YOU ARE PRESENTLY
SERVING ON: _____

EXPIRATION DATE -

EXPIRATION DATE _____

EDUCATION Bachelors Degree - Business
Masters Degree - Public Administration

BUSINESS AND CIVIC EXPERIENCE Orange County, FL Office of Management and Budget
Analyst, NASA Kennedy Space Center Resource Liaison for Center Operations Directorate,
Society of Tribologists and Lubrication Engineers Florida Chapter Treasurer, Birkdale ARC

AREAS OF EXPERTISE AND INTERESTS/SKILLS Product Management, Project Management,
YMCA V-Guides Chief, Leading Teams, Local Family-Oriented Activities,
Fitness Fellowship Faith (F3)

I, the undersigned, acknowledge that this application and questionnaire will remain active for a two (2) year period, unless withdrawn by me, the applicant, and if appointed, the Town Board may remove members who do not meet attendance requirements pursuant to the Rules of Procedure¹.

David Rosenthal
(Signature of Applicant)

7/5/17
(Date)

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QUESTIONNAIRE

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1. Please describe the areas of community service in which you have participated, in Huntersville or elsewhere.

Community service started at a young age with active participation and leadership with the Boy Scouts of America. Since this time, I've focused my service on helping others including Habitat for Humanity, the ALS Association, Ronald McDonald House, and community/beach clean-ups. I've also tutored children and mentored young adults.

2. Briefly describe your vision for Huntersville in the next 10 to 15 years. What factors during that time will shape the growth of our community?

My vision for the Town of Huntersville in the next 10-15 years is to continue with sustainable residential and economic growth with emphasis on infrastructure and complimentary businesses to maintain a high quality of life for our fellow citizens.

3. What obstacles do you see to achieving this vision?

Huntersville must maintain a healthy balance between residential and economic growth while embracing a family-first environment that has been built to date. Furthering the position of making Huntersville a highly desired area to visit in addition to living in will aid in economic success.

4. What special opportunities could be used to achieve your vision?

Continued strengthening of our sense of community, inclusive and exclusive of Charlotte metro areas paired with supporting and encouraging local activities/events, maintaining a safe community, preserving and maintaining the elements of our environment including Lake Norman, and maximizing citizen involvement to achieve our vision.

5. With rapid development occurring in Huntersville and the surrounding area, the character and growth patterns of our community are changing rapidly. Please discuss briefly any problems that you perceive, anything that you would like to change, and/or anything you find particularly appropriate to Huntersville.

Along with Huntersville's loyal longtime residents who have seen the community transition through the years, a young and vocal demographic of transplants to the area are quickly becoming the majority. Ensuring we don't lose sight of what made Huntersville what it is today should remain at the forefront of our minds.

Planning Board Membership

Terms Through 2020
Updated 7/2017 mvh

TOWN SEAT:

Harold Bankirer, Chairman

17206 Linksview Lane
Huntersville, NC 28078
704-274-9680

Filled Unexpired Term: August 17, 2009

Term expires June 30, 2020

Email hbankirer@aol.com

Catherine Graffy

15120 Pavilion Loop Drive
Huntersville, NC 28078
860-805-1196

Term Beginning: July 1, 2016

Term expires: June 30, 2019

Email: cgraffy@outlook.com

Stephen Swanick

203 Mt. Holly-Huntersville Road
Huntersville, NC 28078
704-618-0435

Filled Unexpired Term: July 1, 2015

Term expires June 30, 2020

E-mail stephen.swanick@gmail.com

Joe Sailers

9332 Westminster Drive
Huntersville, NC 28078
(704) 661-8275

Term Beginning: June 2008

Term expires June 30, 2019

E-mail jwscws@bellsouth.net

Jennifer Davis, Vice Chairman

7530 McIlwaine Road
Huntersville, NC 28078
704-918-9357

Filled Unexpired Term: February 15, 2016

Term expires June 30, 2018

E-mail: jenniferdavis078@gmail.com

Vacant

*

Huntersville, NC 28078
(phone no.)

Filled Unexpired Term:

Term expires June 30, 2018

Email:

Ron Smith

15902 Gathering Oaks
Huntersville, NC 28078
704-941-7366

Term Beginning: July 1, 2016

Term expires June 30, 2019

E-mail ronsmith@celgard.com

TOWN (OR ETJ SEAT):

Susan Thomas

10215 Lasaro Way
Huntersville, NC 28078
704-987-7962

Filled Unexpired Term: April 20, 2015

Term Expires June 30, 2020

E-mail: set0525@bellsouth.net

ETJ SEAT:

JoAnne Miller

13900 Asbury Chapel Road
Huntersville, NC 28078
980-522-9855

Term Beginning: August 2000

Term expires June 30, 2018

E-mail joannebmiller@bellsouth.net



NOTIFICATION FOR SERVICE FOR THE
TOWN OF HUNTERSVILLE
PLANNING BOARD

Please type or print in black ink

NAME Matthew Ryan Fisher HOME PHONE 704 -274-5528
HOME ADDRESS 6628 Colonial Garden Drive CELL PHONE 239-872-1678
DO YOU RESIDE IN THE TOWN LIMITS OR ETJ? Yes
PRESENT OCCUPATION Environmental Consultant WORK PHONE 239-872-1678
PLACE OF EMPLOYMENT US Environmental Mitigation Services, LLC
EMAIL ADDRESS Mfisher@usmitigation .com

APPROXIMATE HOURS AVAILABLE PER MONTH FOR SERVING ON ADVISORY BOARD 20

NAME OF ANY TOWN OR COUNTY BOARDS/COMMITTEES/COMMISSIONS YOU ARE PRESENTLY
SERVING ON:

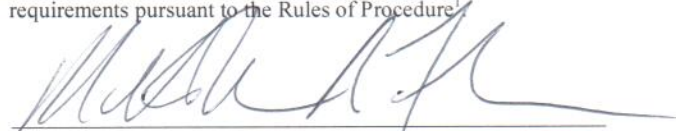
N/A EXPIRATION DATE _____
N/A EXPIRATION DATE _____

EDUCATION B of A University of Louisville, 1988

BUSINESS AND CIVIC EXPERIENCE 1990-2003 Real Estate Resort Management
2003-Present Environmental and Economic Development Consulting
Active member of multiple County Economic Development programs

AREAS OF EXPERTISE AND INTERESTS/SKILLS Environmental Permitting for public and private project development
Consultant to multiple State Department of Transportation. Volunteer consultant to multiple Regional Conservation
Organizations

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(Signature of Applicant)

7-10-17
(Date)

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QUESTIONNAIRE

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1. Please describe the areas of community service in which you have participated, in Huntersville or elsewhere.
I have participated through my career with multiple economic development councils throughout the Carolina's and South west Florida for the past 14 years on topics of Conservation, Job Growth Recruitment, Green space planning, and Commercial Development.

2. Briefly describe your vision for Huntersville in the next 10 to 15 years. What factors during that time will shape the growth of our community?
Huntersville can maintain its small town feel but meet the needs of its growing population to maintain the well planned balance of economic growth and community. The new downtown plan can continue to be built on for the entire jurisdictional borders of Huntersville. Residence will be satisfied with a well informed growth plan.

3. What obstacles do you see to achieving this vision?
Funding, Manpower, and improper planning will be an obstacle if not addressed.

4. What special opportunities could be used to achieve your vision?
Increased planning for light infrastructure development to increase tax income for the Town. Quality of Life drive back office services and tech industry. There is also federal and state matching grant programs to assist the town and following any new initiatives.

5. With rapid development occurring in Huntersville and the surrounding area, the character and growth patterns of our community are changing rapidly. Please discuss briefly any problems that you perceive, anything that you would like to change, and/or anything you find particularly appropriate to Huntersville.
Public communications of the town growth plan can be improved through social media and beyond traditional media. The town has begun using this approach in the past year and I encourage more of it.



Other comments:

I believe my experience is environmental permitting (Section 404 and 401 of the clean water act) for public and private industry can be use service to the town planning board. My experience in economic development and commercial development can be utilized for the town comprehensive planning. My experience with State DOT programing can be of service to the town engineering and public works department. Thank you for your consideration

The Town of Huntersville Board of Commissioners sincerely appreciates the interest of all citizens in the Town's advisory committees and urges the public to nominate qualified persons for membership. Nominations may be sent to:

Town of Huntersville
Attn: Michelle Haines
Post Office Box 664
Huntersville, NC 28070

For more information on the responsibilities of various advisory bodies, applicants may contact the Planning Department at (704) 875-7000.

**Thank you for completing the application and questionnaire.
Please return to the Huntersville Planning Department**

Town of Huntersville
REQUEST FOR BOARD ACTION
7/17/2017

REVIEWED:

To: The Honorable Mayor and Board of Commissioners
From: Janet Pierson, Town Clerk
Subject: Approval of Minutes

Consider approving the minutes of the June 19, 2017 Regular Town Board Meeting.

ACTION RECOMMENDED:

Approve Minutes

FINANCIAL IMPLICATIONS:

N/A

ATTACHMENTS:

Description	Type
□ Draft Minutes	Backup Material

**TOWN OF HUNTERSVILLE
TOWN BOARD MEETING
MINUTES**

**June 19, 2017
6:30 p.m. – Huntersville Town Hall**

PRE-MEETING

The Huntersville Board of Commissioners held a pre-meeting at the Huntersville Town Hall at 5:00 p.m. on June 19, 2017.

GOVERNING BODY MEMBERS PRESENT: Mayor John Aneralla; Commissioners Melinda Bales, Dan Boone, Mark Gibbons, Charles Guignard, Rob Kidwell and Danny Phillips.

Commissioner Guignard made a motion to go into closed session for personnel. Commissioner Bales seconded motion. Motion carried unanimously.

Upon return from closed session, there being no further business, the pre-meeting was adjourned.

**REGULAR MEETING
TOWN OF HUNTERSVILLE
BOARD OF COMMISSIONERS**

The Regular Meeting of the Huntersville Board of Commissioners was held at the Huntersville Town Hall at 6:30 p.m. on June 19, 2017.

GOVERNING BODY MEMBERS PRESENT: Mayor John Aneralla; Commissioners Melinda Bales, Dan Boone, Mark Gibbons, Charles Guignard, Rob Kidwell and Danny Phillips.

Mayor Aneralla called the meeting to order.

Mayor Aneralla called for a moment of silence.

Mayor Aneralla led the Pledge of Allegiance.

MAYOR AND COMMISSIONER REPORTS/STAFF QUESTIONS

Mayor Aneralla

- The North Meck Alliance met 1-1/2 weeks ago.
- The next meeting of the Metropolitan Transit Commission is June 28.

Commissioner Bales

- Have been meeting with Lake Norman Economic Development Corporation discussing work force development.
- LNEDC is in the process of updating their website.

Commissioner Boone

- Announced people that were presented awards at the recent Police awards picnic. *Refer to Exhibit No. 1.*

Commissioner Gibbons

- The next meeting of the NC 73 Council of Planning is to be announced, but will probably be in the September timeframe.
- The next Veterans Liaison meeting will probably be in August. The Veterans Service Office is open in Town Center one day a week.

Commissioner Guignard

- There is no Centralina Council of Governments meeting this month.
- The next meeting of the Planning Coordinating meeting is to be announced.
- Noted that the Town's current construction projects are coming along on schedule.

Commissioner Kidwell

- The next Charlotte Regional Transportation Planning Organization Meeting is June 21. One of the items that will be discussed and voted on is the matching money from CRTPO to widen Gilead Road towards Bud Henderson Road.

Commissioner Phillips

- Announced recent Visit Lake Norman events were a success.
- The Lake Norman Chamber's Business Expo was a success.

PUBLIC COMMENTS, REQUESTS, OR PRESENTATIONS

Mayor Aneralla presented Proclamation to the North Mecklenburg Volunteer Rescue Squad proclaiming June 30, 2017 as "North Mecklenburg Volunteer Rescue Squad" in the Town of Huntersville in honor of their last day of service to the community.

Town of Huntersville Proclamation

WHEREAS, the North Mecklenburg Volunteer Rescue Squad was founded in 1959 in the Town of Huntersville, North Carolina; and

WHEREAS, North Mecklenburg Volunteer Rescue squad has assisted over 175,000 patients during their 58 years of service provided to the citizens of Northern Mecklenburg County; and

WHEREAS, North Mecklenburg Volunteer Rescue Squad has had many members who have unselfishly donated their time to help a neighbor in need; and

WHEREAS, North Mecklenburg Volunteer Rescue Squad, will close their doors on June 30, 2017 after 58 years of service and dedication to this area.

NOW, THEREFORE, by virtue of the authority vested in me as Mayor of the Town of Huntersville, I do hereby proclaim Friday, June 30, 2017 as "North Mecklenburg Volunteer Rescue Squad Day" in the Town of Huntersville in honor of their last day of service in the Town of Huntersville and urge everyone to join me in expressing appreciation to the North Mecklenburg Volunteer Rescue Squad for their 58 years of service in our area.

IN WITNESS WHEREOF, I do hereby set my hand and cause the Seal of the Town of Huntersville to be affixed, this the 19th day of June, 2017.

Nick Walsh, 10320 Drake Hill Drive, announced his candidacy for office of Huntersville Town Commissioner.

Patrick Jakeway, 118 Pineridge Drive, requested the Board consider an ordinance for reasonable setbacks from a property line for beehives.

AGENDA CHANGES

Commissioner Guignard made a motion to adopt the agenda.

Commissioner Gibbons seconded motion.

Motion carried unanimously.

PUBLIC HEARINGS

Petition #TA17-04. Mayor Aneralla called to order public hearing on Petition #TA17-04, a request by the Town of Huntersville to amend Article 3.3.2.2(b) and Article 3.3.3.2(b) of the Huntersville Zoning Ordinance to modify the exceptions to applicability section of the Mountain Island Lake and Lake Norman Watershed regulations.

Meredith Nesbitt, Planner I, reviewed the Staff Report. *Full Staff Report attached hereto as Exhibit No. 2.*

Text Amendment #TA17-04 is a request by the Town of Huntersville to amend Article 3.3.2.2(b) and Article 3.3.3.2(b) of the Huntersville Zoning Ordinance to modify the exceptions to applicability section of the Mountain Island Lake and Lake Norman Watershed Overlay District regulations. Article 3.3.2 *Mountain Island Lake Watershed Overlay District* and Article 3.3.3 *Lake Norman Watershed Overlay District* of the Town Zoning Ordinance were adopted in October 1993 to provide protection of public water supplies as required by the North Carolina Water Supply Watershed Classification and Protection Act (1992).

Since 1993, the Town of Huntersville has processed four text amendments to the Watershed Overlay Districts. In 2006 the Watershed Overlay Districts' exceptions to applicability was not applicable to multiple contiguous lots under single ownership. Therefore, if a lot existed prior to the watershed regulations but someone owned more than one lot side-by-side they were no longer exempt from the standards of the Watershed Overlay Districts. This became an issue for staff as development in subdivisions such as Biltmore Park and Norman Park increased with the extension of Charlotte Water lines.

Biltmore Park and Norman Park were subdivided in the late 1960's with typically 50' wide by 150' long lots. The restrictive covenants (while not publicly enforced) requires property owners to combine at least two lots in order to build a single-family home. Prior to 2006, the combination of lots eliminated the exception to applicability found in the ordinance causing all development to be subject to built-upon area standards.

In 2006, staff proposed a text amendment to the watershed exceptions to applicability sections to remove the provision of applicability for multiple existing lots under single ownership. However, at the November 20, 2006 Town Board meeting concern was raised over eliminating this language.

Ultimately, the Text Amendment was approved with modified language that limited the exemption of Watershed Overlay District regulations to no more than two contiguous existing lots under single ownership. Therefore, if you own two contiguous existing lots development could be exempt from the Watershed Overlay District requirements but if you own three or more contiguous existing lots, development could not be exempt. Since 2006 Town staff has not seen development patterns that suggest owners of existing lots are taking advantage of the being exempt from watershed overlay built upon area standards, which was some of the concern raised.

The modified text amendment exemption has been the most difficult to apply to the Biltmore Park and Norman Park subdivisions. Staff is aware of a situation in Biltmore Park where three contiguous exiting lots under single ownership is prohibiting the owners from being able to put in a pool due to impervious restrictions. Whereas, in the same neighborhood a property owner having only two lots would not face the same impervious restrictions.

The current text amendment request is seeking to remove language that restricts the exception of applicability for the watershed overlay districts for existing contiguous lots under single ownership. If approved, lots existing prior to the effective date of the Watershed Overlay Districts would be exempt from applicability for the first development permit, regardless of contiguous ownership.

The Huntersville Ordinances Advisory Board reviewed the proposed amendment at their May 4, 2017 meeting and recommended approval of the text amendment request.

The following are examples of relevant polices from the 2030 Huntersville Community Plan that may be incorporated into the Board's statement of consistency for approval or denial of the request.

Police H-10: Redevelopment Areas– Support redevelopment of older established residential areas, consistent with adopted plans, Zoning Ordinance and Subdivision regulations.

Policy ED-14: Development Review Process – Support efforts to improve efficiency and responsiveness of development review process for development proposals.

Since adoption in 1993 the Mountain Island Lake and Lake Norman Watershed Overlay Districts have exempted existing lots of record from applicability of the watershed development standards (except in regards to buffer requirements). Over the years, single ownership of contiguous existing lots of record have become a difficult issue in administering watershed overlay regulations.

Considering the fact that existing lots of record are currently exempt from watershed overlay standards restricting built upon area allowance and the development patterns occurring in subdivisions such as Biltmore Park and Norman Park, staff does not see the need to restrict the contiguous ownership of existing lots of record in regards to watershed overlay applicability. Therefore, staff recommends approval of the text amendment as presented.

Commissioner Guignard stated he has no problem with protecting our water but it is hilariously horrendously sick that our government turns right around and puts fluoride in our water which is a known toxic waste.

There being no further comments, Mayor Aneralla closed the public hearing.

OTHER BUSINESS

Ordinance – Repairs and Closing of 110 S. Main Street. Commissioner Guignard requested to be recused because he owns property next to the subject property.

Commissioner Phillips made a motion to recuse Commissioner Guignard.

Commissioner Boone seconded motion.

Motion carried with five (5) yes votes.

Pursuant to the Town of Huntersville Nonresidential Building Code §152.04(B), the Board of Commissioners may adopt an ordinance to proceed to effectuate the purpose of the Administrative Order dated September 20, 2016, and pending such action to close and vacate, to placard the unit as provided in Part 5, Article 19 of Chapter 160A of the North Carolina General Statutes.

Jack Simoneau, Planning Director, reviewed the Staff Report. *Full Staff Report attached hereto as Exhibit No. 3.*

An inspection of the property located at 110 S. Main Street for Nonresidential Building Code standards was made by Mecklenburg County Code Enforcement Officer, Daren Bishop, on or about May 7, 2015, under an Administrative Search Warrant. Upon inspection of the structure there was reasonable cause found for a formal Complaint. The owner was contacted by the Inspector concerning the repairs of the building unit, and at a minimum to secure the unit. The owner failed to make any repairs. A Complaint and Notice of Hearing was served on the property owner, Emily Kornegay, on or about September 1, 2016. As a result of the title examination performed by the Town (a legal function that is required prior to the any hearing held), including examinations of neighboring units, an error was found in the chain of title which affected ownership of this unit and the adjoining unit to the north. The owner and other parties were notified, which resulted in corrective Deeds being filed with the Register of Deeds to clear the title and ownership for this unit and the adjoining unit. In the exercise of reasonable due diligence, the Complaint and Notice of Hearing was posted on the property, and served to all parties of interest, which included the adjoining owner to the north.

On September 19, 2016, a hearing was held and the property owner made an appearance. The Code Administrator found that the subject property violated the Town of Huntersville Nonresidential Building Code under numerous sections including, but not limited to electrical facilities, exterior walls, roofs, windows, plumbing and heating, and more particularly Sections 1502.14 (B)(C)(D)(F), 152.15, 152.15(B)(C)(E) and 152.16(A) of the Code. The subject structure was found not properly maintained so that the safety and health of the general public is jeopardized for failure to meet the minimum standards established, and was the owner was Ordered to repair the building to bring it into compliance with the minimum standards by no later than December 19, 2016. However, the Town considered an alternate solution whereby the property is to be repaired to a point described as a cold dark shell within the same timeframe. A cold dark shell is defined as a building shell that is structurally sound throughout, weathertight, secure, and not suitable for occupancy. The Administrative Order was entered on September 20, 2016, and a Notice of Lis Pendens filed on September 28, 2016.

To this date, the property owner, Emily Kornegay, has failed to respond to the Code Administrator, and failed to comply with the Order.

The subject property is located at 110 S. Main Street, Huntersville North Carolina. The real property is owned by Emily Kornegay by Deed dated December 16, 1985, and recorded in Deed Book 5144, at page 214, and further described as follows:

"BEGINNING at a point in the center line of the A.T. & O. Railroad track (now Southern Railway), said beginning point being located at the intersection of the center line of said track with a line bearing north 83 degrees East measured from the mid point of the easterly terminus of the party wall separating the pool hall situated on the herein described property from the laundrymat (formerly a storehouse building) which formerly belonged to J. R. McCurdy; and running thence from said beginning point with the center line of railroad track, South 8 degrees 31 minutes East 25 feet to a point; thence South 83 degrees West (entering the party wall on the barber shop (south) side at a distance of 72.9 feet), 158 feet to a point on the east side of Mullen Street; thence with said margin of said street, North 8 degrees 31 minutes West 25 feet to a point; thence North 83 degrees East 158 feet to the point or place of BEGINNING, all according to a plat of survey by T. L. Brotherton, Registered Surveyor, dated February 22, 1969, and entitled "The property of Charles Herbert Cochran, Jr. & Sr."

There are nuisance violations issued for the property in 2011 and 2012, both of which required abatement and caused primary liens to be filed against the unit. Real estate taxes are due and owing from 2011 to current in the amount of \$7,591.02. The conditions of the unit have progressively worsened over the years by its neglect. It is a nonresidential unit that, from any cause, may endanger the life, limb, health, property or safety or welfare of the general public.

Pursuant to the Town of Huntersville Nonresidential Building Code §152.04(B)(1), "If the owner fails to comply with an Order to repair, alter, or improve or to vacate and close the nonresidential building or structure, the Board of Commissioners may adopt an Ordinance ordering the Inspector, or assigned agent, to proceed to effectuate the purpose of this section with respect to the particular property or properties that the Inspector found to be jeopardizing the health or safety of its occupants or members of the general public." Furthermore, "Following adoption of an Ordinance, the Inspector, or assigned agent, may cause the building or structure to be repaired, altered, or improved, or to be vacated and closed. The Inspector may cause to be posted on the main entrance of any nonresidential building or structure so closed a placard with the following words: *"This building is unfit for any use; the use or occupation of this building for any purpose is prohibited and unlawful."*

Staff recommends adoption of an Ordinance to repair the unit located at 110 S. Main Street in accordance with the Nonresidential Building Code, and pursuant to the order entered September 20, 2016, and at a minimum to bring the unit to a closed and secured position.

The Code Administrator has not issued a request for proposals to close and secure. The amount of cost of repairs, alterations, or improvements, or vacating and closing by the Inspector shall be a lien against the real property, which lien shall be filed, have the same priority, and be collected as a lien for special assessment provided in G. S. Chapter 160A, Article 10.

Commissioner Phillips questioned why the Town couldn't go ahead and force the property into a tax sale due to the past due taxes.

Bob Blythe, Town Attorney, explained that there was discussion with the county at some point and they reached an agreement with the property owner for them to bring the taxes current. She started making payments, but then stopped, so at this point it could be foreclosed. It's my understanding there is someone interested in purchasing the property knowing that it will have to be brought up to code.

Mr. Simoneau estimates cost to secure the building would not exceed \$1,500. No repairs would be made, it would just be putting boards on the windows and making sure the door is secure.

Following further discussion, Commissioner Kidwell made a motion to adopt Ordinance ordering the repairs and closing of the unit located at 110 S. Main Street pursuant to the Nonresidential Building Code, Chapter 152.

Commissioner Bales seconded motion.

Commissioner Phillips requested that the motion include a not to exceed amount the town can spend on securing the building.

Commissioner Kidwell amended his motion to adopt the ordinance with the cost to secure the building not to exceed \$1,500.

Commissioner Bales seconded amended motion.

Motion carried with five (5) yes votes.

Commissioner Kidwell made a motion to bring Commissioner Guignard back.

Commissioner Gibbons seconded motion.

Motion carried with five (5) yes votes.

CONSENT AGENDA

Approval of Minutes. Commissioner Guignard made a motion to approve the minutes of the June 5, 2017 Regular Town Board Meeting. Commissioner Kidwell seconded motion. Motion carried unanimously.

Contract – CivicPlus. At the January 2017 Town Board Planning Retreat a presentation was made regarding the redesign of the Town's website. The Website Committee vetted several vendors over a period of several months and chose CivicPlus, Inc. due to its strong reputation, value for money, and functionality. It is anticipated that it will take five to six months to complete this project.

Commissioner Guignard made a motion to authorize execution of contract with CivicPlus, Inc. to provide website design services.

Commissioner Kidwell seconded motion.

Motion carried unanimously.

Contract attached hereto as Exhibit No. 4.

Budget Amendment – Electric. Because the rate of capital outlay placed in service in FY 2017 and additional usage among existing customers, the Town anticipates higher than budgeted purchased

power and electric sales of approximately \$1,100. This amendment allocates additional electric purchased power expense and allocates the revenue associated with those electric sales.

Commissioner Guignard made a motion to approve budget amendment to allow for additional purchased power and electric sales. Commissioner Kidwell seconded motion. Motion carried unanimously.

Budget Amendment – Police. Commissioner Guignard made a motion to approve budget amendment recognizing auto insurance revenue in the amount of \$1,876.40 and appropriate to the Police Department's auto insurance account. Commissioner Kidwell seconded motion. Motion carried unanimously.

Budget Amendment – HFFA. HFFA will host the USA Zone Diving Championships June 26 – July 2, 2017. Associated expenses include medals, hospitality meals, athlete/team recognition prizes, credentialing, and support staff in the amount of \$9,500 and revenues to include registration fees, vendor percentage fees, sponsorship and in-kind donations in the amount of \$20,740. Revenues and expenses will be recognized in the 2017 fiscal year.

Commissioner Guignard made a motion to approve budget amendment recognizing future revenue and expenses associated with hosting the USA Zone Diving Championships. Commissioner Kidwell seconded motion. Motion carried unanimously.

Deed Right-of-way to NCDOT. Commissioner Guignard made a motion to authorize the Mayor to execute deed transferring right-of-way (Parcel 017-105-02, Holbrook Street) to NCDOT. Commissioner Kidwell seconded motion. Motion carried unanimously.

Deed attached hereto as Exhibit No. 5.

CLOSING COMMENTS

Mayor Aneralla announced that the Mayor's Luncheon is tomorrow.

There being no further business, the meeting was adjourned.

Approved this the _____ day of _____, 2017.

Town of Huntersville
REQUEST FOR BOARD ACTION
7/17/2017

REVIEWED:

To: The Honorable Mayor and Board of Commissioners
From: Gerry Vincent/Tim Kopacz
Subject: Award contracts for Commerce Station Drive Duct Bank Materials

Consider awarding contracts based on material bid recommendations for Commerce Station Drive Duct Bank Materials per bids received during open public process. Solicitation of formal bids yielded five responses. Breakdown, evaluation, and recommendation can be found in the attached letter. Total of successful bids was \$411,263.

ACTION RECOMMENDED:

Award contracts per bid recommendations made by Southeastern Consulting Engineers on behalf of ElectriCities. Authorize Town Manager to execute the bid contract.

FINANCIAL IMPLICATIONS:

Budgeted FY18 item.

ATTACHMENTS:

Description	Type
Material Bid Recommendations	Backup Material



Southeastern Consulting Engineers, Inc.

June 26, 2017

Mr. Tim Kopacz
Electric Systems Manager
ElectriCities of North Carolina
11316 Sam Furr Road
Huntersville, North Carolina 28078

Ref.: Material Bid Recommendations
Commerce Station Drive

Dear Tim:

ElectriCities received proposals on June 8, 2017, from five suppliers and representatives solicited for providing electrical material necessary for construction of the new Commerce Station Drive Duck Bank.

A tabulation of the bids received is attached.

We have evaluated each item quoted based on compliance with the specifications, cost and delivery. These are the bidders we are recommending:

Schedule I - Conductors	Anixter	\$239,200.00
Schedule II - Connectors & Terminators	TEMA	\$28,570.00
Schedule III - Equipment Pads and Single Circuit Junction Boxes	Anixter	\$15,318.00
Schedule IV - Two Circuit Junction Boxes	Anixter	\$76,440.00
Schedule V - Padmounted Switchgear	R.W. Chapman/S&C	\$50,340.00
Schedule VI - Miscellaneous Items	Anixter	\$1,395.00

The total bid price for the above listed items excluding Sales Tax is \$411,263.00.

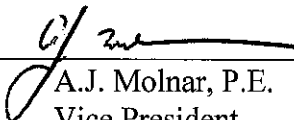
Please note, your crews are not familiar with proposed 600A elbows manufactured by Richards and offered by TEMA. The Richards representative plans to give crew demonstration on June 28, 2017. If crew does not approve after demo, we can move to next bidder on this schedule.

Also note that, although WESCO offered a less expensive Nordic equipment pad for Schedule III, the Town has experienced quality issues with these offered. Therefore, we do not consider them equivalent to the units we specified.

If you agree with our recommendations we look forward to your authorization for us to prepare the necessary contract documents.

Very truly yours,

SOUTHEASTERN CONSULTING ENGINEERS, INC.

By  _____
A.J. Molnar, P.E.
Vice President

AJM/lc

BID TABULATION

Equipment for Commerce Station Dive Duct Bank

ElectriCities of North Carolina
c/o Town of Huntersville
Huntersville, North Carolina

Date: June 8, 2017
Time: 2:00 PM, EDST

Bidder	Shealy Greenville, SC	TEMA Raleigh, NC	R.W. Chapman Charlotte, NC	WESCO Clayton, NC	Anixter Columbia, SC
Schedule I Conductors	\$264,960.00 (index) \$271,400.00 (firm)	No Quote	No Quote	\$243,156.00	\$239,200.00
Schedule II Connectors & Terminators	No Quote	\$28,570.00	No Quote	\$42,811.10	\$29,966.40
Schedule III Equipment Pads and Single Circuit Junction Boxes	\$15,885.00	No Quote	No Quote	\$12,645.54 *See Note Below	\$15,318.00
Schedule IV Two Circuit Junction Cabinets	\$79,100.00	No Quote	No Quote	\$79,459.52	\$76,440.00
Schedule V Padmounted Switchgear	\$64,495.00	No Quote	\$50,340.00	\$57,615.63	\$70,222.48
Schedule VI Miscellaneous Items	Incomplete	No Quote	No Quote	Incomplete	\$1,395.00
Bid Bond	5%	5% Check	5%	5%	5%

*ElectriCities prior experience with Nordic pads is they are lighter and break down over time. Not considered equal.

* All High bids = \$481,173
~ \$70,000 savings

Town of Huntersville
REQUEST FOR BOARD ACTION
7/17/2017

REVIEWED:

To: The Honorable Mayor and Board of Commissioners
From: Jackie Huffman / Dee Jetton
Subject: HFFA Budget Amendment for AAU National Championships

HFFA will be hosting the USA Zone Diving Championships July 22-28, 2017. These hosting duties include purchase of medals, hospitality meals, athlete/team recognition prizes, credentialing, advertising and support staff. This amendment provides \$11,850 for those expenses and amends HFFA's expected FY 2018 revenue by the same amount. While additional revenue up to \$44,200 is likely to be received (in registration fees, ticket sales and sponsorships), no additional expenses are expected, and therefore only \$11,850 budget is requested.

ACTION RECOMMENDED:

Approve budget amendment.

FINANCIAL IMPLICATIONS:

No decrease to HFFA fund balance; net profit could be as high as \$32,350.

Town of Huntersville
REQUEST FOR BOARD ACTION
7/17/2017

REVIEWED:

To: The Honorable Mayor and Board of Commissioners
From: Brian Richards
Subject: R17-04 Sam Furr Senior Apartments

Request by Nickel Development Group, LLC to rezone 2.024 acres located along Sam Furr Rd. west of Birkdale Village from Highway Commercial Conditional District (HC-CD) to Highway Commercial Conditional District (HC-CD) to create a 78 unit age restricted apartment building. Parcel ID # 00537401

ACTION RECOMMENDED:

Call Public Hearing for Monday, August 7, 2017

FINANCIAL IMPLICATIONS:

n/a

Town of Huntersville
REQUEST FOR BOARD ACTION
7/17/2017

REVIEWED:

To: The Honorable Mayor and Board of Commissioners
From: Alison Adams
Subject: TA 17-06 Open Space Amendment

Petition #TA17-06, a request by the Town of Huntersville to amend Article 3.2.1 Rural, Article 3.2.2 Transitional Residential, Article 3.2.4 Neighborhood Residential, Article 3.2.5 Neighborhood Center, Article 3.2.6 Town Center, Article 3.2.7 Highway Commercial, Article 3.2.8 Campus Institutional, Article 3.2.9 Corporate Business, Article 3.2.11 Transitional Neighborhood Development Districts, Article 3.2.12 Passenger Vehicle Sales, Article 3.2.13 Transit Oriented Development – Residential, Article 3.2.14 Transit Oriented Development – Employment, Article 7 Part B Open Space, Article 8.1.4, and Article 12.2.1 General Definitions of the Huntersville Zoning Ordinance to modify Open Space criteria and associated definitions.

ACTION RECOMMENDED:

Request Town Board to call a Public Hearing for the August 21, 2017 Town Board Meeting.

FINANCIAL IMPLICATIONS: