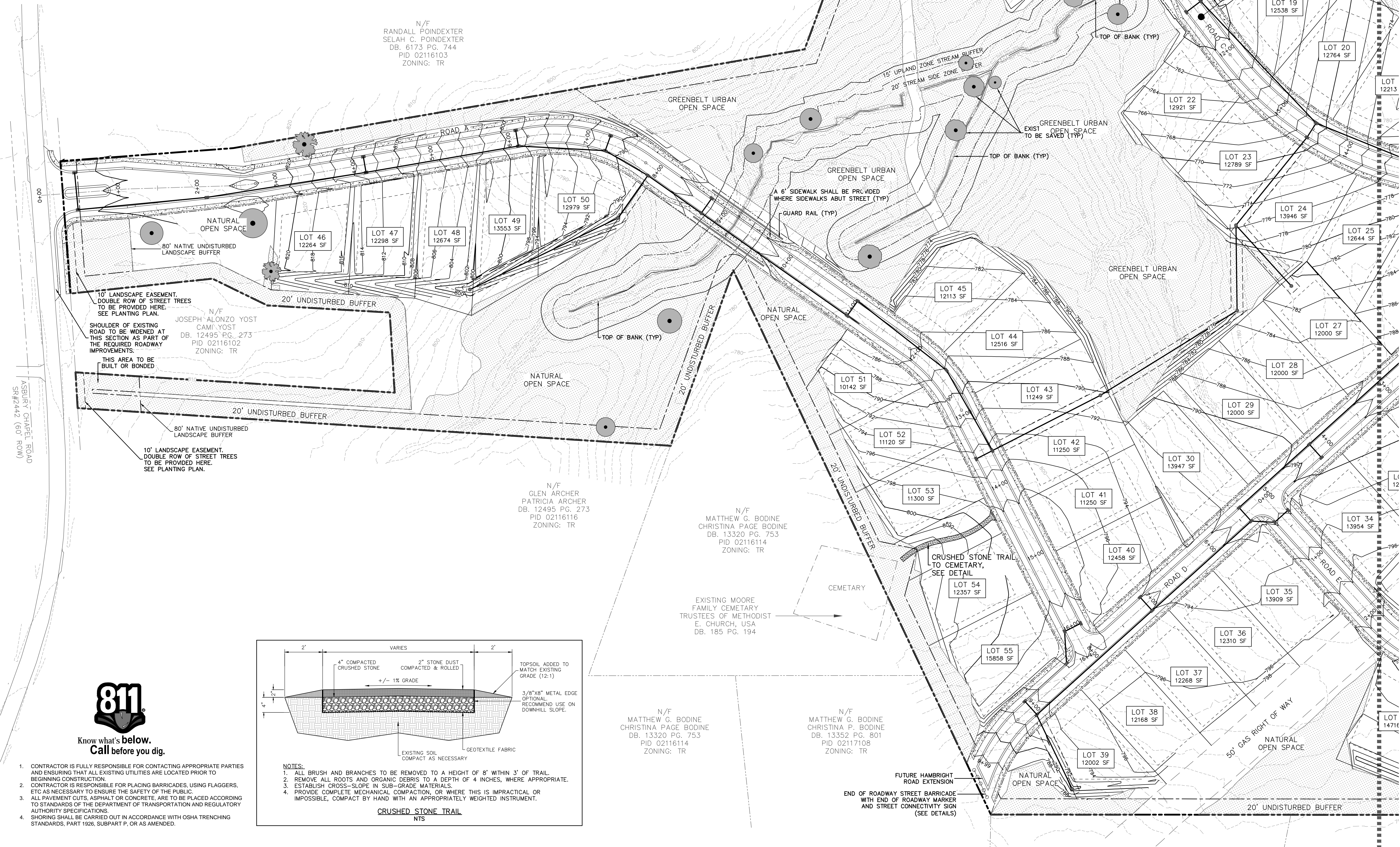


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PROPOSED GRADING LEGEND

PROJECT BOUNDARY	PROPOSED 2'-0" VALLEY GUTTER	PERENNIAL STREAM CENTERLINE & TOP OF BANK	PROPOSED STORM DRAINAGE PIPE AND CURB INLET	M.E.	MATCH EXISTING
20' BUFFER YARD	PROPOSED SIDEWALK	20' STREAM SIDE ZONE STREAM BUFFER (NO DISTURB)	PROPOSED STORM DRAINAGE DRAINAGE INLET	EP	EDGE OF PAVEMENT
80' LANDSCAPE BUFFER	PROPOSED A.D.A. RAMP	15' UPLAND ZONE STREAM BUFFER	PROPOSED STORM DRAINAGE JUNCTION BOX	BC	BOTTOM OF CURB
EXISTING R/W	EXISTING INTERVAL CONTOUR	POND BOUNDARY (NORMAL POOL)	PROPOSED STORM DRAINAGE EASEMENT	TC	TOP OF CURB
PROPOSED ROW	EXISTING INDEX CONTOUR	PROPOSED SWALE LINE	PROPOSED TREE SAVE AREA	BC	BOTTOM OF WALL
PROPOSED LOT LINE	PROPOSED INTERVAL CONTOUR	BMP MAINTENANCE ACCESS ROAD	EXISTING SPECIMEN TREES TO BE SAVED	TW	TOP OF WALL
PROPOSED LOT SETBACK LINE	PROPOSED INDEX CONTOUR	GUARD RAIL		TC 000.50 BC 000.00 TW 000.XX BW 000.00	CURB ELEVATIONS
				000.00	WALL ELEVATIONS
					SPOT ELEVATIONS
					FLOW ARROW
					GUARD RAIL
					USPS CLUSTERBOX UNIT (MAIL KIOSK)



Know what's below.
Call before you dig.

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- CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES, USING FLAGGERS, ETC AS NECESSARY TO ENSURE THE SAFETY OF THE PUBLIC.
- ALL PAVEMENT CUTS, ASPHALT OR CONCRETE, ARE TO BE PLACED ACCORDING TO STANDARDS OF THE DEPARTMENT OF TRANSPORTATION AND REGULATORY AUTHORITY SPECIFICATIONS.
- SHORING SHALL BE CARRIED OUT IN ACCORDANCE WITH OSHA TRENCHING STANDARDS, PART 1926, SUBPART P, OR AS AMENDED.

- NOTES:
- ALL BRUSH AND BRANCHES TO BE REMOVED TO A HEIGHT OF 8' WITHIN 3' OF TRAIL.
 - REMOVE ALL ROOTS AND ORGANIC DEBRIS TO A DEPTH OF 4" INCHES, WHERE APPROPRIATE.
 - ESTABLISH CROSS-SLOPE IN SUB-GRADE MATERIALS.
 - PROVIDE COMPLETE MECHANICAL COMPACTION, OR WHERE THIS IS IMPRACTICAL OR IMPOSSIBLE, COMPACT BY HAND WITH AN APPROPRIATELY WEIGHTED INSTRUMENT.

CRUSHED STONE TRAIL
NTS



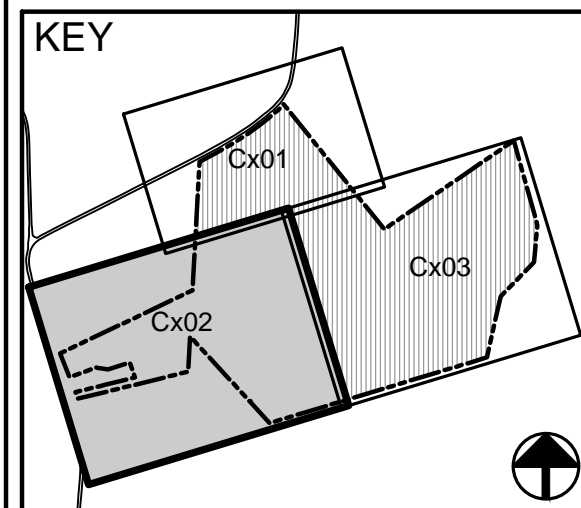
9920 Kinsey Avenue, Suite 200 | Huntersville, NC 28078
TEL 704.875.9887
www.ryanhomes.com



American Structurepoint, Inc.
NC Engineering Firm F-119
831 East Morehead Street, Suite 660 | Charlotte, NC 28202
TEL 980.938.0977 | FAX 317.543.0270
www.structurepoint.com

ASBURY CHAPEL

11620 Asbury Chapel Road
Huntersville, NC 28078



PERMITTING ONLY
NOT FOR
CONSTRUCTION

CERTIFIED BY
NC ENGINEERING FIRM F-1119

ISSUANCE INDEX

DATE:	04/01/2016
PROJECT PHASE:	ALL

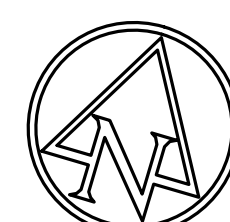
REVISION SCHEDULE

NO.	DESCRIPTION	DATE
A	PRELIM. SKETCH PLAN 1	4/1/2016
B	PRELIM. SKETCH PLAN 2	5/18/2016

STRUCTUREPOINT PROJECT # 2015.00721

GRADING PLAN

C402



0' 60' 120'
SCALE: 1"=60'

11620 Asbury Chapel Road
Huntersville, NC 28078



N/F
JW HOMES, LLC
MB. 57 PG. 988
PID 02114640
ZONING: TR

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CONSTRUCTION

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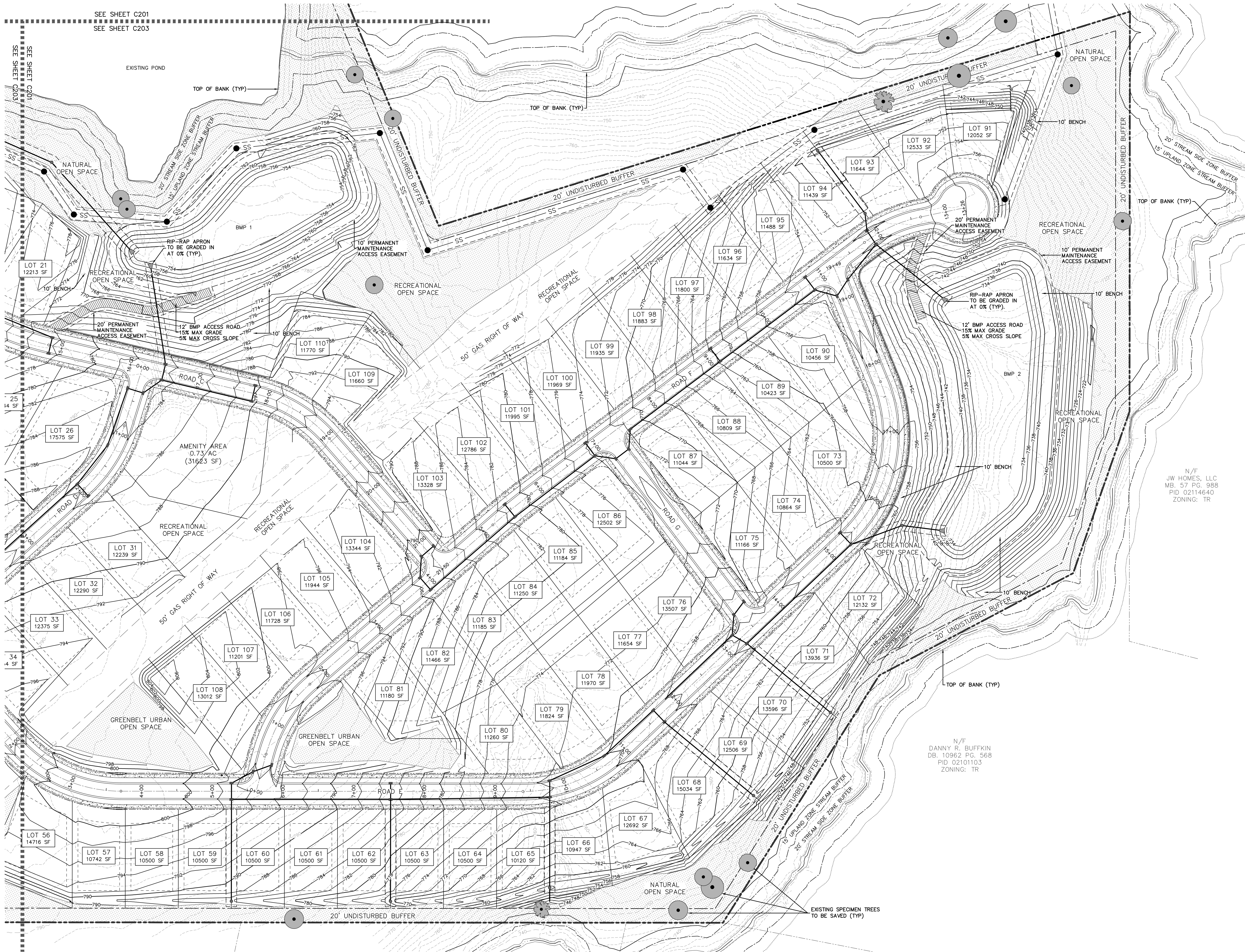
ISSUANCE INDEX
DATE:
04/01/2016
PROJECT PHASE:
ALL

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE
A	PRELIM. SKETCH PLAN 1	4/1/2016
B	PRELIM. SKETCH PLAN 2	5/18/2016

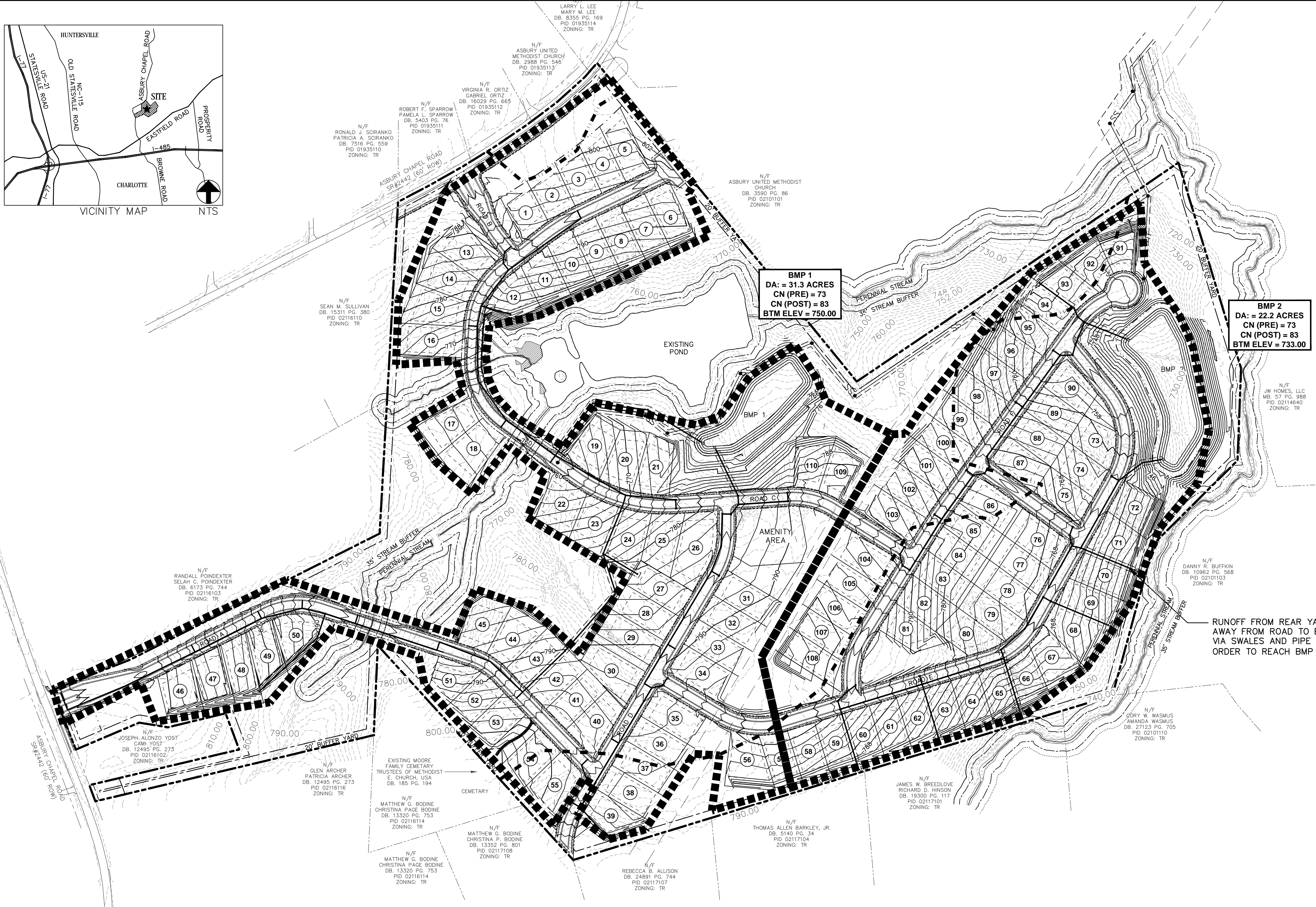
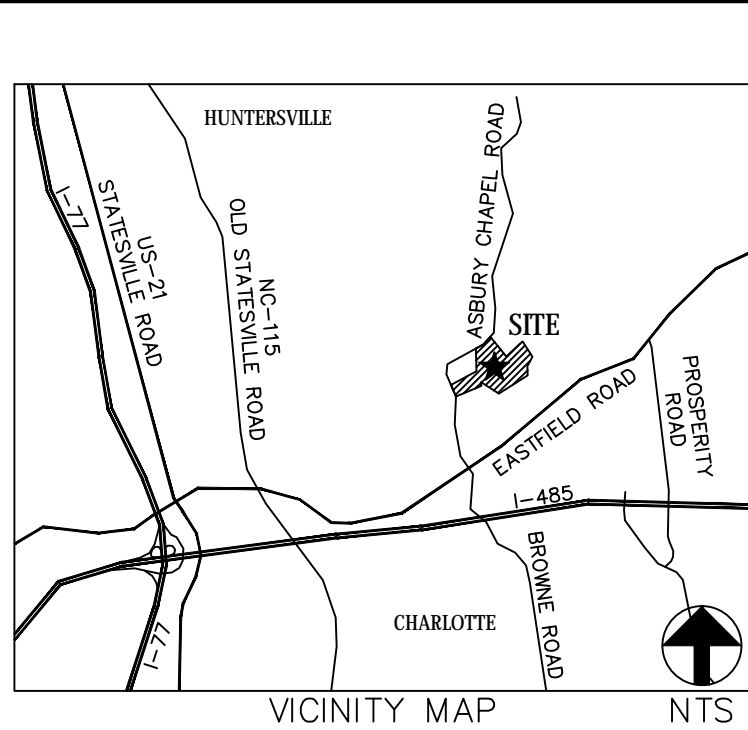
STRUCTUREPOINT PROJECT #	2015.00721
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
GRADING PLAN

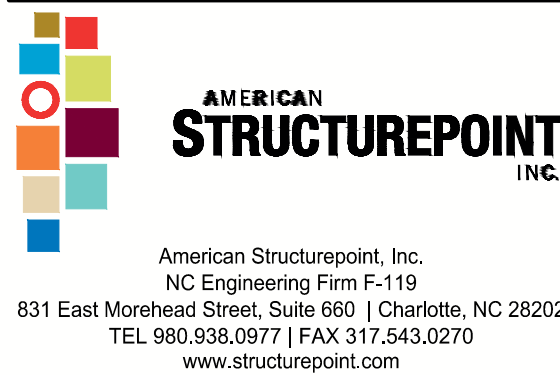
C403



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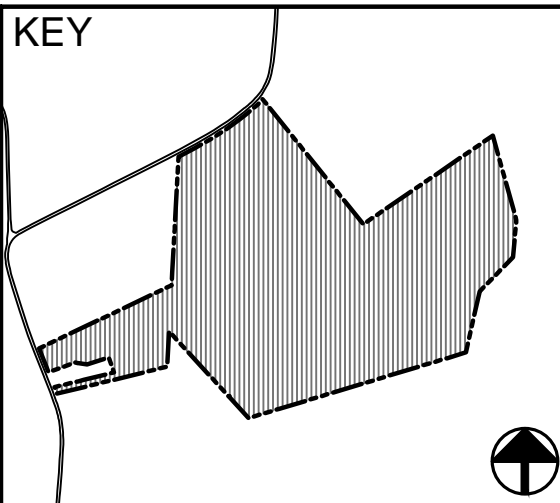


LEGEND	
PROPOSED DRAINAGE AREA	
EXISTING DRAINAGE AREA	



ASBURY CHAPEL

11620 Asbury Chapel Road
Huntersville, NC 28078



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CONSTRUCTION

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ISSUANCE INDEX

DATE:

04/01/2016

PROJECT PHASE:

ALL

REVISION SCHEDULE

NO.	DESCRIPTION	DATE
A	PRELIM. SKETCH PLAN 1	4/1/2016
B	PRELIM. SKETCH PLAN 2	5/18/2016

STRUCTUREPOINT
PROJECT # 2015.0072

DRAINAGE AREA MAP

C450



PRINT DATE: 5/19/16
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EDIT DATE: 5/18/16 - 6:08 PM EDITED BY: DCHAUSSARD
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Know what's **below**.
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2. CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES, USING FLAGGERS, ETC AS NECESSARY TO ENSURE THE SAFETY OF THE PUBLIC.
3. ALL PAVEMENT CUTS, ASPHALT OR CONCRETE, ARE TO BE PLACED ACCORDING TO STANDARDS OF THE DEPARTMENT OF TRANSPORTATION AND REGULATORY AUTHORITY SPECIFICATIONS.
4. SHORING SHALL BE CARRIED OUT IN ACCORDANCE WITH OSHA TRENCHING STANDARDS, PART 1926, SUBPART P, OR AS AMENDED.

50 Year, 24 Hour Volume Calculation			
NWR Asbury Chapel Road			
	BMP 1	BMP 2	
Drainage Area (Post) [ac]	31.3	22.2	
Drainage Area (Pre) [ac]	32.9	17.7	
CN (Post)	83	83	
CN (Pre)	73	73	
Tc (Post) [min]	5	5	
Tc (Pre) [min]	25	25	
50 Yr-24 Hr Volume (Post) [ac-ft]	11.580	8.213	
50 Yr-24 Hr Volume (Post) [Cubic ft]	504425	357578	
50 Yr-24 Hr Volume (Pre) [ac-ft]	9.260	4.886	
50 Yr-24 Hr Volume (Pre) [Cubic ft]	403366	212834	
50 Yr-24 Hr Volume Difference [ac-ft]	2.320	3.327	
50 Yr-24 Hr Volume Difference [Cubic ft]	101059	144924	

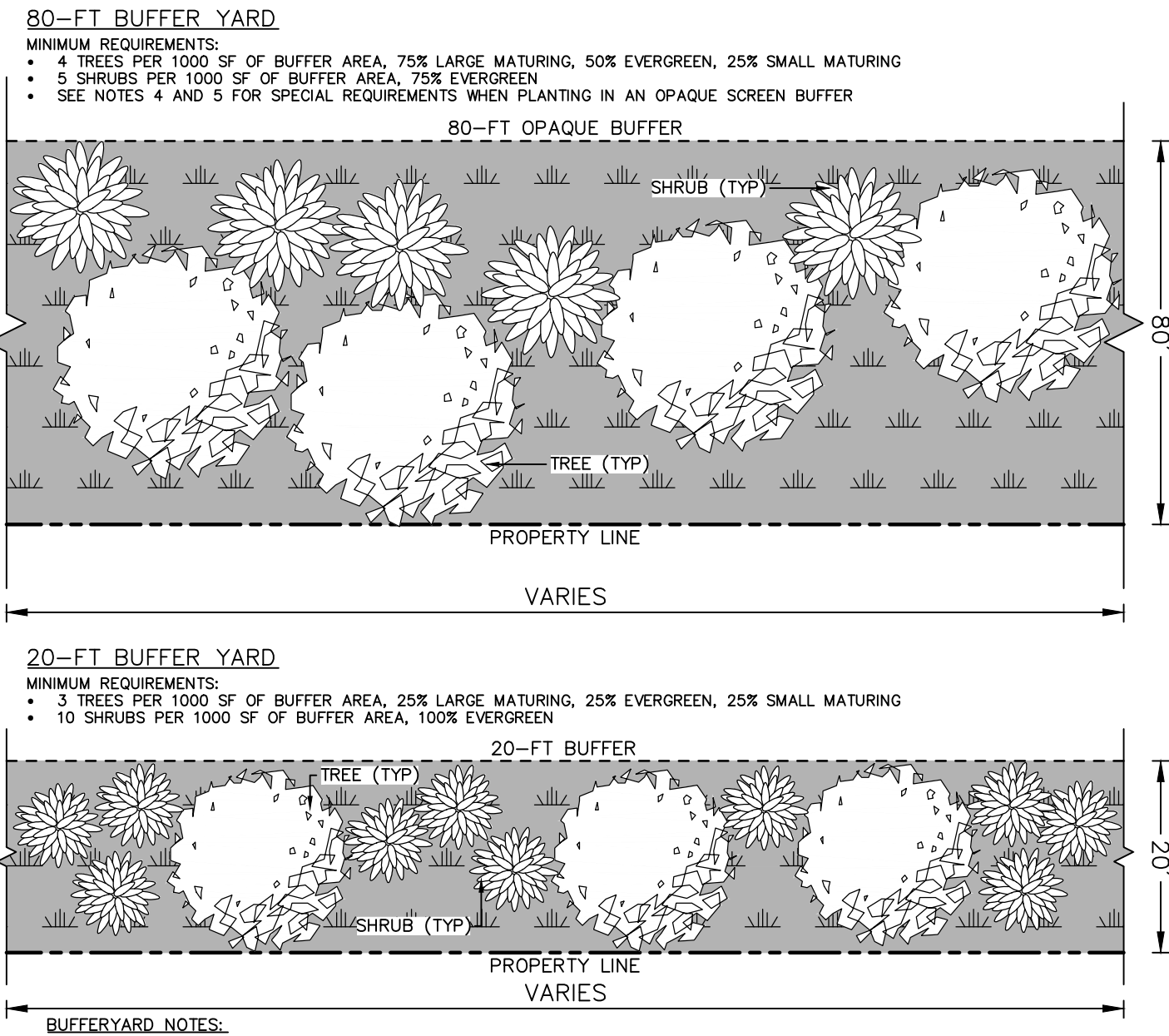
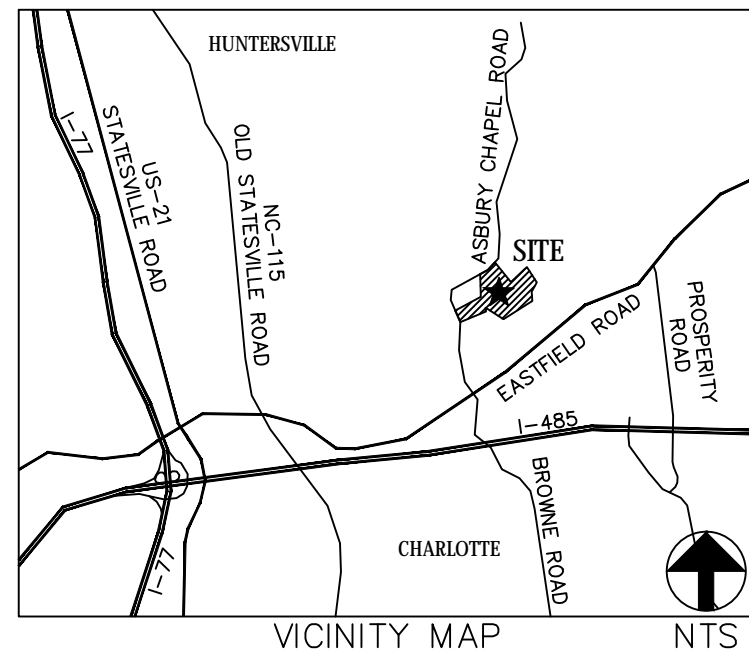
BMP 1									
REQUIRED STORAGE (ac-ft) 2.32									
Elevation	Area (sf)	Area (ac)	Avg Area (ac)	Height (ft)	Inc Vol (ac-ft)	Inc Vol (cubic ft)	Acc Vol (ac-ft)	Acc Vol (cubic ft)	Acc Vol (cubic ft)
754	17781	0.408					0.000		
754.5	18841	0.433	0.420	0.5	0.210	9156	0.210	9156	
755	19915	0.457	0.445	0.5	0.222	9689	0.433	18845	
755.5	21003	0.482	0.470	0.5	0.235	10230	0.667	29074	
756	22105	0.507	0.495	0.5	0.247	10777	0.915	39851	
756.5	23222	0.533	0.520	0.5	0.260	11332	1.175	51183	
757	24352	0.559	0.546	0.5	0.273	11894	1.448	63076	
757.5	25497	0.585	0.572	0.5	0.286	12462	1.735	75539	
758	26656	0.612	0.599	0.5	0.299	13038	2.033	88577	
758.5	27829	0.639	0.625	0.5	0.313	13621	2.346	102198	
759	29016	0.666	0.652	0.5	0.326	14211	2.672	116409	
759.5	30217	0.694	0.680	0.5	0.340	14809	3.012	131218	
760	31432	0.722	0.708	0.5	0.354	15412	3.366	146630	0.000
760.5	32662	0.750	0.736	0.5	0.368	16024	3.734	162653	0.000
761	33905	0.778	0.764	0.5	0.382	16642	4.116	179295	7.850
761.5	35163	0.807	0.793	0.5	0.396	17267	4.512	195652	12.362
762	36435	0.836	0.822	0.5	0.411	17900	4.923	214462	17.286

BMP 2									
REQUIRED STORAGE (ac-ft)									
Elevation	Area (sf)	Area (ac)	Avg Area (ac)	Height (ft)	In Vol (ac-ft)	In Vol (Cubic ft)	Acc Vol (ac-ft)	Acc Vol (Cubic ft)	Acc Vol (Cubic ft)
733	27961	0.642					0.000		
733.5	29299	0.73	0.657	0.5	0.329	14315	0.329	14315	
734	30651	0.704	0.688	0.5	0.344	14988	0.673	29303	
734.5	32018	0.735	0.719	0.5	0.360	15667	1.032	44970	
735	33398	0.767	0.751	0.5	0.375	16354	1.408	61324	
735.5	34793	0.799	0.783	0.5	0.391	17048	1.799	78372	
736	36202	0.831	0.815	0.5	0.407	17749	2.207	96120	
736.5	37625	0.864	0.847	0.5	0.424	18457	2.630	114577	
737	39062	0.897	0.880	0.5	0.440	19172	3.070	133749	
737.5	40513	0.930	0.913	0.5	0.457	19894	3.527	153643	
738	41979	0.964	0.947	0.5	0.473	20623	4.001	174266	
738.5	43458	0.998	0.981	0.5	0.489	21359	4.491	195623	
739	44952	1.031	1.015	0.5	0.505	22101	4.991	217677	0.000
739.5	46460	1.067	1.049	0.5	0.525	22853	5.523	240580	5.523
740	47982	1.102	1.084	0.5	0.542	23611	6.065	264191	11.588
740.5	49518	1.137	1.119	0.5	0.560	24375	6.625	288566	18.213
741	51068	1.172	1.155	0.5	0.577	25147	7.202	313712	25.414

REQUIRED RESIDENTIAL LOT TREES				
LOT	AREA (SF)	REQUIRED FRONT YARD TREES	REQUIRED REAR YARD TREES	
1	10881	1	2	
2	10521	1	2	
3	10550	1	2	
4	11963	1	2	
5	13622	1	2	
6	11520	1	2	
7	11520	1	2	
8	11520	1	2	
9	11103	1	2	
10	11285	1	2	
11	11276	1	2	
12	11000	1	2	
13	12375	1	2	
14	12735	1	2	
15	12735	1	2	
16	12735	1	2	
17	13008	1	2	
18	14935	1	2	
19	12538	1	2	
20	12764	1	2	
21	12213	1	2	
22	12921	1	2	
23	12789	1	2	
24	13946	1	2	
25	12644	1	2	
27	12000	1	2	
28	12000	1	2	
29	12000	1	2	
30	13947	1	2	
31	12239	1	2	
32	12290	1	2	
33	12375	1	2	
34	13954	1	2	
35	13909	1	2	
36	12310	1	2	
37	12268	1	2	
38	12168	1	2	
39	12002	1	2	
40	12458	1	2	
41	11250	1	2	
42	11250	1	2	
43	11249	1	2	
44	12516	1	2	
45	12113	1	2	
46	14819	1	2	
47	14317	1	2	
48	13781	1	2	
49	14085	1	2	
50	13798	1	2	
51	10142	1	2	
52	11120	1	2	
53	11300	1	2	
54	12357	1	2	
56	14716	1	2	
108	10742	1	2	

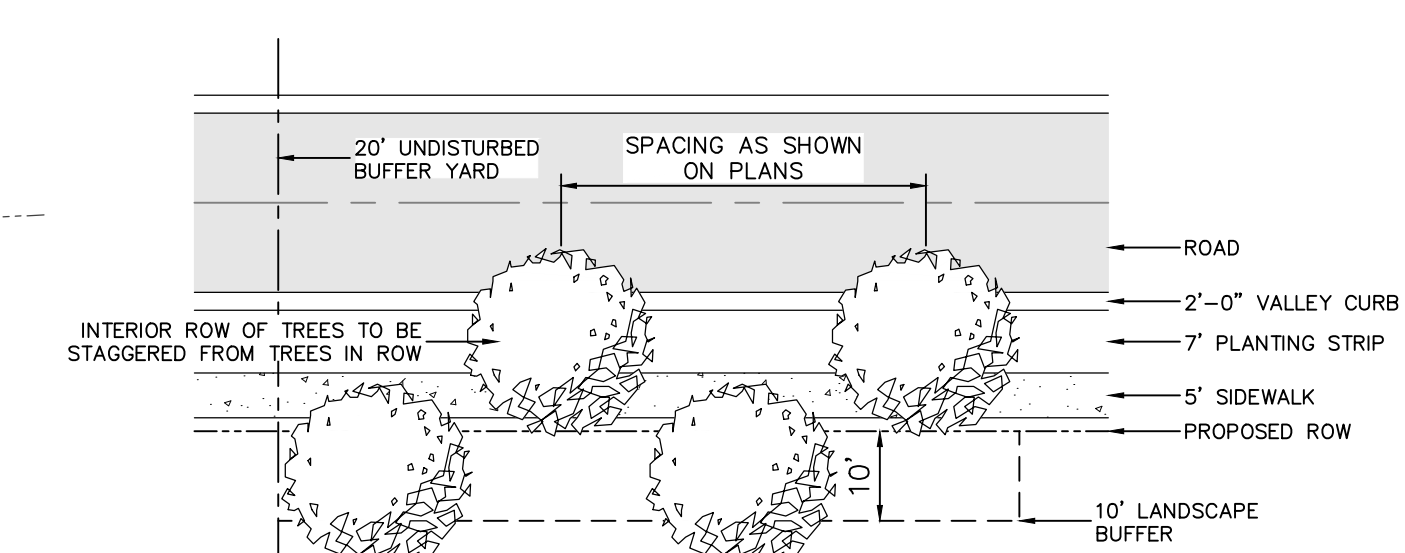
In order to maintain or replenish the urban tree canopy in areas of new residential subdivision, except when located in the TOD-R zoning district, each lot shall provide canopy trees in accordance with the following schedule.

Lot Size	Required Number of Canopy Trees
Less than 10,000 SF	1 Front Yard, 1 Rear Yard
10,000 - 15,000 SF	1 Front Yard, 2 Rear Yard
15,001 - 20,000 SF	2 Front Yard, 2 Rear Yard
More than 20,000 SF	3 Front Yard, 3 Rear Yard



- BUFFER YARD NOTES:**
- IF THE EXISTING CONDITION OF ALL UNDISTURBED NATURAL BUFFER YARDS DOES NOT MATCH THE MINIMUM PLANTING REQUIREMENTS SHOWN IN THE ABOVE DIAGRAMS, THE DEFICIENT BUFFER YARD SHALL BE SUPPLEMENTED WITH ADDITIONAL TREES AND SHRUBS UNTIL THE REQUIREMENT HAS BEEN SATISFIED.
 - MINIMUM TREE SIZE IS 2" CALIPER, WITH MINIMUM HEIGHT 8' TO 10' AT TIME OF PLANTING. SHRUBS PLANTED SHALL HAVE A MINIMUM HEIGHT OF 3' AT INSTALLATION, EXPECTED HEIGHT OF 5' AT MATURITY.
 - CLUSTERING AND/OR RANDOM SPACING OF PLANTS AND TREES IS ENCOURAGED TO PRODUCE A NATURAL APPEARANCE IN THE LANDSCAPE TO THE EXTENT THAT THE PLANTINGS MEET THE SCREENING INTENT OF THIS SECTION.
 - NO GRADING, CLEARING, OR LAND DISTURBING ACTIVITIES SHALL OCCUR WITHIN THE REQUIRED BUFFER YARD AREA. AREAS COMPLETELY DEVOID OF EXISTING TREES MAY BE GRADED WITH SLOPES NO GREATER THAN 3:1 AS LONG AS THE FUTURE GRADES DO NOT CHANGE THE FUNCTIONALITY OF THE REQUIRED BUFFER YARD (EXAMPLE: GRADING OF A BUFFER YARD TO WHERE THE PLANTED VEGETATION IS BELOW THE PROPOSED SIDEWALK OR DRIVEWAY SHALL BE CONSIDERED A BUFFER YARD).
 - TO PRODUCE AN OPAQUE SCREEN, INTERMITTENT PLANTING OF DECIDUOUS AND EVERGREEN TREES SHALL OBTAIN A HEIGHT AT MATURITY OF NO LESS THAN 35 FEET AND HAVE NO UNOBSTRUCTED OPENINGS BETWEEN TREE CANOPIES UPON MATURITY.
 - AT INSTALLATION, SHRUB PLANTINGS WITHIN AN OPAQUE SCREEN SHALL HAVE A MINIMUM HEIGHT OF 3 FEET WITH AN EXPECTED HEIGHT AT MATURITY AT LEAST 12 FEET AND NO UNOBSTRUCTED OPENINGS WIDER THAN FOUR FEET.
 - TREES AND SHRUBS PLANTED WITHIN BUFFER MUST BE CHOSEN FROM THE TOWN OF HUNTERSVILLE TREE AND SHRUB LIST.

BUFFER YARD PLANTING DETAIL



- DOUBLE-ROW STREET TREES NOTES:**
- FOR PROPERTY LOCATED ON A MAJOR OR MINOR THOROUGHFARE, EXCLUDING THE TOWN CENTER (TC) ZONING DISTRICT, AN ADDITIONAL ROW OF STREET TREES ARE REQUIRED TO BE LOCATED BEHIND THE PROPOSED SIDEWALK IN 10'-0\"/>
 - ALL STREET TREES MUST BE LISTED AS AN APPROVED STREET TREE ON THE TOWN OF HUNTERSVILLE TREE AND SHRUB LIST.

REQUIRED DOUBLE-ROW STREET TREES AT WESTERN ENTRANCE



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- CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES, USING FLAGGERS, ETC. AS NECESSARY TO ENSURE THE SAFETY OF THE PUBLIC.
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PLANTING PLAN NOTES

- ALL PROPOSED LANDSCAPING SHALL BE IN CONFORMANCE WITH THE REQUIRED SPECIFICATIONS OF THE TOWN OF HUNTERSVILLE ORDINANCE.
- ANY PRIVATE LOTS THAT CONTAIN SPECIMEN TREES OR AREAS DESIGNATED AS TREESAVE AREAS SHALL BE RE-PLATED BEFORE THE CERTIFICATE OF OCCUPANCY CAN BE ISSUED TO ENSURE THAT THE TREES ARE PROTECTED.
- NO TREES SHALL BE PLANTED ON THE BERMS OF BMPs.
- ENTRY SIGNAGE WILL BE APPROVED PRIOR TO CONSTRUCTION.
- ALL DISTURBED AREAS TO BE STABILIZED WITH MULCH, GRASS SEED OR SOD.
- PROPOSED QUANTITIES OF TREES SHOWN ON THE LANDSCAPE PLAN MAY BE OFFSET BY PRESERVED TREES.
- FINAL LOCATION OF PATH TO BE DETERMINED WITH FINAL GRADING PLAN'S APPROVAL.
- CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ENSURING THAT ALL EXISTING UTILITIES ARE LOCATED PRIOR TO BEGINNING CONSTRUCTION.
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- SHORING WILL BE CARRIED OUT IN ACCORDANCE WITH OSHA TRENCHING STANDARDS, PART 1926, SUBPART P, OR AS AMENDED.
- PLANT MATERIALS SHALL CONFORM TO THE REQUIREMENTS DESCRIBED IN THE LATEST EDITION OF AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN SOCIETY OF NURSERYMEN.
- PLANT MATERIALS MUST BE SELECTED FROM THE APPROVED SPECIES LIST IN THE LOCAL ORDINANCE.
- EXCAVATE PITS WITH VERTICAL SIDES APPROXIMATELY THE DEPTH OF THE ROOTBALL AND WITH A CIRCULAR OUTLINE WHICH SHALL BE APPROXIMATELY 2 TO 3 TIMES WIDER THAN THE ROOTBALL. FOR PLANTING PITS, BEDS OR TRENCHES, WHICH ARE TO BE DEVELOPED WHERE PAVING EXISTED PREVIOUSLY, ALL PAVING AND BASE STONE SHALL BE REMOVED AS PART OF THE EXCAVATION.
- REMOVE ROCK DEBRIS, INORGANIC COMPOSITIONS, AND CHEMICAL RESIDUES FROM SOIL IN PLANTING PITS.
- CULTIVATE SHRUB PLANTING PITS TO A MINIMUM DEPTH OF 18 INCHES.
- INSTALL ROOTBALL ON A FLAT, COMPACT SURFACE OF UNDISTURBED SOIL. REMOVE ANY INORGANIC ITEMS ON TOP OF ROOTBALL, AND THE TOP THIRD OF WIRE BASKETS.
- LEAVE THE TOP OF THE ROOTBALL EXPOSED, TO BE COVERED BY MULCH ONLY.
- FINISH THE PLANTING WITH A MINIMUM 3-INCH LAYER OF MULCH AND PINE NEEDLES, TREE BARK OR SIMILAR MATERIALS DISTRIBUTED AROUND THE TREE BARK.
- EACH TREE, SHRUB, AND VINE SHALL BE PRUNED IN AN APPROPRIATE MANNER, IN ACCORDANCE WITH ACCEPTED STANDARD PRACTICE.
- EXISTING TREES SHALL BE PRESERVED WHEREVER POSSIBLE.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE OF THE PROPERTY'S LANDSCAPING ON A CONTINUING BASIS FOR THE LIFE OF THE DEVELOPMENT.
- REQUIRED LANDSCAPING SHALL BE MAINTAINED IN PERPETUITY. AFTER INITIAL INSTALLATION, IT SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY UPON WHICH THE LANDSCAPING IS INSTALLED TO MAINTAIN ALL REQUIRED PLANTINGS IN A HEALTHY, VIGOROUS, AND ATTRACTIVE STATE, AS WELL AS TO REPLACE DEAD, DISEASED OR DETERIORATED PLANTS.
- QUANTITIES SHOWN ARE FOR CONVENIENCE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR QUANTITIES AS SHOWN ON THE PLAN.
- ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES.
- SEE SPECIFICATIONS FOR SEEDING REQUIREMENTS. ALL DISTURBED AREAS SHALL BE SEED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
- TYPE I SEEDING (LAWNS, SHOULDER, OR OTHER MAINTAINED AREAS):
 - 100 LBS OF LIME
 - 15 LBS OF 19-23-12
 - 4 LBS OF TALL FESCUE, CONTAINING A BLEND OF 2 OR MORE TALL FESCUES
 - 1 LB OF SERVICEA LESPEDeza (AUGUST 15 - FEBRUARY 1 USE UNSCARIFIED SEEDS)
 - 1/4 LB OF GERMAN MILLET (MAY 1 - AUGUST 15)
 - 1 LB OF RYE GRAIN (PRIOR TO MAY 1 AND AFTER AUGUST 15)
- *SEEDING MIXTURES OTHER THAN THOSE LISTED ABOVE SHALL BE APPROVED BY THE TOWN/INSPECTOR PRIOR TO SEEDING

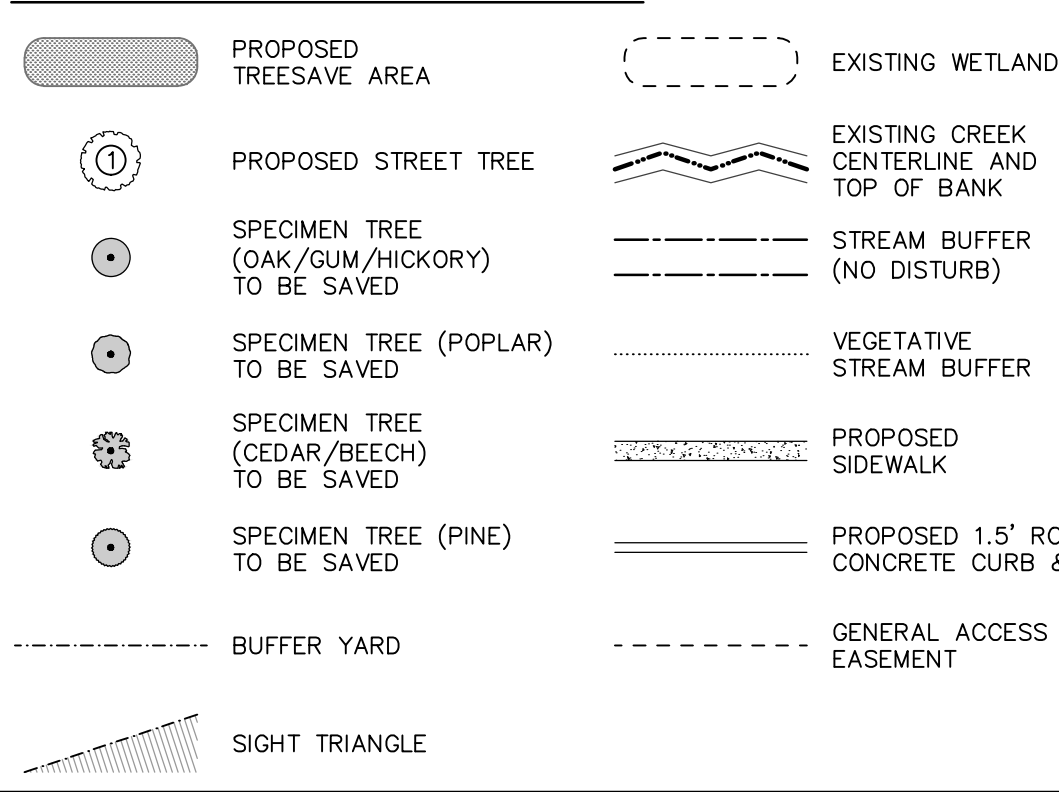
TREESAVE DATA FOR ALL RECORDED SPECIMEN TREES

Tree No.	Species	Dia.	Not Saved	Saved
1	POPLAR	31"	X	
2	POPLAR	30"	X	
3	POPLAR	27"	X	
4	OAK	28"	X	
5	HICKORY	26"	X	
6	OAK	42"	X	
7	OAK	37"	X	
8	OAK	24"	X	
9	CEDAR	24"	X	
10	POPLAR	26"	X	
11	HICKORY	31"	X	
12	MAGNOLIA	12"	X	
13	OAK	24"	X	
14	OAK	24"	X	
15	OAK	24"	X	
16	OAK	27"	X	
17	BEECH	36"	X	
18	OAK	35"	X	
19	OAK	27"	X	
20	POPLAR	31"	X	
21	OAK	24"	X	
22	POPLAR	25"	X	
23	OAK	25"	X	
24	OAK	25"	X	
25	OAK	25"	X	

Tree No.	Species	Dia.	Not Saved	Saved
26	OAK	31"	X	
27	OAK	24"	X	
28	OAK	35"	X	
29	OAK	24"	X	
30	OAK	12"	X	
31	GUM	15"	X	
32	OAK	14"	X	
33	OAK	26"	X	
34	POPLAR	26"	X	
35	POPLAR	19"	X	
36	OAK	16"	X	
37	OAK	26"	X	
38	POPLAR	36"	X	
39	OAK	27"	X	
40	OAK	41"	X	
41	POPLAR	30"	X	
42	HICKORY	12"	X	
43	OAK	24"	X	
44	OAK	26"	X	
45	CEDAR	25"	X	
46	PINE	27"	X	
47	OAK	37"	X	
48	OAK	36"	X	
49	CEDAR	32"	X	
50	MAPLE	27"	X	

Tree Preservation and Canopy (Z.O. Article 7.4)			
Has the site been forested or cleared in the past three years?			
Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>			
Heritage Trees			
Number of Heritage trees on-site			
0			
Number of Heritage trees saved			
0			
Percentage of Heritage trees required to save			
0%			
Percentage of Heritage trees actually saved			
0%			
Specimen Trees			
Number of Specimen trees on-site			
68			
Number of Specimen trees saved			
36			
Percentage of Specimen trees required to save			
52.90%			
Percentage of Specimen trees actually saved			
52.90%			
Tree Canopy			
Total acreage of site covered by tree canopy			
63.15			
Percentage of site covered by tree canopy			
82.96%			
Total acreage of tree canopy preservation required			
22.10 ac			
Percentage of tree canopy preservation required			
35.00%			
Total acreage of tree canopy actually saved			
22.74 ac			
Percentage of tree canopy actually saved			
36.01%			

PROPOSED PLANTING PLAN LEGEND



NOTE: ALL OF THE SPECIMEN TREES THAT WERE SURVEYED ON THIS SITE CAN ALSO BE VIEWED ON THE SIGNED AND SEALED TREE SURVEY (SHEET C003) OF THIS PLAN SET.