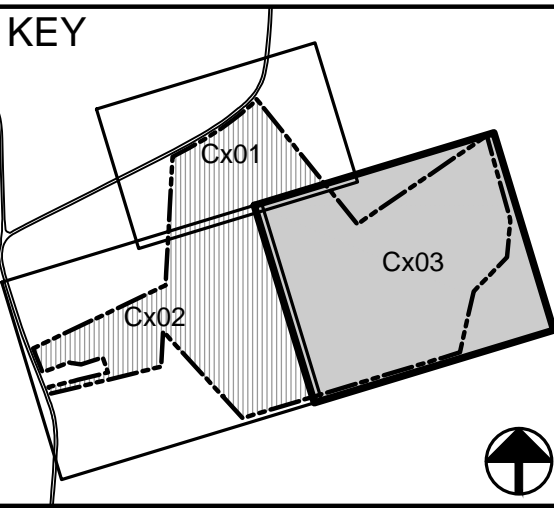


11620 Asbury Chapel Road  
Huntersville, NC 28078



N/F  
JW HOMES, LLC  
MB. 57 PG. 988  
PID 02114640  
ZONING: TR

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NOT FOR  
CONSTRUCTION

**CERTIFIED BY**  
**NC ENGINEERING FIRM F-1119**

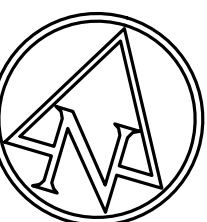
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<b>DATE:</b>
04/01/2016
<b>PROJECT PHASE:</b>
ALL

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE
A	PRELIM. SKETCH PLAN 1	4/1/2016
B	PRELIM. SKETCH PLAN 2	5/18/2016

STRUCTUREPOINT PROJECT #	2015.00721
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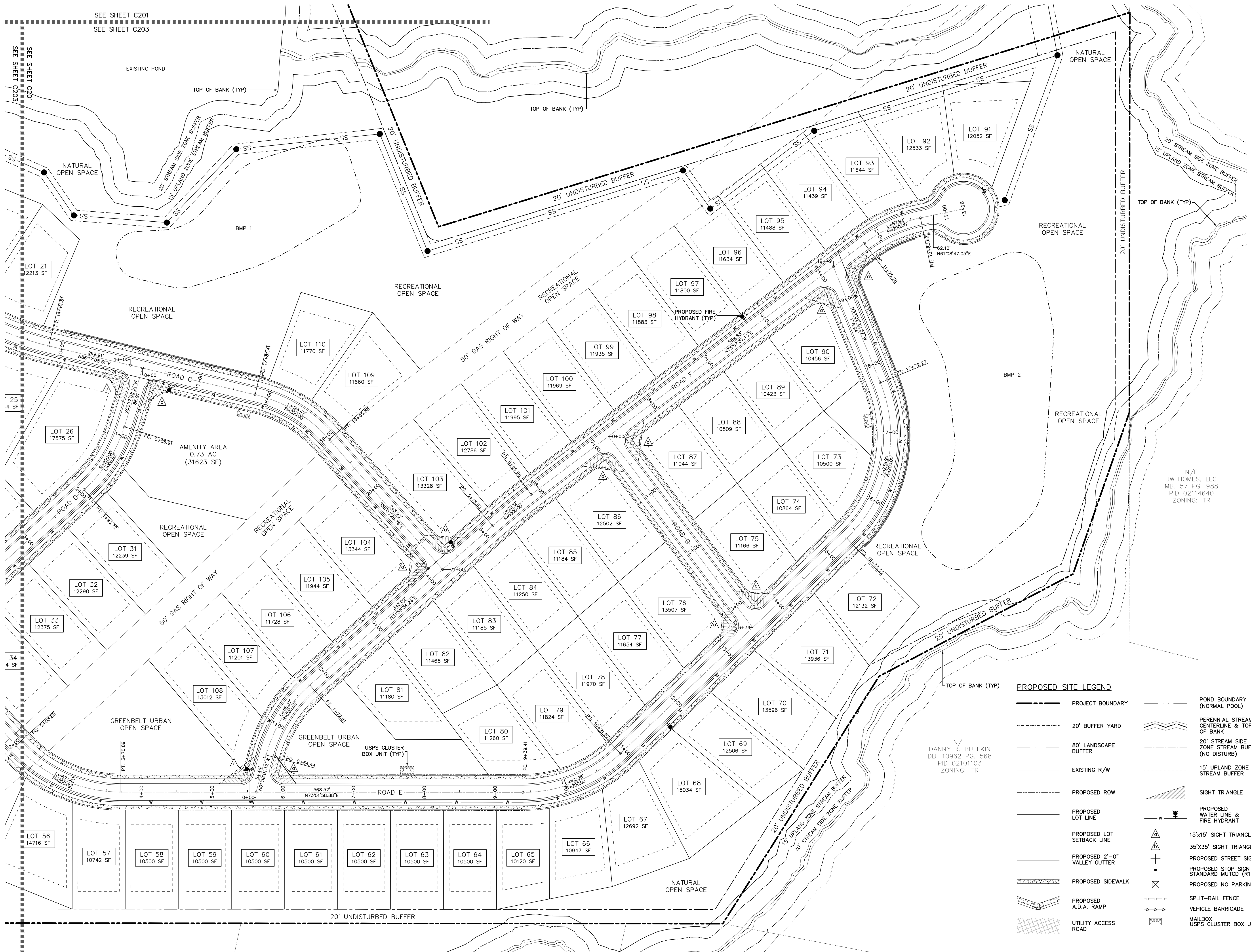
## SITE PLAN

# C203



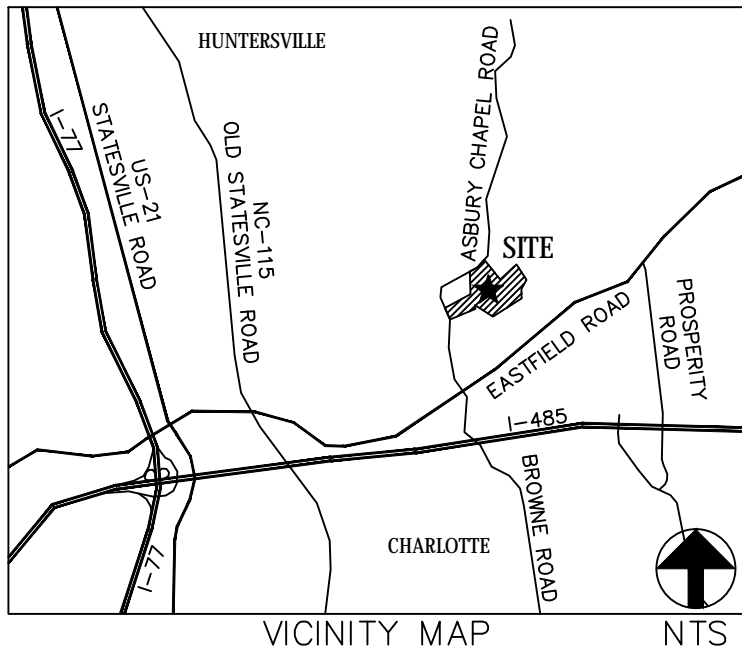
0' 60' 120'

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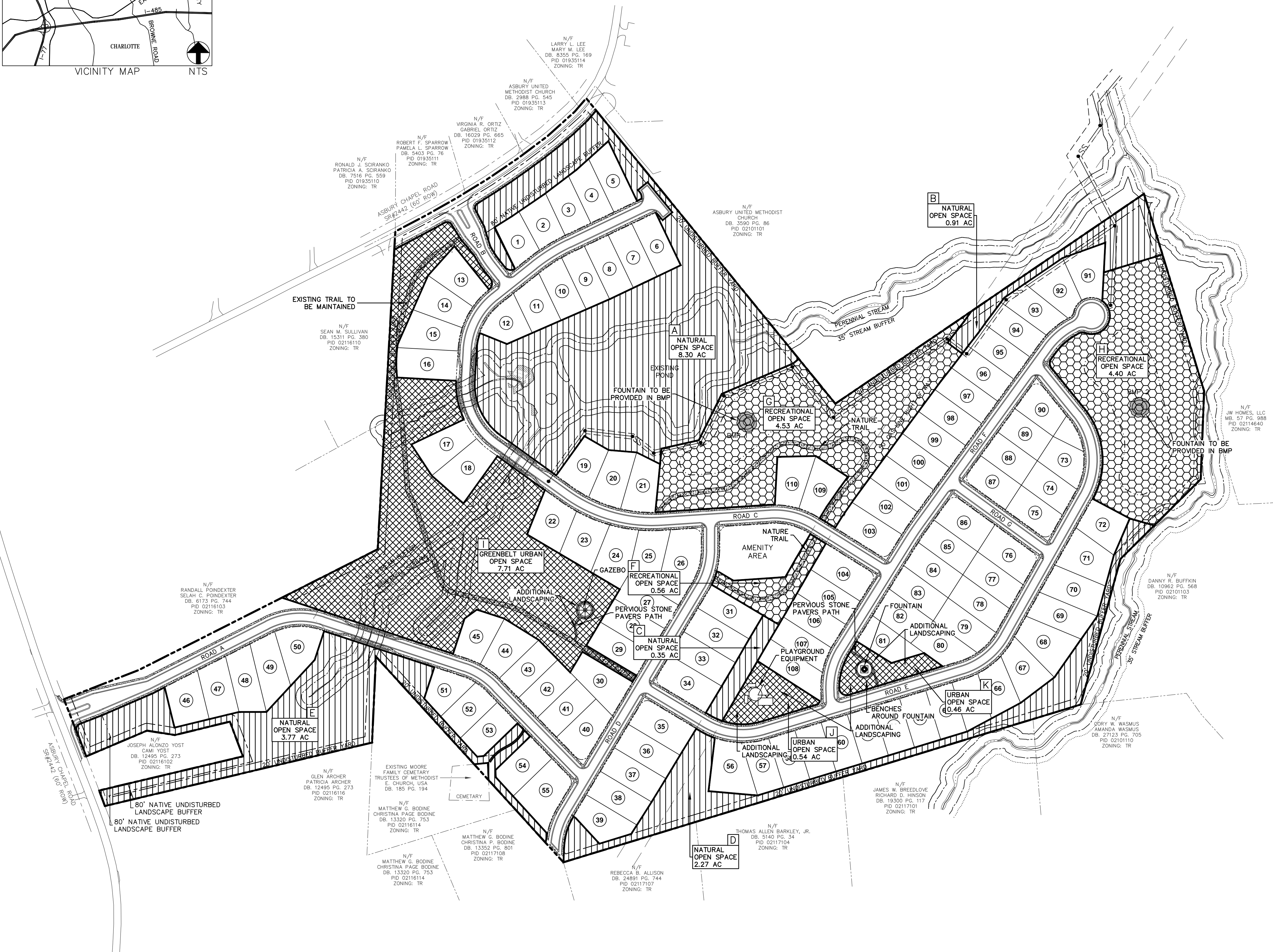


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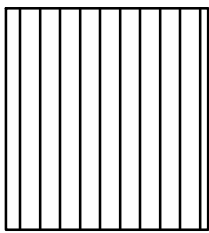


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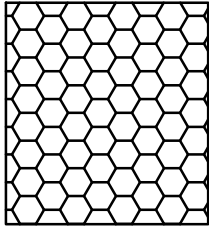
## OPEN SPACE LEGEND

TOTAL OPEN SPACE PROVIDED = 33.80 AC.



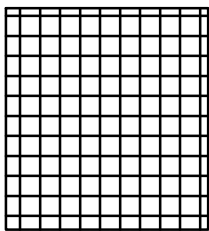
**NATURAL OPEN SPACE**  
15.60 AC. (46.15%)

- A THIS AREA TO REMAIN AS WOODED NATURAL OPEN SPACE.
- B THIS AREA TO REMAIN AS WOODED NATURAL OPEN SPACE.
- C THIS AREA TO REMAIN AS WOODED NATURAL OPEN SPACE.
- D THIS AREA TO REMAIN AS WOODED NATURAL OPEN SPACE.
- E THIS AREA TO REMAIN AS WOODED NATURAL OPEN SPACE.



**RECREATIONAL OPEN SPACE**  
9.49 AC. (28.08%)

- F NATURE TRAIL TO BE PROVIDED IN THIS AREA, AS SHOWN. ADDITIONAL LANDSCAPING AND BENCHES TO BE PROVIDED IN AREA OUTSIDE LIMITS OF GAS EASEMENT.
- G NATURE TRAIL TO BE PROVIDED IN THIS AREA (THROUGH GAS EASEMENT AND AROUND 10' BENCH OF BMP) AS SHOWN. BENCHES TO BE INSTALLED ALONG PORTION OF TRAIL NEAR BMP. BMP TO BE IMPROVED WITH POND FOUNTAIN AND ADDITIONAL LANDSCAPING.
- H BMP TO BE IMPROVED WITH POND FOUNTAIN AND ADDITIONAL LANDSCAPING.



**GREENBELT URBAN OPEN SPACE**  
8.71 AC. (25.77%)

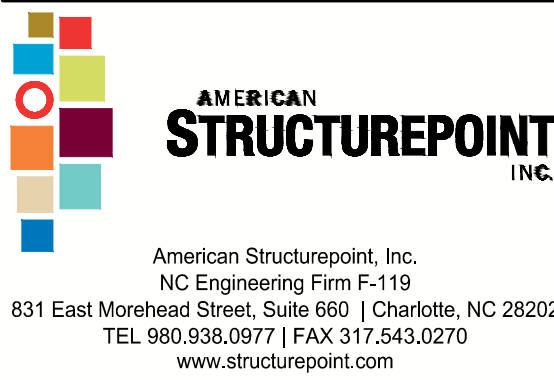
- I GREENBELT TO BE PROVIDED IN THIS AREA, FOLLOWING THE COURSE OF AN EXISTING GRAVEL/UNPAVED PATH. BENCHES TO BE PROVIDED ALONG TRAIL. ALSO TO PROVIDE COMMUNAL AREA IN SECTION IMMEDIATELY BEHIND LOTS 28&29, LINKED TO GREENBELT BY PERVIOUS STONE PAVER PATH, AND CONTAINING GAZEBO.
- J PLAYGROUND EQUIPMENT WITH BENCHES TO BE PROVIDED IN THIS AREA. ADDITIONAL LANDSCAPING TO BE INCLUDED.

A POCKET PARK WITH A DECORATIVE FOUNTAIN AND SURROUNDED BY MULTIPLE BENCHES IS TO BE PROVIDED HERE. THE PARK WILL BE LINKED TO THE MAIN SIDEWALK BY PERVIOUS STONE PAVER PATHS, WHICH WILL ALSO ENCIRCLE THE FOUNTAIN, DEFINING A CLEAR SITTING AREA.



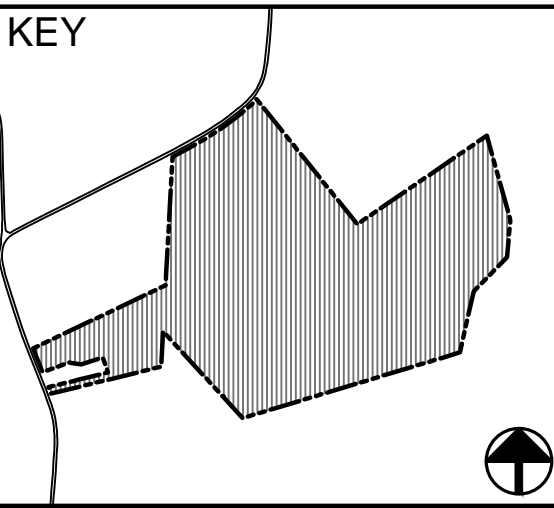
Know what's below.  
Call before you dig.

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- CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES, USING FLAGGERS, ETC AS NECESSARY TO ENSURE THE SAFETY OF THE PUBLIC.
- ALL PAVEMENT CUTS, ASPHALT OR CONCRETE, ARE TO BE PLACED ACCORDING TO STANDARDS OF THE DEPARTMENT OF TRANSPORTATION AND REGULATORY AUTHORITY SPECIFICATIONS.
- SHORING SHALL BE CARRIED OUT IN ACCORDANCE WITH OSHA TRENCHING STANDARDS, PART 1926, SUBPART P, OR AS AMENDED.



## ASBURY CHAPEL

11620 Asbury Chapel Road  
Huntersville, NC 28078



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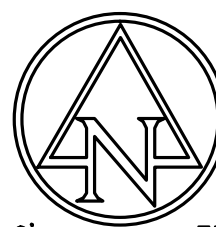
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PROJECT PHASE:	ALL	

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STRUCTUREPOINT PROJECT # 2015.00721

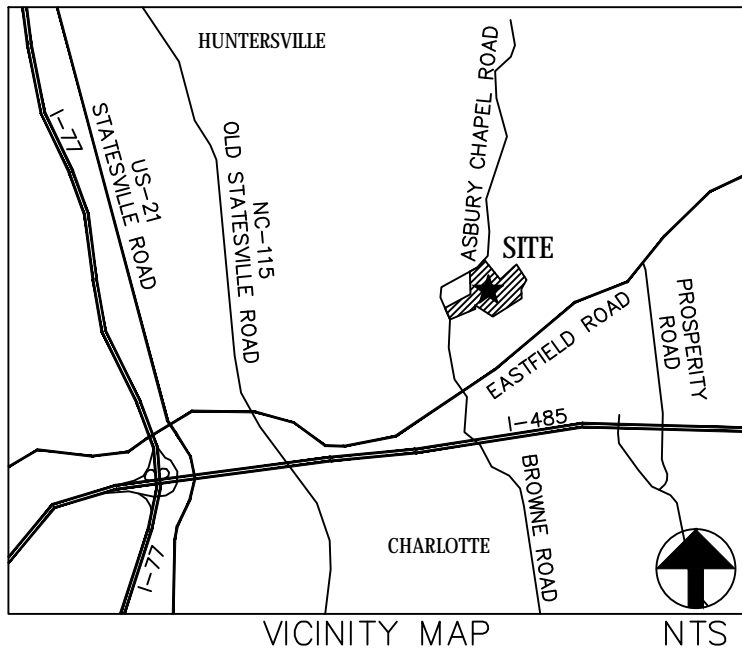
OPEN SPACE  
PLAN

C250



0' 75' 150'  
SCALE: 1"=150'





VICINITY MAP NTS



PROPOSED GRADING LEGEND

	PROJECT BOUNDARY		PROPOSED 2'-0" VALLEY GUTTER		PERENNIAL STREAM CENTERLINE & TOP OF BANK		PROPOSED STORM DRAINAGE PIPE AND CURB INLET		M.E.		MATCH EXISTING EDGE OF PAVEMENT
	20' BUFFER YARD		PROPOSED SIDEWALK		20' STREAM SIDE ZONE STREAM BUFFER (NO DISTURB)		PROPOSED STORM DROP INLET		BC		BOTTOM OF CURB
	80' LANDSCAPE BUFFER		PROPOSED A.D.A. RAMP		15' UPLAND ZONE STREAM BUFFER		PROPOSED STORM JUNCTION BOX		TC		TOP OF CURB
	EXISTING R/W		EXISTING INTERVAL CONTOUR		POND BOUNDARY (NORMAL POOL)		PROPOSED STORM SYSTEM DRAINAGE EASEMENT		BC		BOTTOM OF WALL
	PROPOSED ROW		EXISTING INDEX CONTOUR		PROPOSED SWALE LINE		PROPOSED TREE SAVE AREA		TW		TOP OF WALL
	PROPOSED LOT LINE		PROPOSED INTERVAL CONTOUR		BMP MAINTENANCE ACCESS ROAD		EXISTING SPECIMEN TREES TO BE SAVED		TC 000.50 BC 000.00		CURB ELEVATIONS
	PROPOSED LOT SETBACK LINE		PROPOSED INDEX CONTOUR		GUARD RAIL		PROPOSED STORM DRAINAGE EASEMENT		TW 000.XX BW 000.00		WALL ELEVATIONS
									000.00		SPOT ELEVATIONS
											FLOW ARROW
											GUARD RAIL
											USPS CLUSTERBOX UNIT (MAIL KIOSK)



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Call before you dig.

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- CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES, USING FLAGGERS, ETC AS NECESSARY TO ENSURE THE SAFETY OF THE PUBLIC.
- ALL PAVEMENT CUTS, ASPHALT OR CONCRETE, ARE TO BE PLACED ACCORDING TO STANDARDS OF THE DEPARTMENT OF TRANSPORTATION AND REGULATORY AUTHORITY SPECIFICATIONS.
- SHORING SHALL BE CARRIED OUT IN ACCORDANCE WITH OSHA TRENCHING STANDARDS, PART 1626, SUBPART P, OR AS AMENDED.

GRADING AND DRAINAGE NOTES

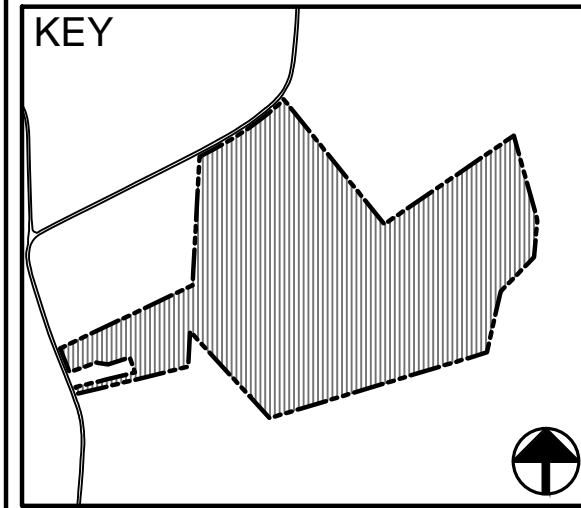
- EARTHWORK QUANTITIES HAVE NOT BEEN ESTIMATED AND SITE AS SHOWN IS NOT ASSUMED TO REPRESENT A BALANCED CUT/FILL CONDITION.
- CONTRACTOR SHALL PERFORM HIS OWN ESTIMATES AND SHALL PROVIDE ALL EARTHWORK NECESSARY TO ACHIEVE THE DESIGN GRADE, INCLUDING ANY OFFSITE BORROW OR SPOILS REQUIRED.
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE IN ALL GRADED AREAS, INCLUDING PAVING, LAWN AND LANDSCAPE AREAS.
- THE CONTRACTOR SHALL IMMEDIATELY REPORT TO OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING WORK, BOTH PUBLIC AND PRIVATE. CONTRACTOR IS FULLY RESPONSIBLE FOR ALL UNDERGROUND UTILITIES AND SHALL REPAIR ANY DAMAGE AS A RESULT OF THIS CONTRACT.
- CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
- THE PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN IN DRIVES, PARKING LOTS AND SIDEWALKS ARE FINISHED ELEVATIONS INCLUDING ASPHALT. REFER TO PAVEMENT CROSS SECTION DATA TO ESTABLISH CORRECT SUBBASE OR AGGREGATE BASE COURSE ELEVATIONS TO BE COMPLETED UNDER THIS CONTRACT.
- PIPE LENGTHS SHOWN ARE THE ENGINEER'S ESTIMATE USED TO COMPUTE PIPE SLOPES AND INVERTS AND SHALL NOT BE CONSTRUCTED BY THE CONTRACTOR TO REPRESENT THE ACTUAL QUANTITY OF PIPE REQUIRED.
- CROSS SLOPE OF SIDEWALKS SHALL BE 1/4"/FT. (MAX).
- SLOPES SHALL BE GRADED NO STEEPER THAN 3:1 UNLESS SPECIFICALLY NOTED ON PLANS OR UNDER DIRECTION OF THE ENGINEER BASED ON FIELD CONDITIONS.
- NO DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN THE TREE PROTECTION ZONE. TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION, GRADING OR CONSTRUCTION BEGINS, AND NOT REMOVED UNTIL FINAL INSPECTION.
- NO GRUBBING WITHIN TREE PROTECTION ZONE. LEAVE SOIL AND LEAF LITTER UNDISTURBED. SUPPLEMENT WITH 1-2 INCHES OF MULCH. RE-SEED WITH GRASS ONLY IN DISTURBED/GRADED AREAS.
- BRUSH, VINES AND SMALL TREES (.8 IN. DIA., OR AS SMALL AS 2 IN. CALIPER) MAY BE HAND CLEARED ONLY. CUT FLUSH WITH GROUND SURFACE. EXISTING TREES MAY BE LIMBED UP 6 FEET (AT LEAST 2/3 OF THE BRANCHES SHOULD BE LEFT) TO IMPROVE VISIBILITY.
- EXPOSED TREE ROOTS MUST BE CLEANLY CUT WITH A SHARP PRUNING TOOL; BACKFILL ASAP TO MINIMIZE EXPOSURE TO THE AIR.
- ALL ROOF DRAINS SHALL DISCHARGE AT GRADE (UNLESS OTHERWISE SHOWN IN PLANS) AND DRAIN IN A POSITIVE DIRECTION AWAY FROM BUILDINGS.
- PIPE LENGTHS SHOWN ON CULVERTS INCLUDE FLARED END SECTIONS.
- IN ORDER TO ENSURE ADEQUATE DRAINAGE FLOW LINES IN GUTTERS SHALL BE 0.50% MINIMUM.
- SLOPE MATTING AS SHOWN IS THE MINIMUM.
- ALL DRIVEWAY SLOPES SHALL SLOPE AWAY FROM GARAGE TOWARDS ROAD.
- NO DRIVEWAY SLOPE SHALL EXCEED 8% UNLESS OTHERWISE NOTED.
- APPROVAL FOR IMPROVEMENTS SHALL BE BASED ON THESE PLANS, AS AMENDED, AND SUBMITTED SEPARATELY.
- CONTRACTOR SHALL PROTECT AND NOT DESTROY THE PROPERTY CORNER MONUMENTS DURING CONSTRUCTION.
- CONTRACTOR TO VERIFY LOCATION, SIZE, AND DEPTH OF EXISTING UTILITIES PRIOR TO COMMENCING ANY CONSTRUCTION. CONTACT ENGINEER IF VARIATION EXISTS.
- ALL RETAINING WALLS TO BE DESIGNED, SEALED, AND CERTIFIED BY CONTRACTOR'S STRUCTURAL ENGINEER. DESIGNED PLANS FOR RETAINING WALLS SHALL BE SUBMITTED, REVIEWED, AND PERMITTED BY THE TOWN OF HUNTERSVILLE. THE ENGINEER OF RECORD SHALL PROVIDE TOWN OF HUNTERSVILLE WITH WRITTEN INSPECTION REPORTS, WHICH VERIFY THAT ALL ON-SITE RETAINING WALLS WERE CONSTRUCTED AND INSTALLED PER THE APPROVED DESIGN PLAN. THESE REPORTS SHALL BE SIGNED AND SEALED BY THE ENGINEER OF RECORD.
- BUILDING PADS:  
A. OVERBUILD BUILDING PADS BY 5 FT MIN. ON ALL SIDES - 10 FT AT THE REAR, AND 3 FT AT THE FRONT.  
B. ALL BUILDING PADS ARE TO BE CONSTRUCTED WITHIN A 1 INCH TOLERANCE OF FIELD GRADES.  
C. ALL BUILDING PADS ARE TO BE LEFT 6 INCHES, UNLESS OTHERWISE DIRECTED BY CONSTRUCTION MANAGER.  
D. SURVEYOR SHALL COORDINATE THE BUILDING PAD STAKING METHOD WITH EXCAVATOR AND CONSTRUCTION MANAGER.
- DRIVEWAYS SHALL EXTEND AT LEAST TWENTY (20) FEET FROM A PUBLIC RIGHT-OF-WAY AND PUBLIC SIDEWALK EASEMENT TO PREVENT ON-SITE RESIDENTIAL PARKING FROM ENCRDACHING INTO THE PUBLIC RIGHT-OF-WAY OR EASEMENT FOR A PUBLIC SIDEWALK.
- GEOTECHNICAL ENGINEER TO VERIFY THE STABILITY OF ANY PROPOSED SLOPES THAT ARE STEEPER THAN 2:1.

**Ryan Homes**  
9920 Kincoy Avenue, Suite 200 | Huntersville, NC 28078  
TEL 704.875.9887  
www.ryanhomes.com

**AMERICAN STRUCTUREPOINT INC.**  
American Structurepoint, Inc.  
NC Engineering Firm F-119  
831 East Morehead Street, Suite 660 | Charlotte, NC 28202  
TEL 980.938.0977 | FAX 317.543.0270  
www.structurepoint.com

**ASBURY CHAPEL**

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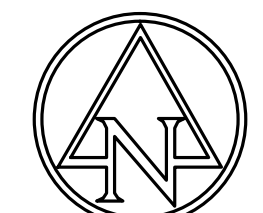
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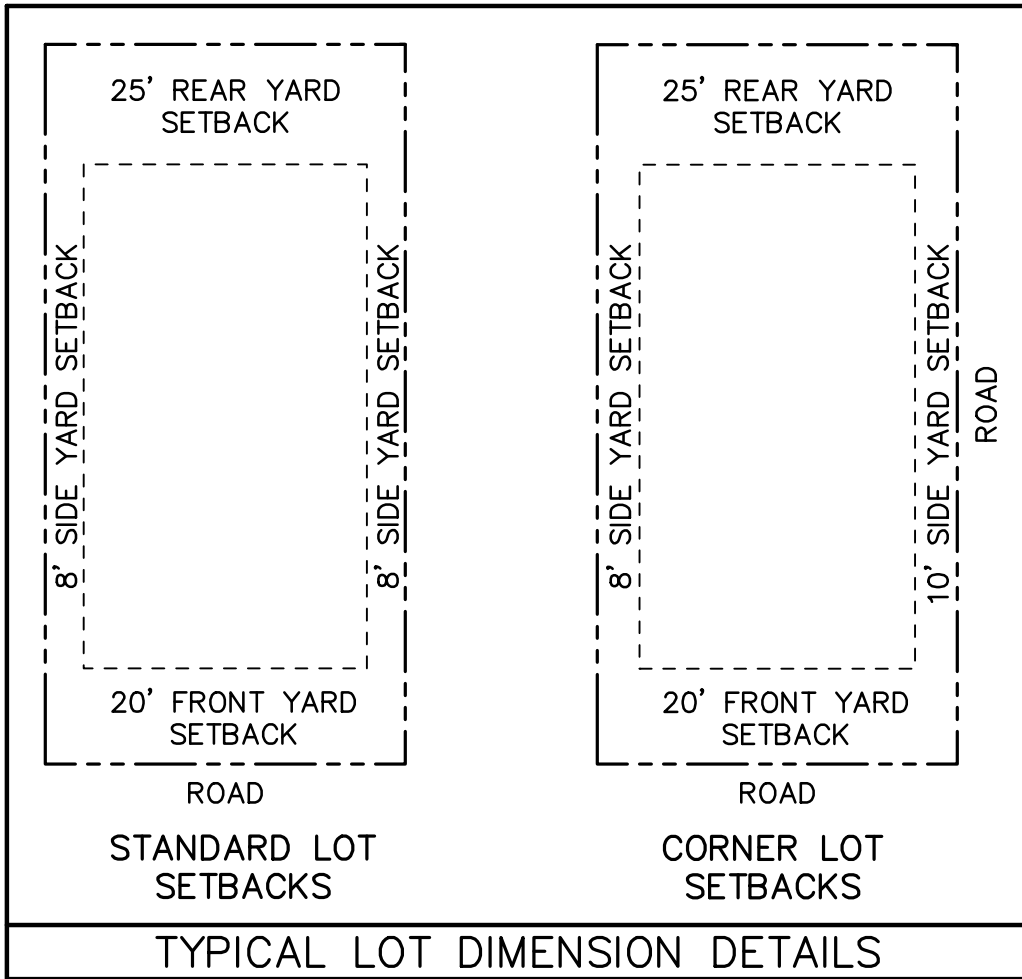
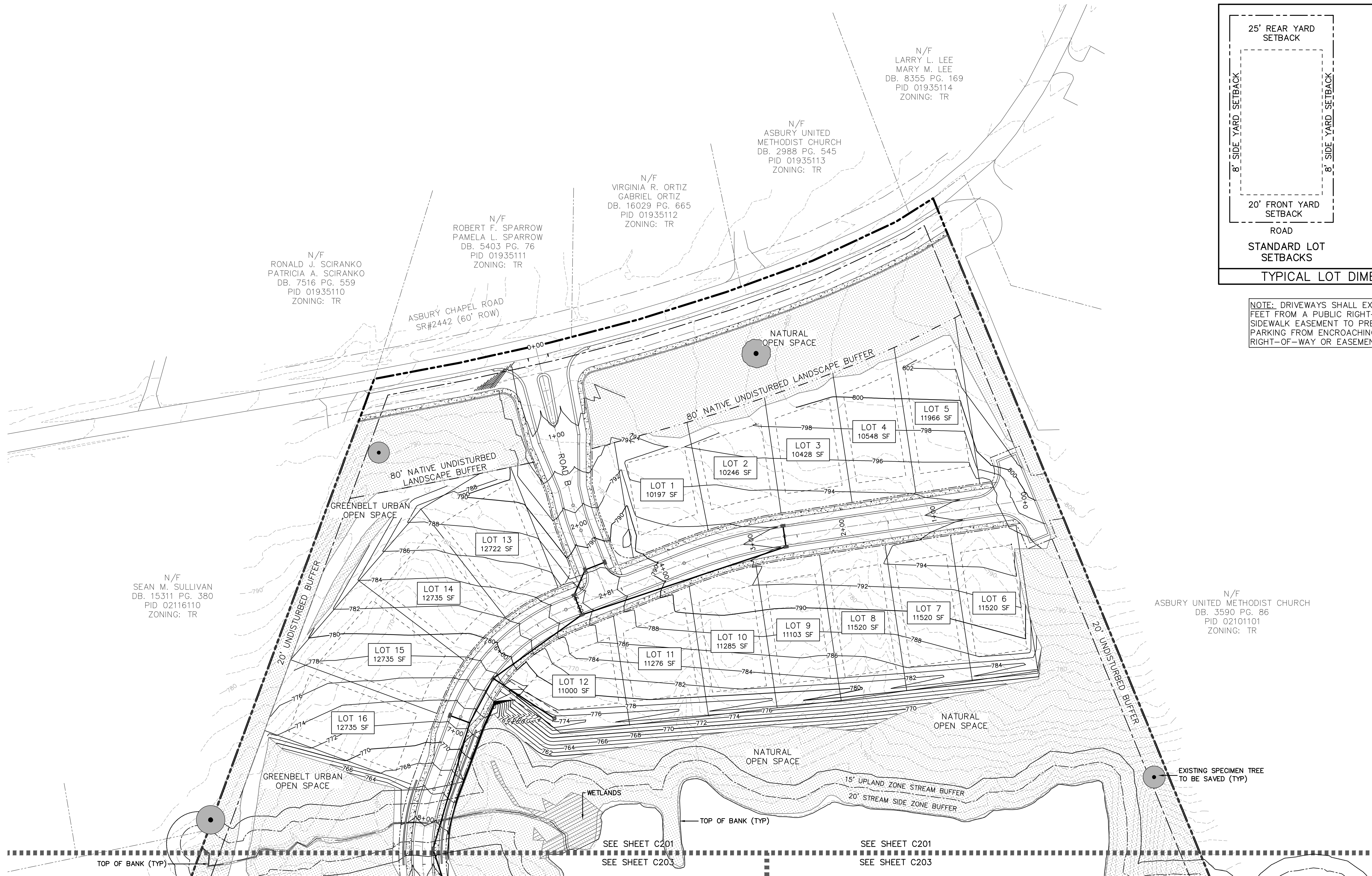
**OVERALL  
GRADING PLAN**

**C400**





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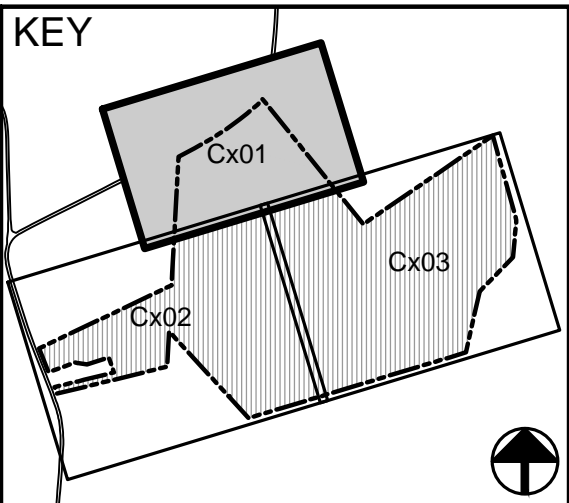
NOTE: DRIVEWAYS SHALL EXTEND AT LEAST TWENTY (20) FEET FROM A PUBLIC RIGHT-OF-WAY AND PUBLIC SIDEWALK EASEMENT TO PREVENT ON-SITE RESIDENTIAL PARKING FROM ENCROACHING INTO THE PUBLIC RIGHT-OF-WAY OR EASEMENT FOR A PUBLIC SIDEWALK.

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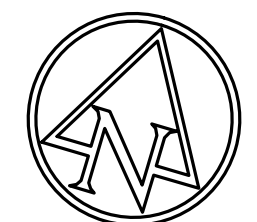
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STRUCTUREPOINT PROJECT # 2015.00721

### GRADING PLAN

## C401



0' 60' 120'  
SCALE: 1"=60'



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20' BUFFER YARD	PROPOSED SIDEWALK	20' STREAM SIDE ZONE STREAM BUFFER (NO DISTURB)	PROPOSED STORM DROP INLET	EP	BOTTOM OF CURB
80' LANDSCAPE BUFFER	PROPOSED A.D.A. RAMP	15' UPLAND ZONE STREAM BUFFER	PROPOSED STORM JUNCTION BOX	BC	TOP OF CURB
EXISTING R/W	EXISTING INTERVAL CONTOUR	POND BOUNDARY (NORMAL POOL)	PROPOSED STORM SYSTEM DRAINAGE EASEMENT	TC	BOTTOM OF WALL
PROPOSED ROW	EXISTING INDEX CONTOUR	PROPOSED SWALE LINE	PROPOSED TREE SAVE AREA	BC	TOP OF WALL
PROPOSED LOT LINE	PROPOSED INTERVAL CONTOUR	BMP MAINTENANCE ACCESS ROAD	EXISTING SPECIMEN TREES TO BE SAVED	TW	CURB ELEVATIONS
PROPOSED LOT SETBACK LINE	PROPOSED INDEX CONTOUR	GUARD RAIL		TC 000.50 BC 000.00 TW 000.XX BW 000.00	WALL ELEVATIONS
				000.00	SPOT ELEVATIONS
					FLOW ARROW
					GUARD RAIL
					USPS CLUSTERBOX UNIT (MAIL KIOSK)